

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 2211 Congress St		Owner: UNUM		Phone:		Permit No: <b>941272</b>
Owner Address:		Leasee/Buyer's Name:		Phone:		
Contractor Name: KJ Cronin		Address: 11 Bartlett Rd Gurnee, ME 04039, 854-2288		Phone:		Permit Issued: <b>PERMIT ISSUED</b> NOV 29 1994 215-B-002
Past Use: Vacant Space 2385		Proposed Use: Daycare		COST OF WORK: \$ 9,000/fnd		
Proposed Project Description: Construct Building for daycare		Signature:		PERMIT FEE: \$ 300. +65/fnd		INSPECTION: Use Group: E Type 53 BOCA 93 Signature: [Signature]
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		
Permit Taken By: Mary Gresik		Date Applied For: 15 Nov 94 / Site Plan		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		
Signature:		Date:		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied		Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

\*\*\* 11-28-94 = Permit application this date for foundation only  
Permit for const of building to follow at later date

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Stephen Doe	ADDRESS: [Address]	DATE: 28 Nov 94 15 Nov 94	PHONE: [Phone]
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

CEO DISTRICT

4

[Signature]

COMMENTS .

3/29 Foundation / Sellaards OK *R*

5/3/95 Rough Framing OK *R*

5/24/95 Rough plumb, west wing OK

5/23/95 Rough plumb East wing OK

6/21 @ Unit 200 - walk through w/ Pt. Mac & SDer OK

6/29/95 Gave final inspection with Lt. McDougal *J*

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 2211 Congress St

Issued to UNUM

Date of Issue 30 June 1995

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 941272, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Daycare

### Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

29/June/95 K. Carroll

(Date)

Inspector

*[Handwritten Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

*[Handwritten initials]*

Applicant: UNUM / Ledgewood, Inc. Date: 3/6/95  
owner contractor  
Address: 2211 Congress St  
Assessors No.: 215-B-002

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - OP

Interior or corner lot -

Use - DAY CARE facilities

Sewage Disposal -

Rear Yards - 50' required

Side Yards - 25' except where Abuts A Residential → Then 40'

Front Yards - 50' required

Projections -

Height - 55' MAX

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

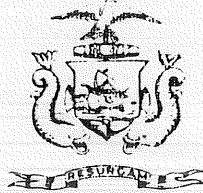
Off-street Parking -

Loading Bays -

Site Plan - ✓ Yes

Shoreland Zoning -

Flood Plains -



## CITY OF PORTLAND

November 23, 1994

Mr. Steve Doe  
Sebago Technics  
12 Westbrook Common  
P.O. Box 1339  
Westbrook, ME 04098-1339

Re: UNUM daycare center

Dear Steve:

On November 22, 1994, the Planning Authority approved the location of the footprint of the proposed daycare center and associated drainage improvements. You may now apply for a foundation permit in Inspection Services.

We will continue our review of the drainage plans, erosion control, landscaping, lighting and other improvements associated with the minor site plan proposal.

Sincerely,

Sarah Hopkins  
Senior Planner

cc: Joseph E. Gray, Jr., Director, Planning and Urban Development  
Alexander Jaegerman, Chief Planner  
P. Samuel Hoffses, Chief of Building Inspections  
Kevin Feuka, Dufresne-Henry Engineers  
22 Free Street, Portland, ME 04101-3900

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

March 8, 1995

RE: 2211 Congress Street, Portland  
Day Care Facility

Ledgewood Inc.  
P. O. Box  
Portland, ME 04104

Dear Sir:

Your application to construct an 8,360 square foot day care facility has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

### Site Plan Review Requirements

Inspection Services Approved Marge Schmuckal  
Fire Department Approved LT. McDougall  
Planning Division UNUM has agreed to include performance guarantee for daycare site work with performance guarantee for HO-5 and associated improvements.  
Public Works Approved Kevin Feuka (Sarah Hopkins)  
Electrical Inspections Approved as noted: City of Portland Electrical Code requirements Sven Borglund

