

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2002-0157
Application I. D. Number

DRC Copy

07/12/2002
Application Date

Stroudwater Farms Association
Applicant
18 Carroll St, Falmouth, ME 04105
Applicant's Mailing Address
n/a

Rivers Edge

Rivers Edge Subdivision Lot# 18
Project Name/Description

1823 - 1823 Congress St, Portland, Maine
Address of Proposed Site
217 A008001
Assessor's Reference: Chart-Block-Lot

Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1866 sq. ft. _____ 21,134 sq. ft. _____ Zoning _____
Proposed Building square Feet or # of Units Acreage of Site

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 07/15/2002
Reviewer Jay Reynolds

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date 07/18/2002 Approval Expiration 07/18/2003 Extension to _____
 Condition Compliance Jay Reynolds signature 07/18/2002 date Additional Sheets Attached

Performance Guarantee

Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2002-0157
Application I. D. Number

07/12/2002
Application Date

Rivers Edge Subdivision Lot# 18
Project Name/Description

Stroudwater Farms Association
Applicant

18 Carroll St, Falmouth, ME 04105
Applicant's Mailing Address

n/a
Consultant/Agent

Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

1823 - 1823 Congress St, Portland, Maine
Address of Proposed Site

217 A008001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 THE BUFFER ZONE MUST BE CLEARLY MARKED AND APPROPRIATE MEASURES TAKEN TO ENSURE THAT IT IS LEFT IN IT'S NATURAL CONDITION. THIS MUST BE DONE PRIOR TO CONSTRUCTION, AND VERIFIED BY THE CITY'S DRC AT THE PRE-CONSTRUCTION MEETING.
- 2 NO ADDITIONAL TREES OR VEGETATION SHALL BE DISTURBED AS A RESULT OF THE FOUNDATION DRAIN INSTALLATION.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 4 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5 Your new street address is now # 111 RIVER'S EDGE DRIVE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 6 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 7 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 8 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 9 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 01 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 01 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvement as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

Rec'd 2-16

*SLZ... no more
no historic
wetlands or*

Stroudwater Farms Association
Applicant
18 Carroll St, Falmouth, ME 04105
Applicant's Mailing Address
n/a

2002-0157
Application I. D. Number
07/12/2002
Application Date
Rivers Edge Subdivision Lot# 18
Project Name/Description

*1) Buffer Zone Marked +
Protected
2) no crossings in buffer
3) no additional trees w/
funds. done*

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Address of Proposed Site

217 A008001
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Proposed Building square Feet or # of Units Acreage of Site Zoning

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 Flood Hazard Shoreland Historic Preservation DEP Local Certification
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Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 07/15/2002
Reviewer *Jay Renaldi*

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 Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____
 Condition Compliance _____ signature _____ date _____
 Additional Sheets Attached

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<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
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<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator
DATE: November 18, 2003
RE: C. of O. for # 111 River's Edge Drive
(Id# 2002-0157) (Cbl 217A008)

After visiting the site, I have the following comments:

Site work complete:

At this time, I recommend issuing a permanent Certificate of Occupancy.

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\drc\riversedgelot18b.doc

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

August 20, 2003

Juliann T. Walsh
111 River's Edge Drive
Portland, ME 04101

RE: 111 River's Edge Drive
(Id# 2002-0157) (Cbl 217A008)

Dear Ms. Walsh:

The City's records indicate that your temporary certificate of occupancy expired on June 30, 2003. Your occupancy permit was conditional upon the completion of the site improvements (final grading, loam and seed, landscaping, paving, etc.).

Upon a recent site visit, the following items were noted as incomplete:

1. Building Number posted (#111).
2. Landscaping installation: 2 Street trees along the property frontage as shown on the site plan and as required by Ordinance.

We look forward to the completion of these items, and the issuance of your certificate of occupancy.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Program Manager
Michael Nugent, Inspection Services Manager

OWNER:
 JULIANN WALSH
 824 ROOSEVELT TRAIL
 PMB BOX #131
 WINDHAM, MAINE 04062

BUILDER:
 B4M CONSTRUCTION CO. INC.
 14 HANOVER ST.
 PORTLAND, MAINE 04101

ENGINEER:
 PINKHAM & GREER
 CONSULTING ENGINEERS
 FALMOUTH, MAINE 04105

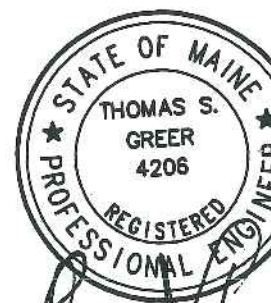
TOPOGRAPHY & BOUNDARY:
 OWEN HASKELL ASSOC.
 PORTLAND, MAINE 04101

BUILDING LAYOUT BY A
 PROFESSIONAL LAND SURVEYOR
 IS RECOMMENDED.

CITY OF PORTLAND
APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
 CONDITIONS

DATE OF APPROVAL: 7-18-02



Thomas S. Greer
 7/1/02

SITE PLAN LOT 18

RIVER'S EDGE
RIVER'S EDGE DRIVE

SCALE: 1"=30'
 DATE: JULY 1, 2002
 DESG BY: TSG
 PROJECT: 02110

PINKHAM & GREER
 CONSULTING ENGINEERS, INC.
 FALMOUTH, MAINE

2-STREET TREES,
 RED MAPLE (acer
 rubrum) 2 1/2" CAL.

CONNECT
 UTILITIES TO
 EXISTING STUBS

N/F
 STROUDWATER FARM
 ASSOCIATES
 LOT 17

N/F
 STROUDWATER FARM
 ASSOCIATES
 LOT 19

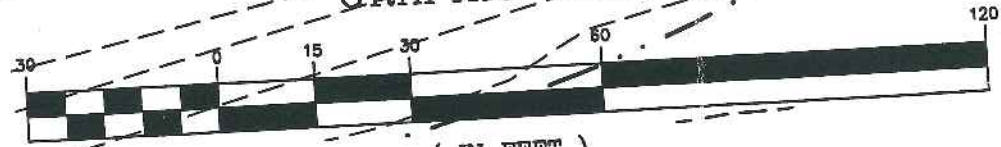
BUFFER ZONE TO BE LEFT IN IT'S
 NATURAL CONDITION EXCEPT THAT
 CLEARING OF THE UNDERSTORY FOR A
 5' WIDE WALKING TRAIL IS PERMITTED

EX. 18" S
 DAYLIGHT FOUNDATION
 DRAIN IN THE AREA
 CLEARED FOR THE
 WALKING TRAIL, INV. 36.5.

LOT 18
 21,134 SF.

