

PROJECT GENERAL NOTES

- 1. The notes included on this sheet are intended for general reference and information and to augment the Contract and Specification information. Refer to those Specifications for detailed information and requirements.
2. All Work included in this Contract shall conform to all national, state, and local Codes, Ordinances and Agency requirements including, but not limited to hazardous material removal, solid waste disposal, seismic design, and life-safety.
3. Definitions:
New: May be used to indicate items which shall be furnished and installed by this Contract. Typically used to ensure clarity between various components of the drawings. Not all items are labeled as "new" when it is obvious by other indication.
Existing: Existing building or site components which are in place at the start of Construction. Not all items are labeled as "existing" when it is obvious by other indication. Consult the Architect for clarification.
Repair: Restore to proper operating and aesthetic condition.
Restore: Bring back to former condition, by repairing or patching as required.
Patch: Restore to condition matching existing adjacent construction, surface texture and finish.
N.I.C. (Not in Contract): Work which is not included in this Contract, but which may require Contractor coordination.
Remove: Dismantle and/or extract from the premises entirely. Dispose of off site unless noted otherwise.
Demolish: Dismantle and/or extract from the premises entirely. Dispose of off site unless noted otherwise.
Salvage: Remove and reinstall or remove and deliver to the Owner, as indicated.
4. It is the intent of the drawings and specifications to have the Contractor provide a complete, fully operational building. Provide all labor, materials and incidentals necessary to achieve this intent. Failure of the Drawings or Specifications to indicate each incidental shall not relieve the Contractor from providing the necessary items as part of this Contract. The Drawings show the design and layout, describe the quality level and construction techniques in a general sense only. All details are typical. What is shown in one condition applies to all other similar conditions, unless noted otherwise.
5. Verify the following items and report any discrepancies to the Architect prior to proceeding with Work, and proceed with the Work only after such discrepancies are resolved by the Architect:
Existing conditions
The size and location of all existing utilities.
Discrepancies between or within the Contract Documents.
Mechanical, electrical and plumbing coordination having potential impact on ceiling heights or building appearance.
Dimensional discrepancies.
6. Provide bond-outs, blocking, sleeves and pipes as required for all wall, floor, roof, and ceiling penetrations through structure. Coordinate installation of all structural, mechanical, plumbing and electrical components. Seal all penetrations in fire rated assemblies and smoke assemblies to conform to U.L. rated assemblies and all NFPA and IBC building Code requirements. All penetrations shall also comply with the acoustical assembly rating required for each wall or floor assembly. Refer to the Code Plans for specific Code references.
7. Mechanical, electrical and plumbing coordination: ceiling heights and duct sizes are given. Coordinate the Work to achieve the given visual and performance requirements, and the requirement of including mechanical, electrical and plumbing systems within the indicated space.
8. Do not penetrate structural beams, columns, or shear walls.
9. Coordinate the Work of all Subcontractors.
11. Provide work holes and access holes to install new systems in concealed spaces, as required or indicated. Repair the openings as specified.

GENERAL DEMOLITION AND REMOVAL NOTES

- 1. The demolition drawings provide general coordination information only, and are schematic in nature. They do not identify all individual items to be removed. In instances where walls are indicated for removal, remove all doors, windows, and miscellaneous hardware, electrical and mechanical items contained within the wall. Remove any existing construction which logically is in the way of new construction or prohibits the new construction shown on the Architectural floor plans.
2. Where existing CMU walls are scheduled for removal, remove the wall to 4 inches minimum below the existing slab. Infill the slab with concrete as indicated on the Structural drawings.
3. Verify existing structural conditions prior to demolition or removals.
4. Protect from damage and weather any existing building components, which are exposed as a result of demolition or removals.
5. Coordinate and schedule all work in existing occupied portions of the building with the Owner.
6. The Owner has conducted an asbestos survey and has conducted asbestos abatement. However, some asbestos-containing material may be encountered, and should be anticipated. The Contractor may discover miscellaneous undiscovered pieces of asbestos which need to be removed by the Owner's asbestos abatement Contractor. Notify the Architect and Owner immediately upon discovery of potentially asbestos containing material.
7. Coordinate the extent of slab removals with Structural, Mechanical and Electrical plans.
8. Refer to Plumbing, Mechanical, Structural and Electrical plans for additional demolition information. Coordinate the information on drawings and shall report any discrepancies to the Architect prior to proceeding with the work.
9. Removal of the materials as indicated shall be done without disturbing adjacent surfaces to remain or the current condition of the building elements.
10. The Owner shall remove furniture and other movable and/or fixed equipment prior to new work in any area, except for mechanical, electrical or minor work not requiring the Owner to completely vacate the premises. Notify the Owner of schedule for new work and extent of Owner removals necessary.
11. Remove all damaged and/or discarded building construction material from concealed spaces. Prior to closing or sealing-off concealed spaces, the Contractor shall allow for an inspection of components which will not be visible when the spaces have been sealed.
12. Cut trenches in existing concrete floors with no more than a 1:2 slope. Patch concrete to match adjacent thickness and finish prior to the installation of underlayment or new finishes.
13. Provide metal cover plates at all abandoned electrical devices, finished to match wall.
14. All demolition/removal debris is the property of the Contractor, unless noted otherwise.
15. Salvage: Salvage certain components for limited reuse to match existing conditions for patch and repair as indicated.
16. The Contractor may replace salvaged items with new and identical materials only with the Architect's prior approval.

