

FIRE DEPARTMENT NOTES

1. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR. AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
2. PROVIDE EXIT SIGN WITH "F" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES.
3. PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
4. MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS.
5. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
6. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
7. 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
8. EXITS DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
9. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING: A. CLASS I: FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS. B. CLASS II: FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS. C. CLASS III: FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLED IN ANY OTHER LOCATION.
10. DECORATIONS (CURTAINS, DRAPES, SHADES, HANGERS, ETC.) SHALL BE NON-COMBUSTIBLE OR BE FLAMEPROOFED IN AN APPROVED MANNER.
11. PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.
12. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.
13. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
14. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
15. LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.
16. EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.
17. EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
18. AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

DEMOLITION NOTES

1. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
2. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
3. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
4. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
5. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
6. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
7. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
8. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED.
9. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

REFLECTED CEILING NOTES

1. DESIGN SUSPENDED CEILING FRAMING SYSTEMS TO RESIST A LATERAL FORCE OF 20% OF THE WEIGHT OF THE CEILING ASSEMBLY AND ANY LOADS TRIBUTARY TO THE SYSTEM. USE A MINIMUM CEILING WEIGHT OF 5 POUNDS PER SQUARE FOOT TO DETERMINE THE LATERAL FORCE.
2. WHERE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHODS MAY BE EMPLOYED:
 - 2.1. PROVIDE LATERAL SUPPORT BY FOUR WIRES OF MINIMUM NO. 12 GAUGE SPAYED IN FOUR DIRECTIONS 90 DEGREES APART, AND CONNECTED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. PROVIDE THESE LATERAL SUPPORT POINTS 12 FEET ON CENTER IN EACH DIRECTION, WITH THE FIRST POINT WITHIN 4' FROM EACH WALL.
 - 2.2. ALLOW FOR LATERAL MOVEMENT OF THE SYSTEM. ATTACH MAIN RUNNERS AND CROSS RUNNERS AT TWO ADJACENT WALLS, MAINTAIN CLEARANCE BETWEEN THE WALL AND THE RUNNERS AT THE OTHER TWO WALLS.
 - 2.3. PROVIDE VERTICAL SUPPORT AS REQUIRED IN BUILDING CODES. IN ADDITION, VERTICALLY SUPPORT ENDS OF RUNNERS WITHIN 8' OF DISCONTINUITIES SUCH AS MAY OCCUR WHERE THE CEILING IS INTERRUPTED BY A WALL.
- 2.4. SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
3. LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GRID LINES. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS IN ACOUSTICAL UNITS, UNLESS OTHERWISE NOTED.
4. FINISH HVAC DIFFUSERS, DRAPERY POCKETS, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH, UNLESS OTHERWISE NOTED.

BUILDING DEPARTMENT NOTES

THIS PROJECT IS DESIGNED TO COMPLY WITH THE MAINE UNIFORM BUILDING AND ENERGY CODE (MUBEC), AND THE REGULATIONS OF THE AGENCIES HAVING JURISDICTION UNLESS OTHERWISE NOTED.

1. THIS DRAWING IS FILED TO SHOW TENANT RENOVATIONS. ALL EXISTING AND BASE BUILDING CONSTRUCTION PREVIOUSLY APPROVED UNDER SEPARATE FILINGS.
2. NO CHANGE IN USE, EGRESS OR OCCUPANCY.
3. ALL DOORS SHALL BE NON-COMBUSTIBLE.
4. ALL FIRE-RATED DOORS SHALL BE UL LABELED, FIREPROOF AND SELF-CLOSING.
5. UNDERCUT OF F.P.S.C. DOORS SHALL BE STORED IN LOCKED AREA ACCESS TO THE SADDLES AND 3/4" MAX WITHOUT SADDLE.
6. ALL NEW AND RELOCATED DOORS SHALL PROVIDE MINIMUM 2'-8" CLEAR WIDTH WHEN OPEN AND APPROVED DISABLED-ACCESSIBLE HARDWARE.
7. ALL TRIMMED OPENINGS SHALL PROVIDE MINIMUM 2'-8" CLEAR WIDTH. FIVE PERCENT OF NEW WORKSTATION CUBICLES SHALL BE DISABLED-ACCESSIBLE WITH 3'-0" MINIMUM PASSAGE POINT.
8. NEW FLOORING AND FLOOR BASE IN BATHROOMS SHALL BE CERAMIC TILE OR EQUIVALENT.
9. ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVATION TYPE IN ACCORDANCE WITH THE MAINE STATE PLUMBING CODE.