N/F
 STROUDWATER FARM
 ASSOCIATES
 LOT 30

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

LEGEND

- LOT LINES
- - - ABUTTERS PROPERTY
- - - BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- 100 x 291.5 SPOT GRADE
- - - WETLAND BOUNDARY
- - - SHORELAND ZONE LINE
- - - EASEMENT
- - - BUFFER LINE
- - - FLOOD HAZARD LINE
- - - STREAM
- - - EDGE OF PAVEMENT
- - - VERTICAL GRANITE CURB
- - - SLOPED BITUMINOUS CURB
- - - ROAD CENTERLINE
- - - 18" SANITARY SEWER
- - - 8" SANITARY SEWER & MANHOLE
- SD- STORMDRAIN & MANHOLE
- - - CATCH BASIN
- - - 8" WATER LINE
- - - HYDRANT
- UD- UNDERDRAIN
- - - FOUNDATION DRAIN
- - - SEWER HOUSE SERVICE
- - - WATER HOUSE SERVICE
- - - BOUND FOUND
- - - IRON PIPE FOUND
- - - GRANITE MONUMENT TO BE SET
- - - 5/8" IRON PIPE TO BE SET
- - - TREELINE
- - - PATH OF SURFACE DRAINAGE
- - - SILT FENCE
- - - NATURAL CONDITION
- - - BUFFER ZONE

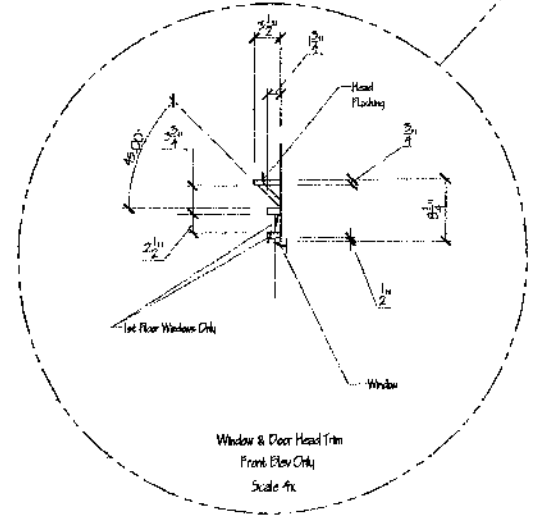
FILE SCALE: 1"=30'
 CAD FILE: 02110

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Disclaimer Notes:
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Front Elevation
 1/4" = 1'-0"



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 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 State Street Portland, ME 04105 Phone 207.797.7776 Fax 207.676.0069
 WWW.NORTHEASTDESIGNDRAFTING.COM

PROJECT FOR
 Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

DATE	DESCRIPTION	BY

For BOCA Review
 DRAWN M Law
 DATE 08-22-02
 CHECKED
 APPROVED
 SCALE 1/4" = 1'-0"
 JOB OWNER
 DRAWING SHEET A-1

Project File Location: P:\Northeast Design Drafting\Northeast Design Drafting\Residential\Rita's House.dwg

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Rear Elevation
 1/4" = 1'-0"

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PROJECT FOR
 Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

DATE	DESCRIPTION	BY	DATE

For BOCA Review	
DRAWN	M. Law
DATE	09.22.02
DESIGNED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB CODE	
DRAWING SHEET	A-2

Project File Location: D:\Northeast Design Drafting\1\Northeast Design Drafting\Residential\Rita's House.dwg

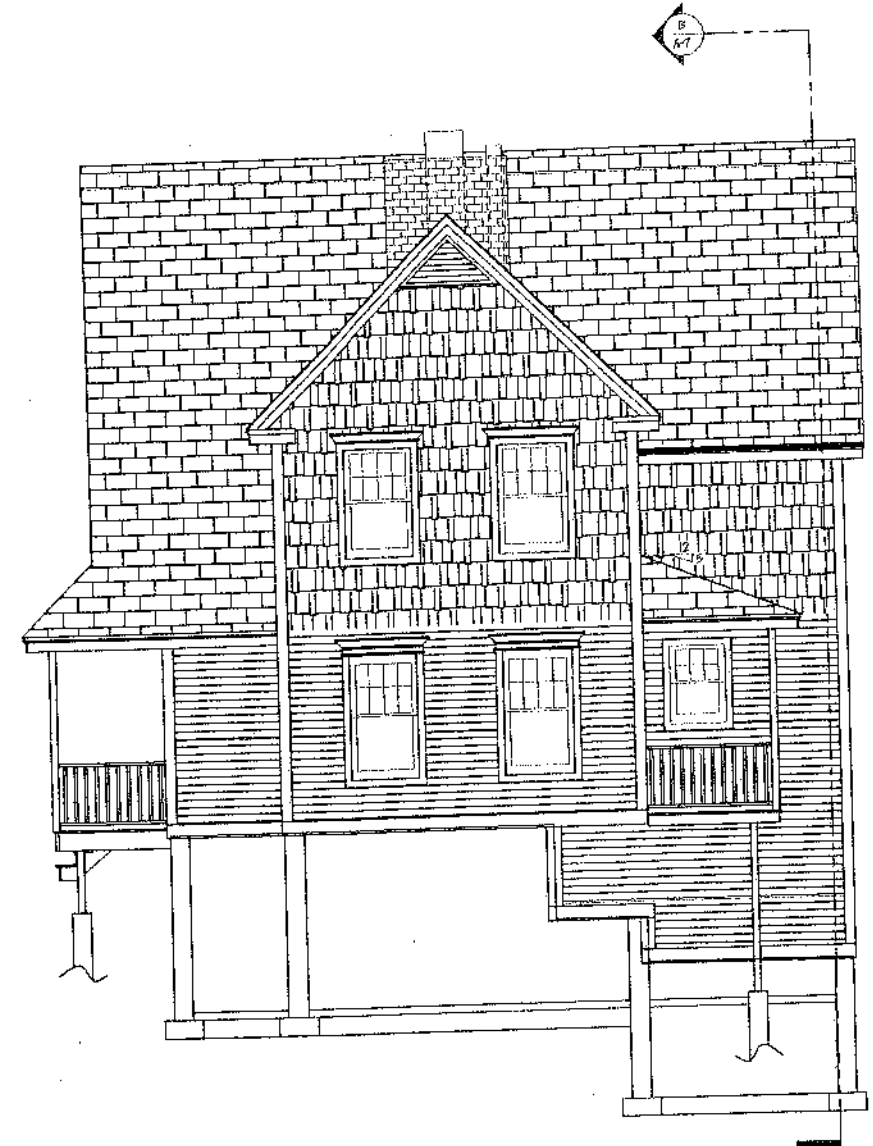
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Right Side Elevation
 1/4" = 1'-0"



Left Side Elevation
 1/4" = 1'-0"

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Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