### Use Group E Building & Fire Code Requirements Type 5A

1. All construction documents shall include the name and address of the registered design professional and shall be signed, sealed and dated by the registered design professional.
2. All storage rooms more than 50 sq. ft. but not more than 100 sq. ft. must be separated with a one-hour fire rated assembly.
3. Janitor closet shall be protected by an automatic sprinkler system done in accordance with section 7-7.1.2 of N.F.P.A. 101.
4. Interior wall and ceiling finish shall be class A or Class B. Interior finish in corridors and lobbies shall be class A.
5. Rooms and spaces listed in section 10-7.3.2.1 of the 1994 Life Safety Code shall be separated from the rest of the building with a fire resistance rating of not less than one hour.
6. Guideline for the fire alarm system is attached.
7. The primary and secondary power supply for the fire protective signaling system shall be provided in accordance with NFPA 72.

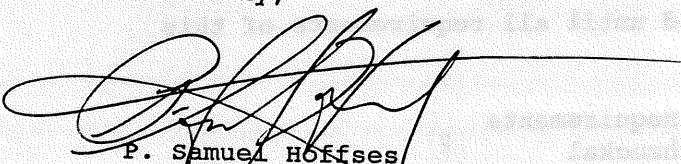
Ledgewood, Inc.

3/8/95

8. Portable fire extinguishers shall bear the label of an approved agency, be of the approved type and be installed in a location as per NFPA #10.
9. Skylights shall meet the requirements of 2404.0 of the City's building code.
10. All work shall be completed as per approved plan. Any change will require the approval of the design professional and this office.
11. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspections Services.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,



P. Samuel Hoffses  
Chief of Inspection Services

/el

cc: Marge Schmuckal, Asst. Chief of Inspection Services  
LT. Gaylen McDougall, Fire Prevention Officer  
Sarah Hopkins, Senior Planner

MINOR SITE PLAN  
CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant UNUM  
 Mailing Address 2211 Congress St. Portland 04122-1260  
 Proposed Use of Site Daycare  
 Acreage of Site / Ground Floor Coverage 120 acrs / 8,360 sq. ft.

Date November 15, 1994  
 Address of Proposed Site 2211 Congress St.  
 Site Identifier(s) from Assessors Maps 215-B-2  
 Zoning of Proposed Site O=P

Site Location Review (DEP) Required: (  ) Yes ( ) No  
 Board of Appeals Action Required: ( ) Yes (  ) No  
 Planning Board Action Required: ( ) Yes (  ) No

Proposed Number of Floors 1  
 Total Floor Area 8,360

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**BUILDING DEPARTMENT SITE PLAN REVIEW**

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
  - Requires Board of Appeals Action
  - Requires Planning Board/City Council Action

Explanation \_\_\_\_\_

Use complies with Zoning Ordinance — Staff Review Below

Zoning:  
SPACE & BULK,  
as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES	3/6/95	OP																	
COMPLIES CONDITIONALLY																			CONDITIONS SPECIFIED BELOW
DOES NOT COMPLY																			REASONS SPECIFIED BELOW

REASONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Margaret Schumaker 3/6/95  
 SIGNATURE OF REVIEWING STAFF/DATE



MINOR SITE PLAN  
**CITY OF PORTLAND, MAINE**  
**SITE PLAN REVIEW**  
**Processing Form**

UNUM \_\_\_\_\_  
 Applicant \_\_\_\_\_  
 2211 Congress St. Portland 04122-1260  
 Mailing Address \_\_\_\_\_  
 Daycare  
 Proposed Use of Site \_\_\_\_\_  
 120 acrs / 8,360 sq. ft.  
 Acreage of Site / Ground Floor Coverage \_\_\_\_\_

November 15, 1994  
 Date \_\_\_\_\_  
 2211 Congress St.  
 Address of Proposed Site \_\_\_\_\_  
 215-B-2  
 Site Identifier(s) from Assessors Maps \_\_\_\_\_  
 O=P  
 Zoning of Proposed Site \_\_\_\_\_

Site Location Review (DEP) Required: (  ) Yes ( ) No  
 Board of Appeals Action Required: ( ) Yes (  ) No  
 Planning Board Action Required: ( ) Yes (  ) No

Proposed Number of Floors 1  
 Total Floor Area 8,360

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**FIRE DEPARTMENT REVIEW**

11/15/94  
 (Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMESE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY									
DISAPPROVED									

REASONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

(Attach Separate Sheet if Necessary)

  
 \_\_\_\_\_  
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

**CITY OF PORTLAND, MAINE**

**SITE PLAN REVIEW**

**Processing Form**

Applicant: UNUM Date: November 15, 1994

Mailing Address: 2211 Congress St. Portland 04122-1260 Address of Proposed Site: 2211 Congress St.