TENANT PROTECTION NOTES

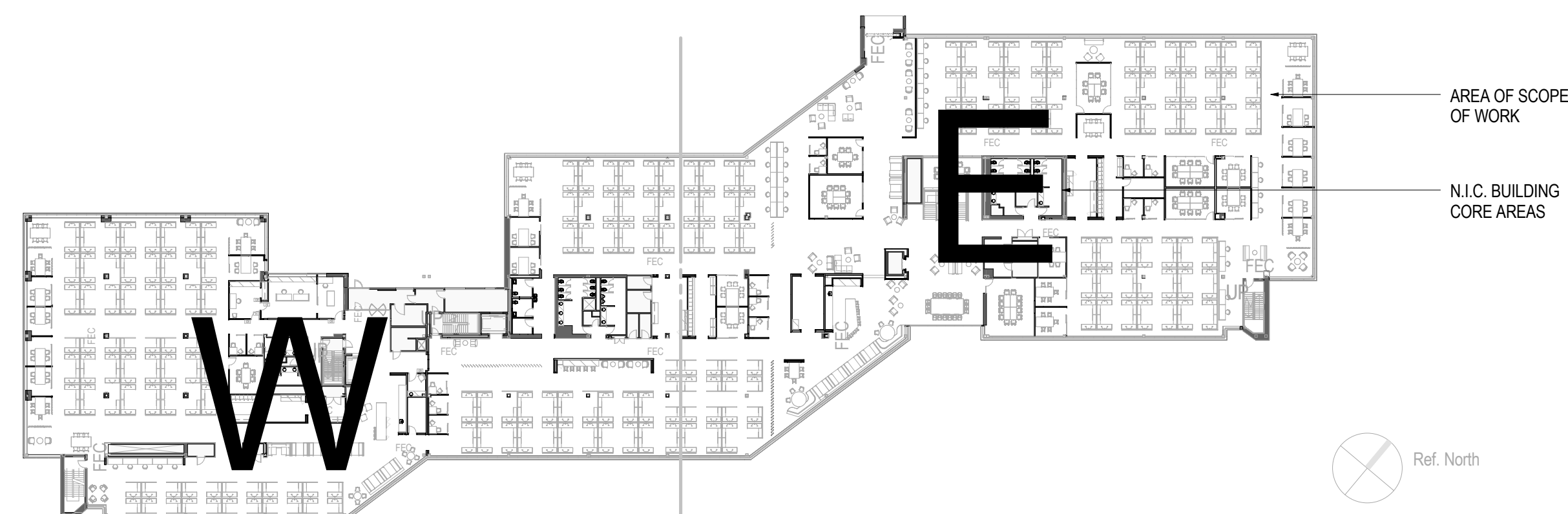
1. STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
2. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS.
3. FIRE SAFETY:
 - a. ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN LOCKED AREA ACCESS TO THE BUILDING ARE TO BE CONTROLLED BY THE OWNER, OR GENERAL CONTRACTOR.
 - b. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - c. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS' CONTAINERS SUCH MATERIALS ARE TO BE AWAY FROM HEAT.
 - d. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - e. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - f. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
 - g. CONTRACTOR, AT ALL TIMES, TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED IN CONSTRUCTION.
4. DUST CONTROL
 - a. DEBRIS, DIRT, AND DUST TO BE KEPT TO MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - b. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM THE OCCUPIED BUILDING AREA BY THE MEANS OF TEMPORARY PARTITIONS OR HEAVY DROP CLOTHS.
 - c. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
5. NOISE AFTER HOURS
 - a. CONSTRUCTION OPERATIONS WILL BE CONFINED TO WORKING HOURS SET FORTH BY THE BUILDING RULES AND REGULATIONS (NOTE #8) WITH THE PROPERTY MANAGER AND IN COMPLIANCE WITH NYC NOISE CONTROL ORDINANCES.
 - b. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS.
6. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS.
7. THERE WILL BE NO ONE OCCUPYING THE PREMISES TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