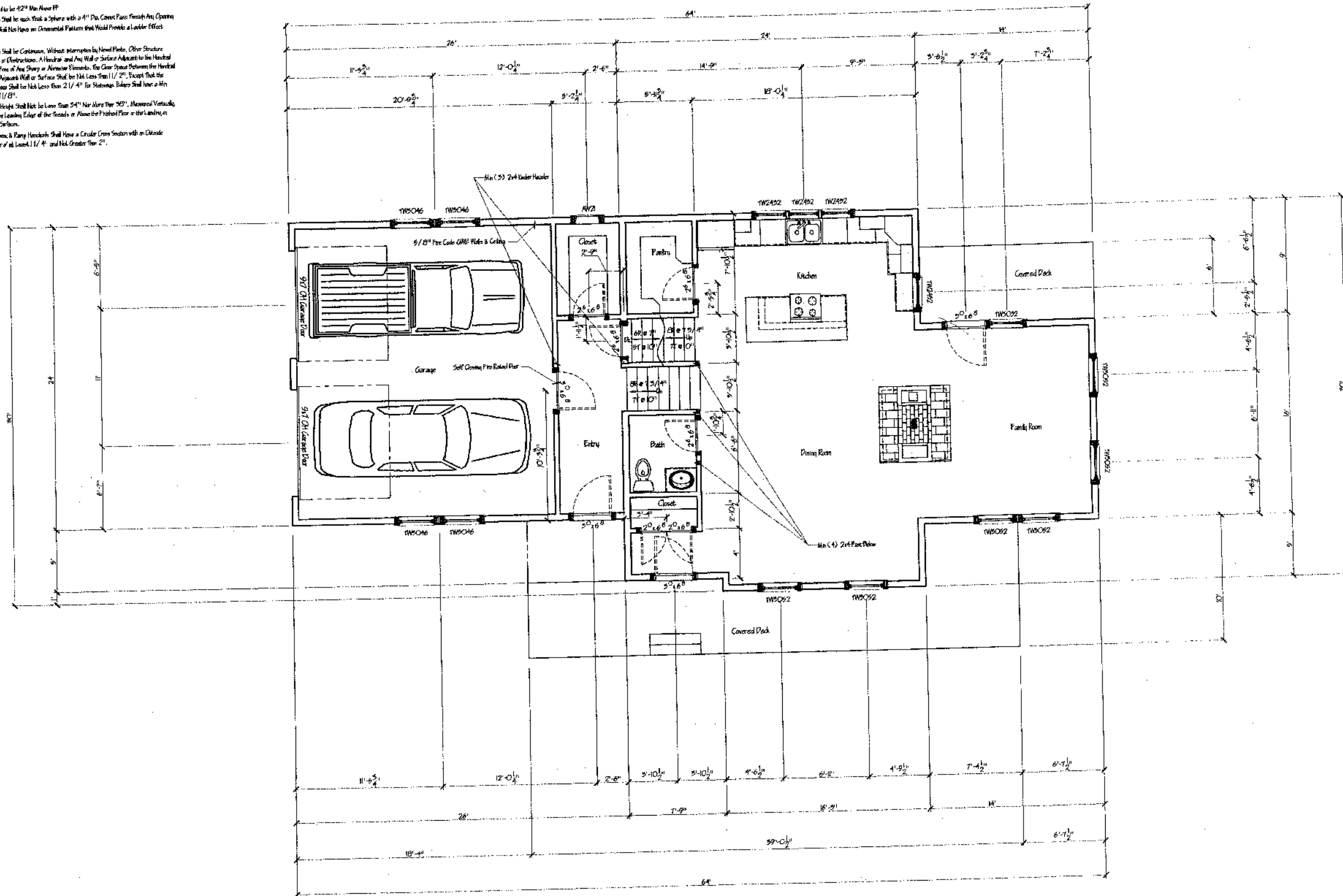
PROJECT FOR

Elevations	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
APPROVED BY	
DATE	

FOR REVIEW	
DRAWN	M.L.W.
DATE	08.22.08
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB CODE	
DRAWING SHEET	A

General Notes:

- 1) Guards:
 - A.) Guard Rail to be 42" Min. High
 - B.) Openings shall be such that a sphere with a 4" Dia. Cannot Pass Through Any Opening
 - C.) Guards shall Not Have an Ornamental Pattern that Would Provide a Ladder Effect
- 2) Handrails:
 - A.) Handrails shall be Continuous, Without Interruption by Newel Posts, Other Structure Elements or Obstructions. A Handrail and Any Wall or Surface Adjacent to the Handrail shall be Free of Any Sharp or Protruding Elements. The Clear Space Between the Handrail and the Adjacent Wall or Surface shall be Not Less Than 1 1/2". Except that the Clear Space shall be Not Less Than 2 1/4" for Stairways. Balgo shall have a Min. Radius of 1/8".
 - B.) Handrail Height shall Not be Less Than 34" Nor More Than 38". Measured Vertically Above the Leading Edge of the Treads or Above the Finished Floor or the Landing, in Walking Surfaces.
 - C.) All Stairways & Ramp Handrails shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".



1st Floor Plan
1/4" = 1'-0"

874 Sq. Ft.

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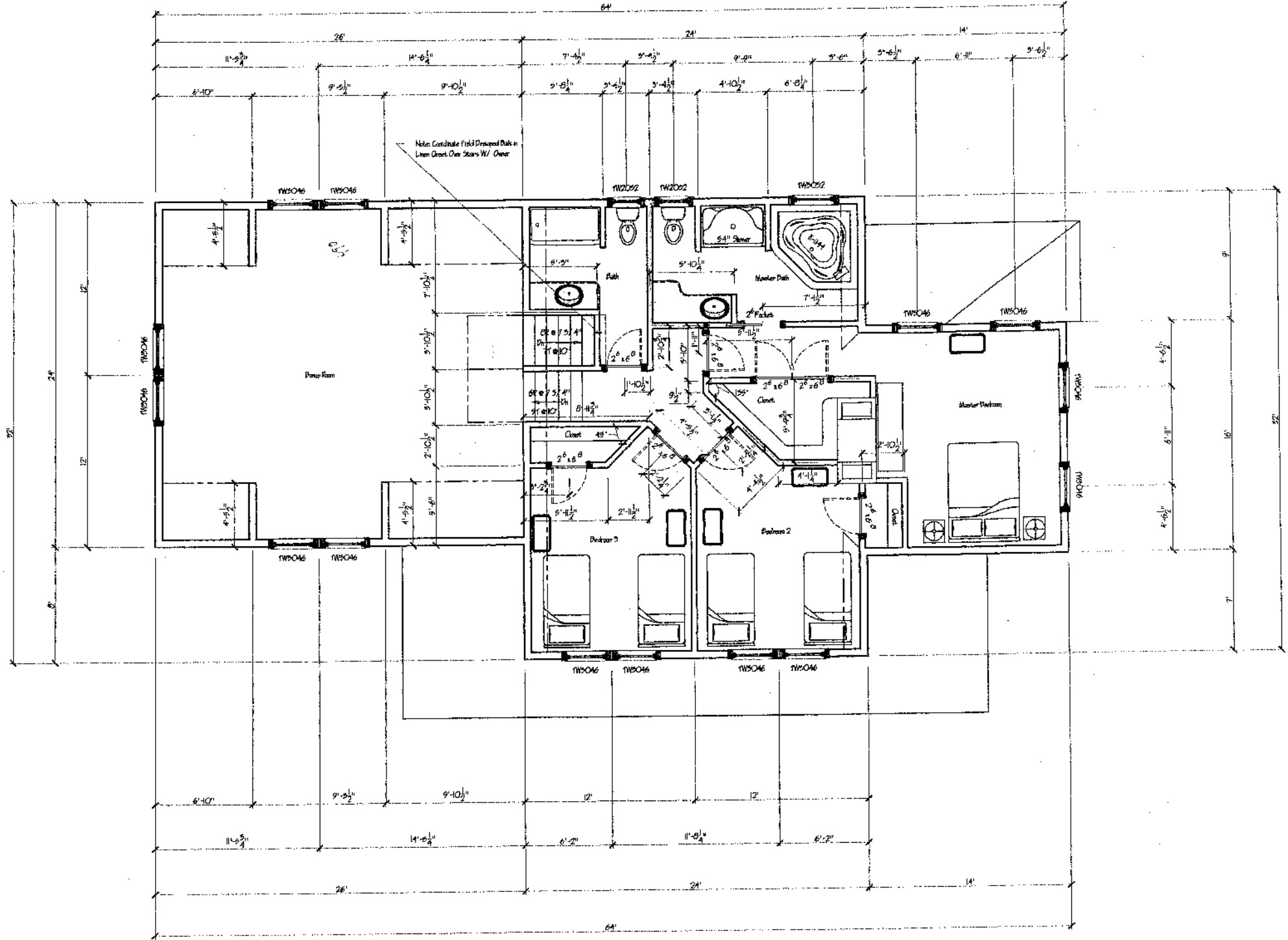
PROJECT FOR:
Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

PROJECT TITLE:	1st Floor Plan
DATE:	08.22.03
DRAWN BY:	M. Lane
CHECKED BY:	
APPROVED BY:	
SCALE:	1/4" = 1'-0"
DRAWING SHEET:	A-

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General:
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 B) Handrail Height Shall Not be Less Than 24" Nor More Than 36", Measured Vertically Above the Landing Edge of the Treads or Above the Finished Floor or the Landing or Walking Surfaces.
 C) At Stairways, 8 Round Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".