Proposed Use of Site: Daycare Site Identifier(s) from Assessors Maps: 215-B-2

Acreage of Site / Ground Floor Coverage: 120 acrs / 8,360 sq. ft. Zoning of Proposed Site: OMP

Site Location Review (DEP) Required: (  ) Yes ( ) No Proposed Number of Floors: 1

Board of Appeals Action Required: ( ) Yes (  ) No Total Floor Area: 8,360

Planning Board Action Required: ( ) Yes (  ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**PLANNING DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN	
APPROVED													
APPROVED CONDITIONALLY												X	CONDITIONS SPECIFIED BELOW
DISAPPROVED													REASONS SPECIFIED BELOW

REASONS: Building permit may be issued.

UNUM has agreed to include performance guarantee for daycare site work with performance guarantee for HO-5 and associated improvements.

(Attach Separate Sheet if Necessary)

Sahl 3/1/95  
SIGNATURE OF REVIEWING STAFF/DATE

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

UNUM \_\_\_\_\_ Date November 15, 1994

Applicant \_\_\_\_\_

Mailing Address 2211 Congress St. Portland 04122-1260 Address of Proposed Site 2211 Congress St.

Proposed Use of Site Daycare Site Identifier(s) from Assessors Maps 215-4-2

Acreage of Site / Ground Floor Coverage 120 acrs / 8,360 sq. ft. Zoning of Proposed Site (unz)

Site Location Review (DEP) Required: ( z ) Yes ( ) No Proposed Number of Floors 1

Board of Appeals Action Required: ( ) Yes ( X ) No Total Floor Area 8,360

Planning Board Action Required: ( ) Yes ( X ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

PLANNING DEPARTMENT REVIEW

(Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA		FINANCIAL CAPACITY	CHANGE IN SITE PLAN	
APPROVED		<p>This is a phony blue sheet.</p> <p>Engineering Review OK'd by Kevin Fenka</p> <p>Sarah</p>			
APPROVED CONDITIONALLY				X	CONDITIONS SPECIFIED BELOW
DISAPPROVED					REASONS SPECIFIED BELOW

REASONS: Building

UNUM was agreed to include performance guarantee for daycare site work with performance guarantee for HO-5 and associated improvements.

(Attach Separate Sheet if Necessary)

SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

Sarah 3/1/95

CITY OF PORTLAND

March 1, 1995

Steve Doe  
Sebago Technics  
12 Westbrook Common  
P.O. Box 1339  
Westbrook, ME 04098-1339

RE: UNUM Day Care

Dear Mr. Doe:

On March 1, 1995 the Portland Planning Authority granted minor site plan approval for the Day Care construction on the UNUM Campus.

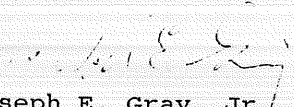
The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

If there are any questions, please contact the Planning Staff.

Sincerely,

  
Joseph E. Gray, Jr.  
Director of Planning and Urban Development

- cc: Alexander Jaegerman, Chief Planner
- Sarah Hopkins, Senior Planner
- P. Samuel Hoffses, Chief of Building Inspections
- Marge Schmuckal, Zoning Administrator
- George Flaherty, Director of Environmental/Intergovernmental Services
- Kathi Staples, Project Engineer, Parks and Public Works
- Kevin Feuka, Dufresne Henry
- William Bray, Deputy Director of Public Works
- Jeff Tarling, City Arborist
- Paul Niehoff, Materials Engineer
- Natalie Burns, Associate Corporation Counsel
- Lt. Gaylen McDougall, Fire Prevention
- ✓ Mary Gresik, Building Permit Secretary
- Approval Letter File