GENERAL NOTES

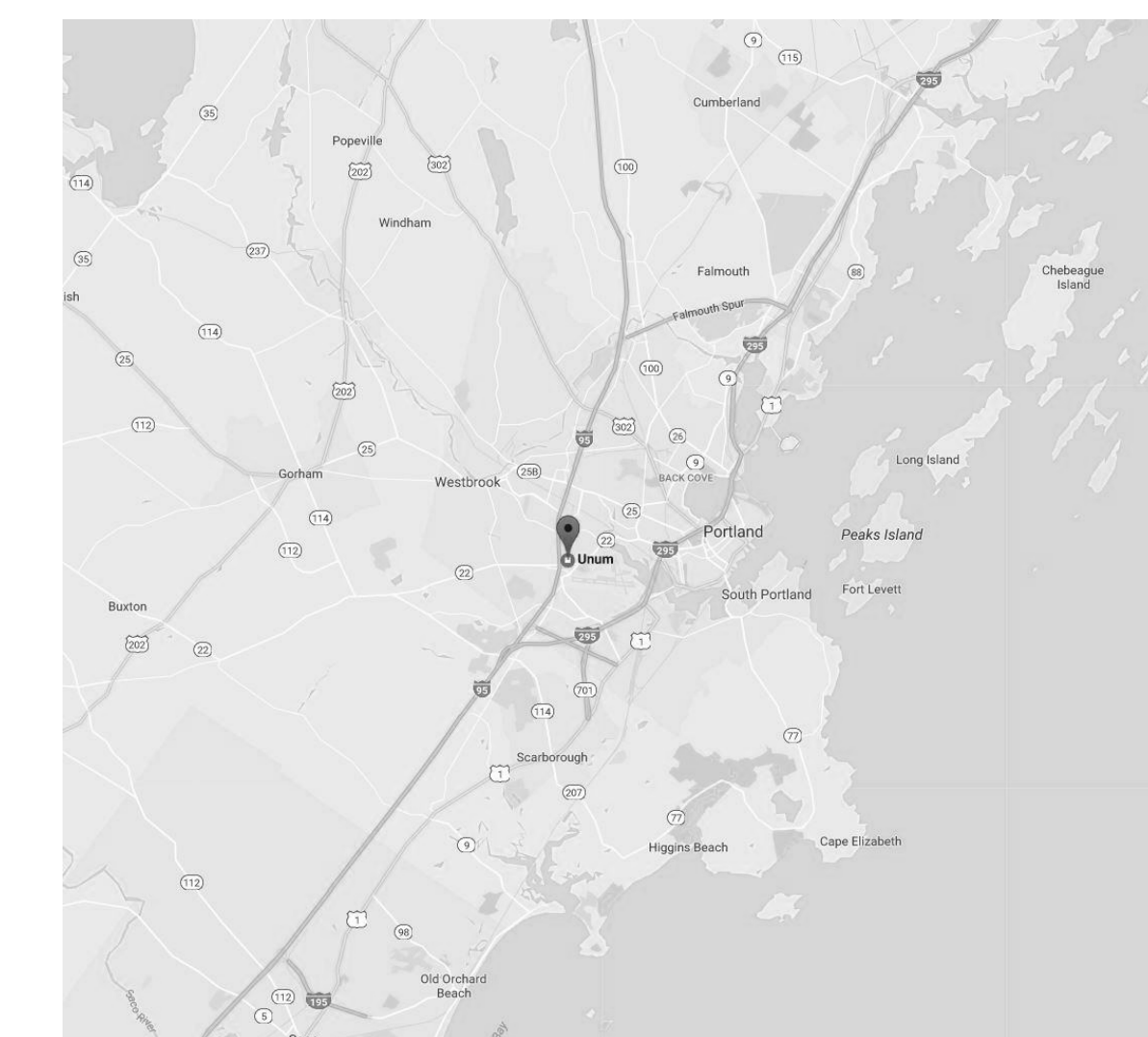
1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
5. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
6. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
7. COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS.
8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
9. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
10. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER TO ENSURE SECURITY.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
12. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
13. COORDINATE AND PROVIDE BACKING FOR MILL WORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
14. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITH NEW CONSTRUCTION.
15. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED.
16. GENERAL CONTRACTOR TO PROVIDE ALL CODE REQUIRED SIGNAGE TO OBTAIN OCCUPANCY.

1 KEY PLAN - HO2 - LEVEL 1

SCALE: 1" = 32'-0"



VICINITY MAP



LOCATION MAP



PROJECT INFORMATION

BUILDING ADDRESS:	2211 CONGRESS STREET PORTLAND, ME 04122
CODES:	BUILDING CODE: Maine Uniform Building and Energy Code (MUBEC) [2009 International Building Code (IBC)] 2009 International Existing Building Code (IEBC) [2009 International Energy Conservation Code (IECC)] [62.1 - 2007 (Ventilation for Acceptable Indoor Air Quality)] PLUMBING CODE: Maine State Internal Plumbing Code [APMPO 2009 Edition] ACCESSIBILITY: 2010 ADA Standards for Accessible Design
PROJECT SUMMARY:	INTERIOR RENOVATION OF LEVELS 2 & 3 WORKPLACE OF EXISTING BUILDING, WITH SELECTIVE EXTERIOR ALTERATION.
ZONING:	
BUILDING CLASSIFICATION:	OFFICE BUILDING
OCCUPANCY TYPE:	BUSINESS, TYPE B
CONSTRUCTION CLASSIFICATION:	TYPE II-B

HAZARDOUS MATERIALS NOTE

IN THE EVENT OF HAZARDOUS MATERIALS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWNABLE TO CLIENT. IF ASBESTOS OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE THEREOF IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL, IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT. CLIENT SHALL HAVE THE DUTY PROMPTLY TO RETAIN A QUALIFIED EXPERT SAFELY TO RENDER OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUB-CONTRACTORS, AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES, AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT FROM ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

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