2nd Floor Plan
 1/4" = 1'-0"

1,616 Sq. Ft.
 - 624 Sq. Ft. Bonus Room
 992 Sq. Ft.

NORTHEAST DESIGN DRAFTING
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 S. Main Street Portland, ME 04107 Phone 207.791.7716 Fax 207.579.0069

Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

PROJECT NO:

2nd Floor Plan
DATE:
CHECKED:
APPROVED:
SCALE: 1/4" = 1'-0"
JDP: CDR
DRAWING SHEET: A-

DATE:

SCALE:

JDP: CDR

DRAWING SHEET: A-

Disclaimer Notes:

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- All Load Bearing Requirements Should be Verified by a Registered Engineer or Architect and are the Sole Responsibility of the Client and/or Contractor.
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- Owner/Client Responsibility:
- The Contractor for Work These Plans Were Developed in Accordance with Plans Prepared for Drafting Services Only. Ownership of the Design Depicted in These Plans is the Sole Property of Northeast Design Drafting.
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General Notes:

- Refer to Floor and Roof Framing Plans for Rafter, Header & Floor Joist Sizes
- Roof Ridge Support Carries to Basement
- All Construction per BOCA National Edition

Framing Specifications:

Floor System:

- Joists as indicated on Floor Framing Plan
- 1x3 Cross Bracing at Center Span
- 2x6 PT Sill Plate w/ Sill Seal
- Subfloor as indicated
- Finish Floor per Customer Specs

Exterior Walls:

- 2x6 Studs @ 16" OC
- (2) 2x6 Top Plate
- 2x6 Bottom Plate
- 7/16" OSB Wall Sheathing
- Tynex Air Infiltration Barrier
- Fiberglass Insulation
- Siding & Finish Trim per Customer Specs

Interior Walls:

- 2x4 Studs @ 16" OC
- (2) 2x4 Top Plate
- 2x4 Bottom Plate

Roof System:

- Rafters per Roof Framing Plan
- 5/8" B CDX Roof Sheathing
- 15# Felt
- 25# 1/2" Asphalt Shingles
- Ice Shield @ Edge (Up 3' Min)
- 8" Aluminum Drip Edge

Insulation:

- Exterior Walls R19
- Attic Cap R25
- Sill R9

Ventilation:

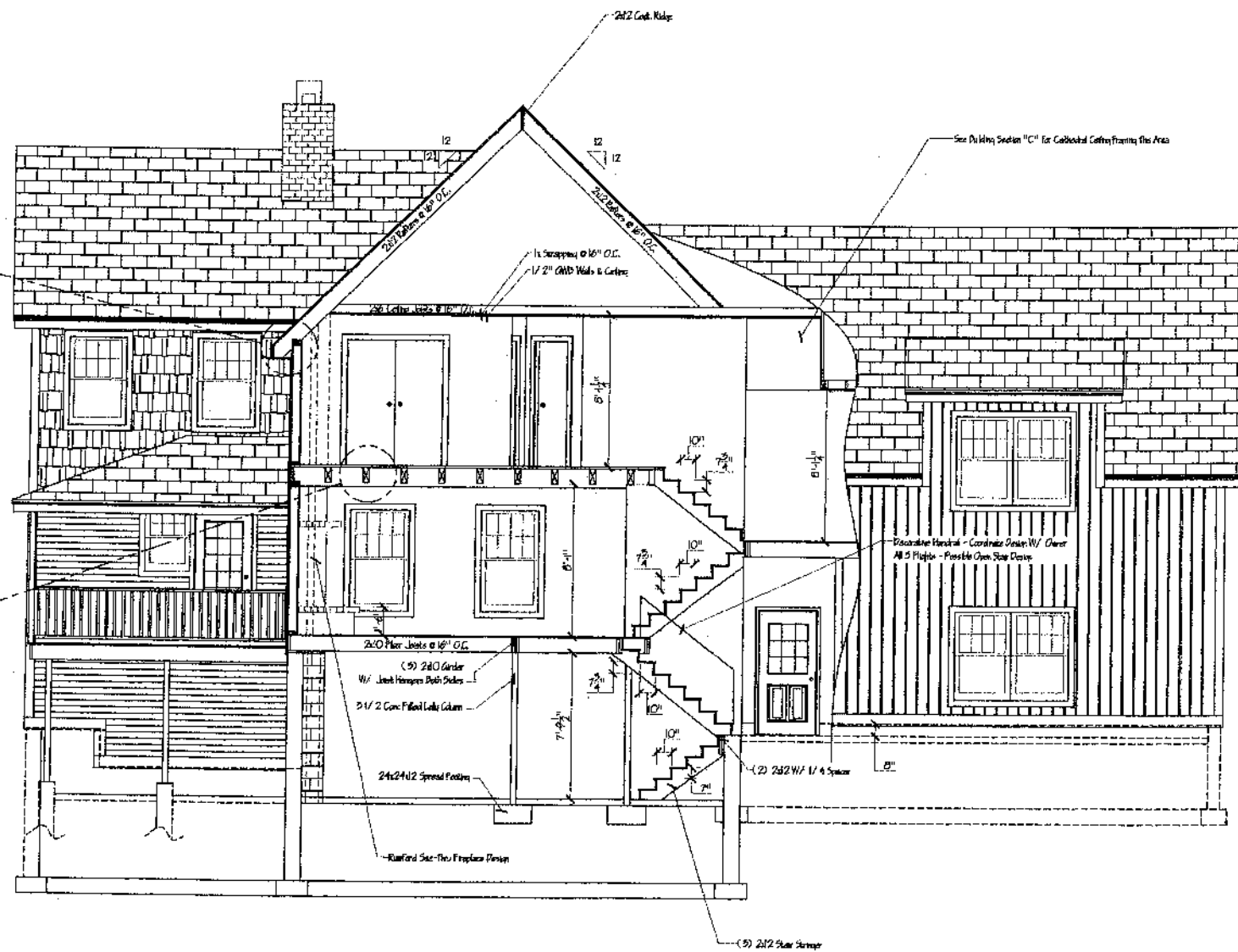
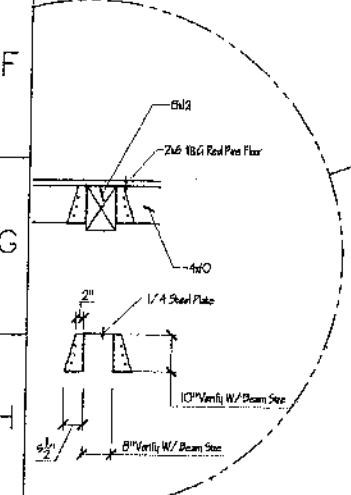
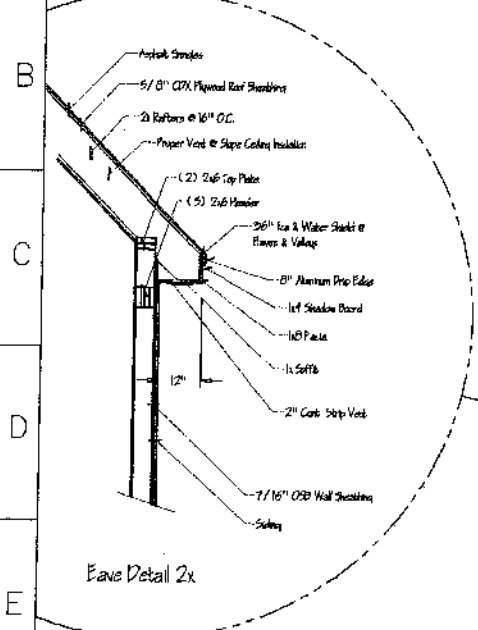
- Soffits 2" Strip Vent
- Ridges Comb Shingle Vent
- Lower As Steam
- Circulation Vents between Rafters

Headers:

- See Chart Below
- Beams as Indicated
- 6" Min Bearing All Beams

Interior Finish:

- 1/2" Gypsum Walls & Ceilings
- Wall Casings per Cust Spec
- Door Molding per Cust Spec
- Floor Finish per Cust Spec
- Milwork per Cust Spec
- Paint/ Stain per Cust Spec



Building Section "B1"
1/4" = 1'-0"

General Notes:

- See Roof Framing Plan for Roof Framing Members
- See Floor Framing Plan for Floor Framing Members
- See Foundation Plan for Foundation Specs.
- See Floor Plans for Guardrail & Handrail Specs.

Maximum Spans for Headers Located Over Openings in Walls (In Feet)				
Size of Header	Headers in Bearing Walls			Headers in Non-Bearing Walls
	Supporting Roof Only	One Story Above	Two Stories Above	
(2) 2x4	4	-	-	-
(2) 2x6	6	4	-	-
(2) 2x8	8	6	-	10
(2) 2x10	10	8	6	12
(2) 2x12	12	10	8	16

NORTHEAST DESIGN DRAFTING
DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
999 Somers Street Portland, ME 04103 Phone 207.797.7776 Fax 207.797.0065

PROJECT FOR
Rita's House
Lot Number 16 - Rivers Edge
Portland, Maine

House Section

DATE 09-22-02
CHECKED
APPROVED
SCALE 1/4" = 1'-0"
JOB ORDER
DRAWING SHEET A-7

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General Notes:
 Refer to Floor and Roof Framing Plans for Rafters, Header & Floor Joist Specs.
 Roof Ridge Support Carries to Foundation.
 All Construction per BOCA National Edition.
Framing Specifications:

Floor System:
 Joists as Indicated on Floor Framing Plan
 1x6 Cross Bracing at Center Span
 2x6 PT Sill Plate w/ 5/8" Seal
 Subfloor as Indicated
 Finish Floor per Customer Specs

Exterior Walls:
 2x6 Studs @ 16" OC
 (2) 2x6 Top Plate
 2x6 Bottom Plate
 7/16" OSB Wall Sheathing
 Synk Air Infiltration Barrier
 Fiberglass Insulation
 Siding & Finish trim per Customer Spec.

Interior Walls:
 2x4 Studs @ 16" OC
 (2) 2x4 Top Plate
 2x4 Bottom Plate

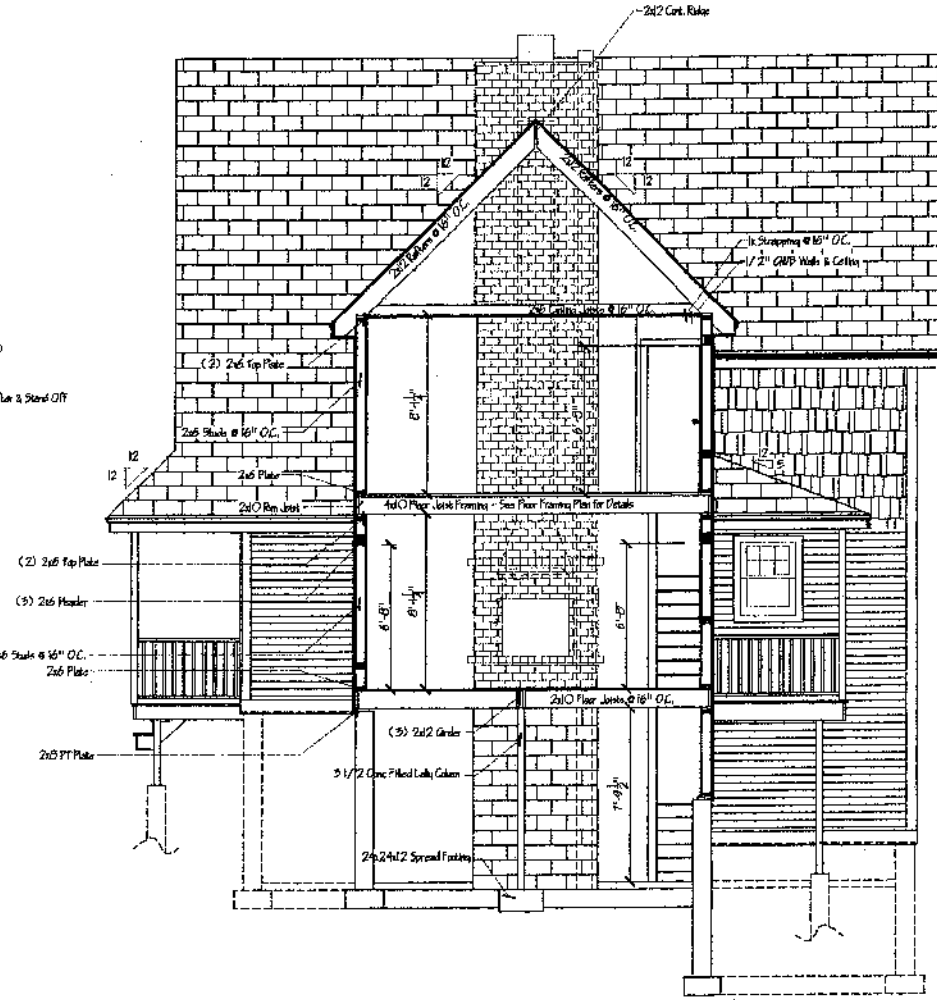
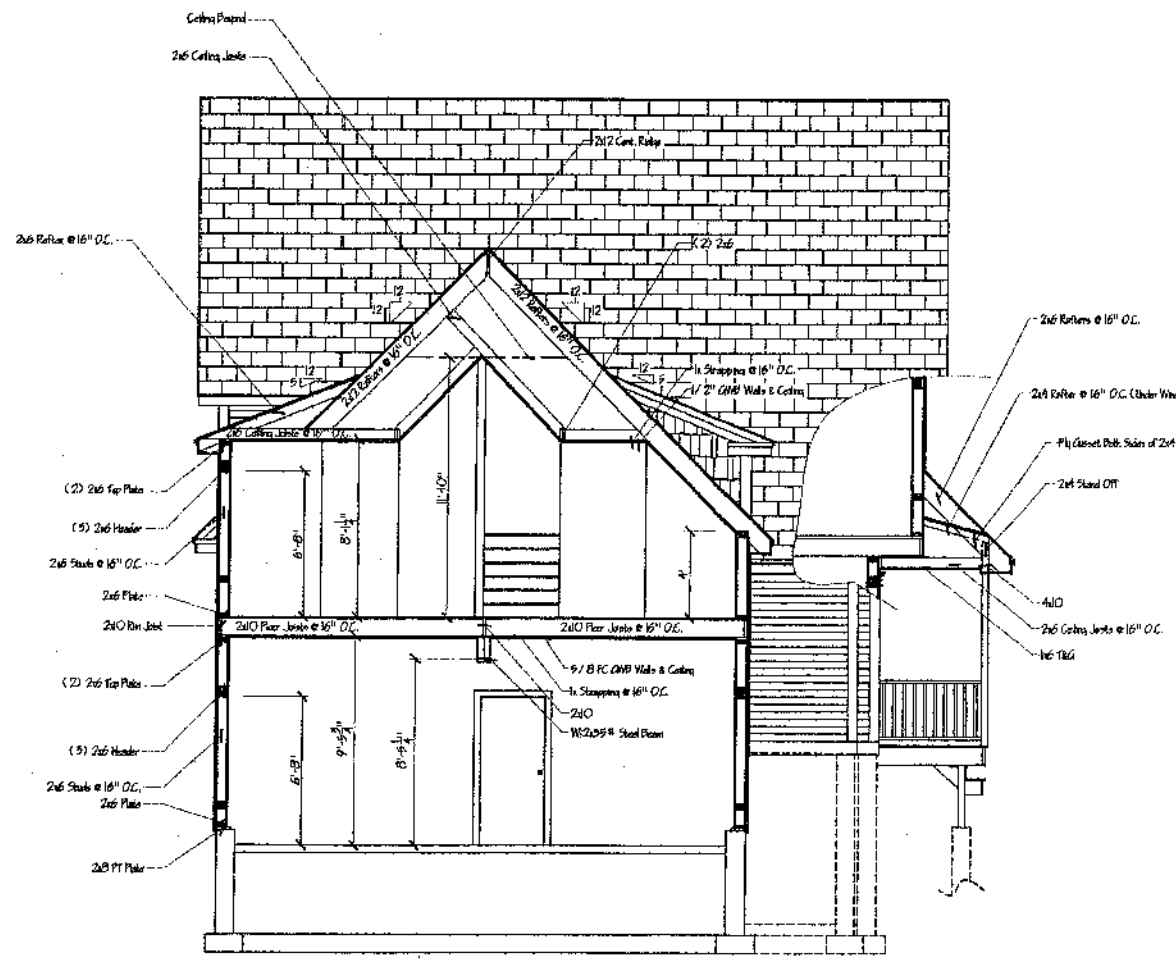
Roof System:
 Rafters per Roof Framing Plan
 5/8" B C/PX Roof Sheathing
 15# Felt
 25 Yr Asphalt Shingles
 Ice Shield @ Edge (Up 5' Min)
 3" Aluminum Drip Edge

Insulation:
 Exterior Walls R19
 Attic Cap R25
 Sills R19

Ventilation:
 SoftPile 2" Strip Vent
 Ridge Cap Soffit Vent
 Lower As Shown
 Gradation Vents between Rafters

Headers:
 See Chart Below
 Beams as Indicated
 6" Min Bearing All Beams

Interior Finish:
 1/2" GYP Walls & Ceiling
 Wall Casing per Cust Spec
 Base Molding per Cust Spec
 Floor Finish per Cust Spec
 Millwork per Cust Spec
 Paint/ Stain per Cust Spec



Building Section "C-C"
 1/4" = 1'-0"

Building Section "D-D"
 1/4" = 1'-0"

General Notes:
 1.) See Roof Framing Plan for Roof Framing Members
 2.) See Floor Framing Plan for Floor Framing Members
 3.) See Foundation Plan for Foundation Specs.
 4.) See Floor Plans for Guardrail & Handrail Specs.

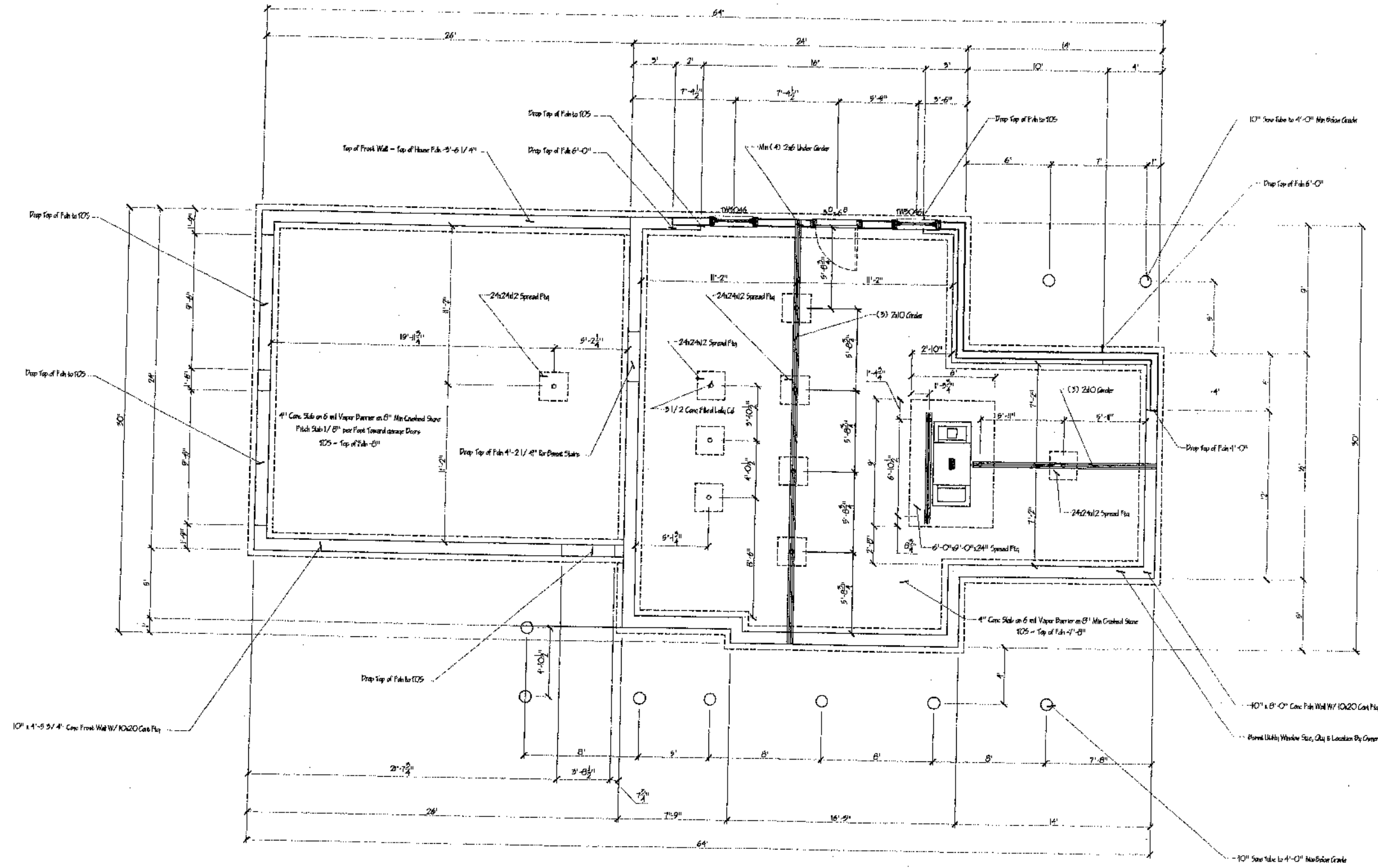
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Size of Header	Headers in Bearing Walls			Headers in Non-Bearing Walls
	Supporting Roof Only	One Story Above	Two Stories Above	
(2) 2x4	4	-	-	-
(2) 2x6	6	4	-	-
(2) 2x8	8	6	-	10
(2) 2x10	10	8	6	12
(2) 2x12	12	10	8	16

NORTHEAST DESIGN DRAFTING
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 Sycamore Street Portland, ME 04103 Phone 207.797.1776 Fax 207.678.0066

Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

PROJECT FOR:
 HOUSE SECTION
 DRAWING TITLE:
 SCALE:
 DATE: 05.23.08
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER:
 DRAWING SHEET: A-8

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Foundation Plan
 1/4" = 1'-0"

General Notes:
 All Construction per BOCA Local Edition
 Concrete Walls as Indicated w/ #4x24" Facing Joists @ 48" OC
 Anchors @ Corners @ 6'-0"
 Concrete 3000 PSI Walls, Slab & Footings
 Soil Bearing 2500 PSF
 All Footings to Frost Depth
 3 1/2" Concrete Filled Lally Columns
 24"x24"x42" Lally Column Spread Footings
 4" Conc. Slab on 6 mil Vapor Barrier on 8" Min. Crushed Stone
 4" Perforated Under drain Pipes Both Sides of Fdn. Wall
 Direct Under drain Pipe to Sump or Daylight by Gravity Flow
 4" Perforated Rigid Pipes Under Slab @ 20" Max. Connect to
 Under drain & Provide 2 Stubs for Future Ventilation
 Control Joints as Indicated
 Asphalt Foot Exterior of Foundation Walls Below Grade

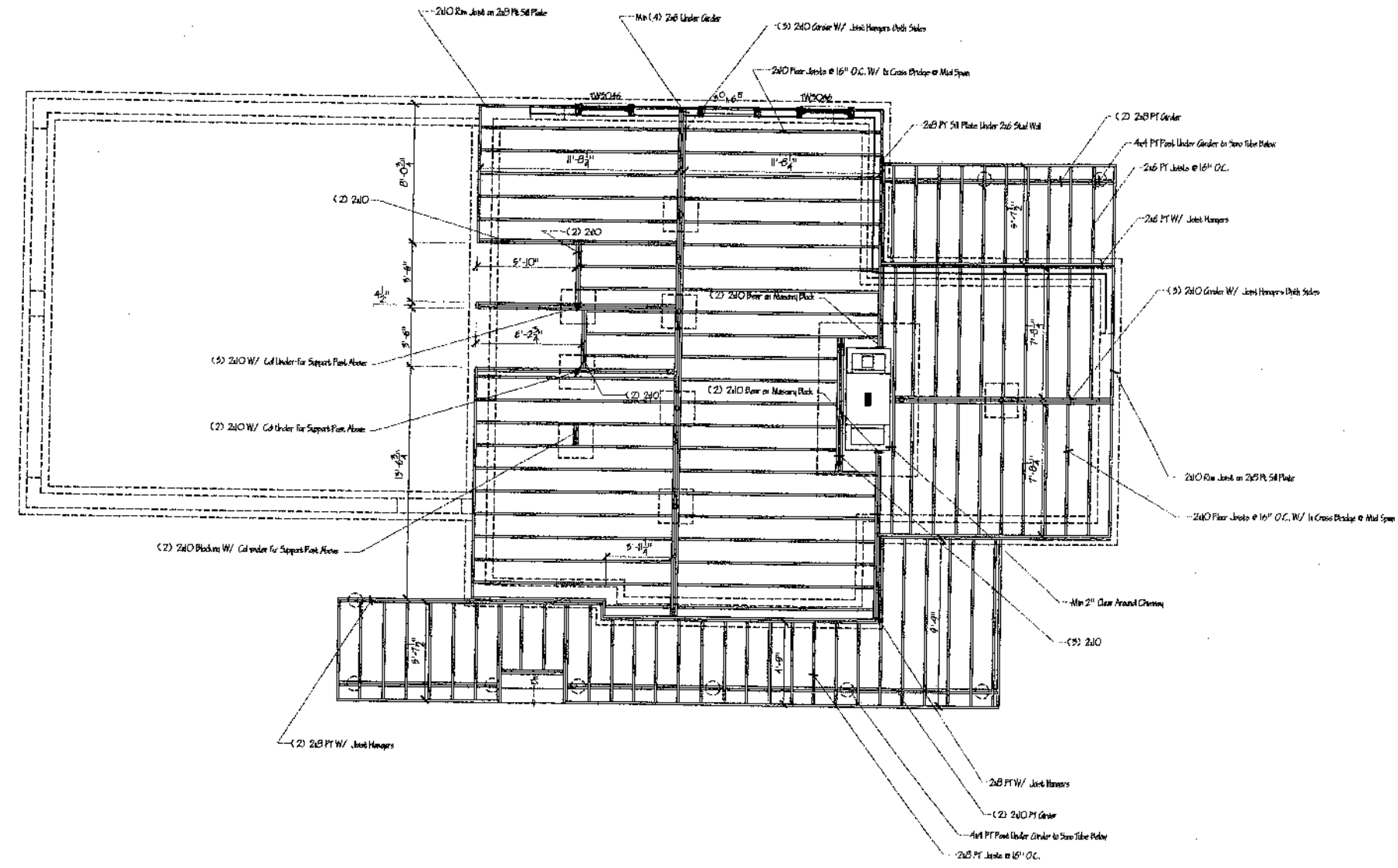
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 955 S. Maple Street, Portland, ME 04107
 Phone: 735-999-9999
 Fax: 735-999-9999
 Email: info@ndd.com

PROJECT FOR:
 Rita's House
 Lot Number 16 - Rivers Edge
 D. ...

PROJECT FOR:	Rita's House
LOT:	Lot Number 16 - Rivers Edge
DATE:	05.22.09
DRAWN:	M. Lane
CHECKED:	
APPROVED:	
SCALE:	1/4" = 1'-0"
JOB ORDER:	
DRAWING SHEET:	A-9

FOUNDATION PLAN

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Floor Framing 1st Floor
 1/4" = 1'-0"

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 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 99 Sanson Street, Portland, ME 04105 Phone 207-791-7176 Fax 207-791-0045

Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

PROJECT FOR

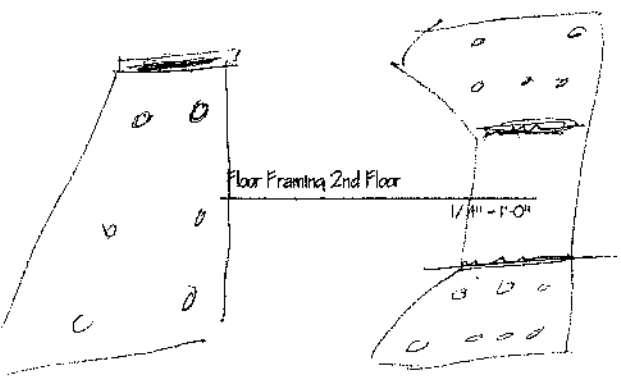
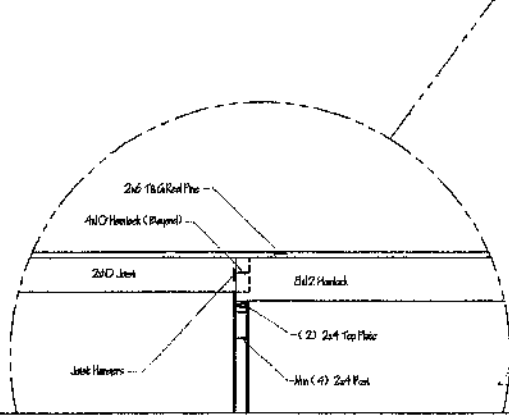
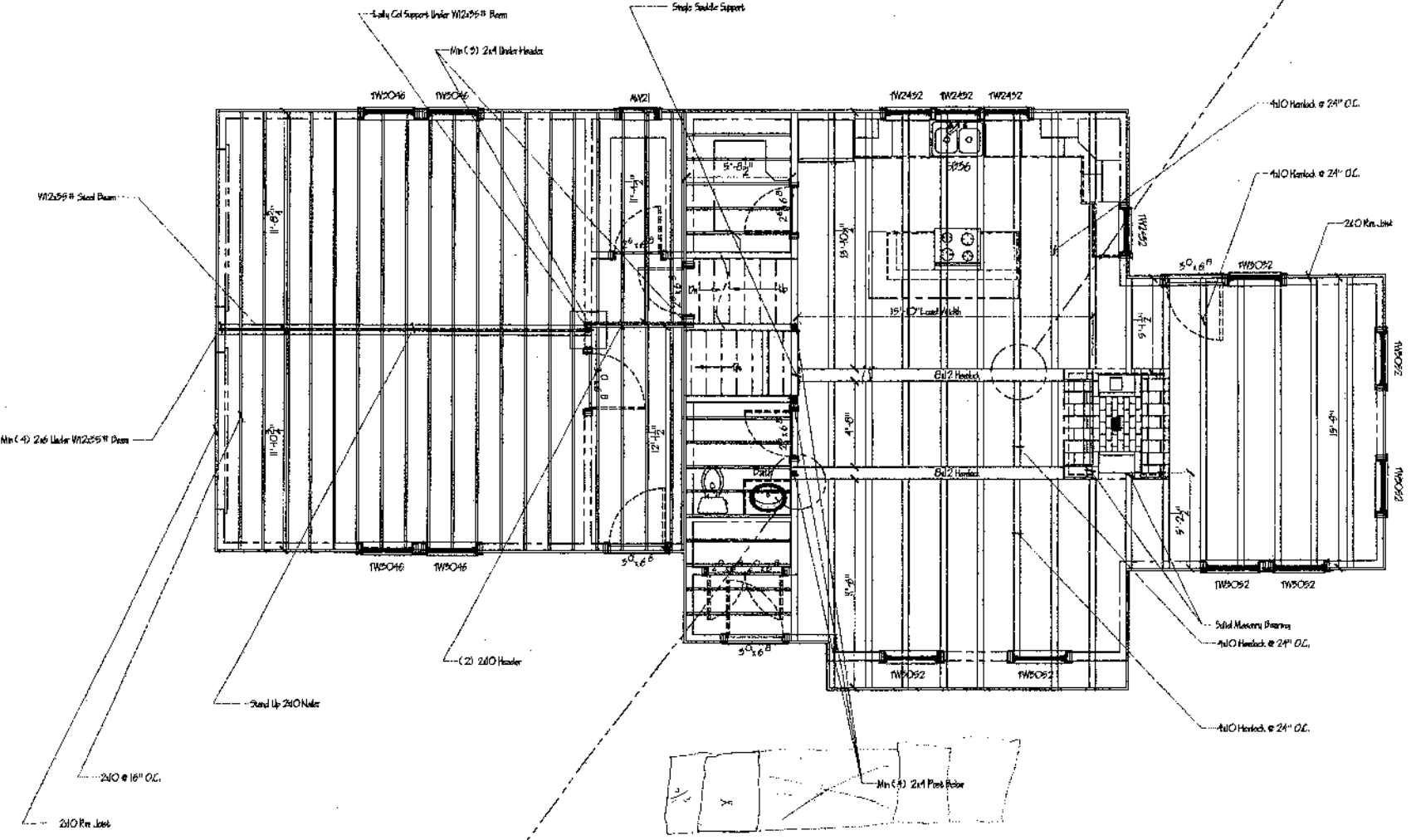
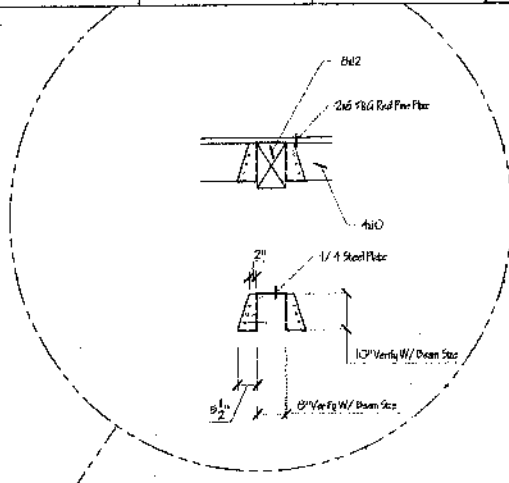
Floor Framing 1st Floor	
DWG. TITLE	
DATE	
SCALE	
DRAWING SHEET	

DESIGNER	DATE
CHECKED	SCALE
APPROVED	JOB ORDER
DRAWING SHEET	A-10

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A
B
C
D
E
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 55 Sans Street Portland, ME 04101 Phone 207.797.1716 Fax 207.616.0065

PROJECT FOR:
Rita's House
 Lot Number 16 - Rivers Edge
 Portland, Maine

PROJECT FOR:	Rita's House
DATE:	06/22/02
SCALE:	1/4" = 1'-0"
DRAWING TITLE:	Floor Framing 2nd Floor
DATE:	06/22/02
SCALE:	1/4" = 1'-0"
DRAWING TITLE:	Floor Framing 2nd Floor

DATE:	06/22/02
SCALE:	1/4" = 1'-0"
DRAWING TITLE:	Floor Framing 2nd Floor
DATE:	06/22/02
SCALE:	1/4" = 1'-0"
DRAWING TITLE:	Floor Framing 2nd Floor