GENERAL PATCHING AND REPAIRING NOTES

- 1. Damages: existing building or site components, not scheduled for work, which are damaged shall be replaced or restored to original condition by methods approved by the Architect.
2. Patching: after removal of building components as indicated, patch and prepare the remaining existing exposed surfaces to receive new work and finish. For example: level floors at wall removals; tooth-in new CMU at openings; piece-in new plaster backing and finish flush; piece in new ceiling suspension system.
Where new construction either infills or abuts existing construction, the finished faces shall align, and the surfaces shall be finished to match. See details.
3. Patch and level existing floors to receive new finishes as indicated in the room finish schedule.
4. After removal of building components, any resulting holes shall be patched. Maintain existing fire- or smoke-rated openings as indicated. Such patches shall be flush with adjacent surfaces and finished to match. See details.

WALL GENERAL NOTES

- 1. Fill all CMU voids with mortar or grout at all door jambs and masonry ties. Refer to Structural Drawings for notes on masonry reinforcement.
2. All partitions shall extend from sub-floor or slab to underside of floor or roof deck above, unless noted otherwise.
3. Install one bead of acoustical sealant under each layer of GWB at intersection with floor at each side of wall. Cover with wall base.
4. Fill CMU solid with grout at all surface-applied fixtures, trim, grab bars, shelves, chair rails, picture rails, base moldings, tack or marker boards, window treatment, wall or base cabinets or counters, and miscellaneous accessories mounted on CMU walls.
5. Install moisture resistant GWB in toilets, janitor's closets, showers, locker rooms, kitchens, darkrooms, wall areas within 8 feet of sinks, and other high humidity areas.
6. All metal stud framing is 3-5/8" or 6", unless noted otherwise.
7. All CMU is 8", unless noted otherwise.
8. New equipment mounted on existing walls: verify wall type prior to the work to determine appropriate type of anchor unless indicated otherwise. Consult Architect for clarification if needed.

PLAN GENERAL NOTES

- 1. The Drawings use a system of keyed notes on plans, elevations and details. Instructions for specific components of the Work are keyed to the Drawings. Building systems (partitions, roof & foundation) are keyed to floor plans, wall sections, roof plan and other details as appropriate.
2. Work from given dimensions. In general, large-scale details take precedence over smaller scale plans, elevations and building sections. Notify the Architect of any dimensional discrepancies prior to commencing the Work, and do not begin work until such discrepancies are resolved by the Architect. Do not scale drawings. Dimensions indicated as "clear" shall be maintained in cases of discrepancy.
3. Dimensional Control:
Interior dimensions are from:
Face of stud to face of stud
Face of masonry to face of masonry
Face of stud to face of masonry
Centerline column to face of stud or masonry
4. Existing dimensions are shown enclosed in square brackets [] and shall be verified.
5. Verify all existing conditions and dimensions and report any discrepancies to the Architect. Proceed with the work only after discrepancy has been resolved with the Architect.
6. Masonry Opening or Rough Opening dimensions indicated are nominal dimensions only. Coordinate all Masonry Openings or Rough Openings with actual window unit, doorframe, or curtain wall/storefront sizes and requirements.

- 6. All new openings into existing CMU walls for mechanical or electrical penetrations shall receive a lintel. Refer to the structural plans for lintel type. Refer to Mechanical plans for number, location, and size of all penetrations.
7. Flooring and floor finishes shall be installed to a maximum differential of 1/16" between dissimilar materials. Provide transition strips or thresholds (1/2" maximum) of same material as flooring and/or as noted on the drawings.
8. Typical Details:
The following details are typical throughout this project and apply in all cases unless specifically noted otherwise. Please note that these details may not be directly referenced from the plans or other details:
All freestanding columns shall be wrapped.
Slabs at all floor drains shall be pitched toward the drain.
All GWB partitions intersecting masonry partitions, either new or existing, shall be finished with a "J" bead and sealant.
All new openings into existing masonry walls for either windows or doors shall be tooled in the jambs.
All columns located adjacent to or integral with GWB partition or walls shall be enclosed within the wall construction.
All roof leaders, heat piping, sprinkler risers or miscellaneous piping shall be enclosed within the wall construction.
All existing openings in existing masonry walls shall be infilled.
All duct penetrations through floors shall be enclosed in a chase.
All top-of-wall conditions shall be sealed to deck above as indicated on the systems sheet to maintain the required smoke- or fire-rating. See details for top-of-wall conditions at intersections with structural members.
Unless noted otherwise, the location of doorframes shall be:
8" from adjacent wall to the hinge side in CMU partitions.
4" from adjacent wall to the hinge side in metal stud partitions.
Maintain a clear dimension of 1'-6" from all adjacent construction to the latch (pull) side of the door.
Maintain other clear dimensions in accordance with the latest version of the ADA Accessibility Guidelines (ADAAG).

INTERIOR GENERAL NOTES

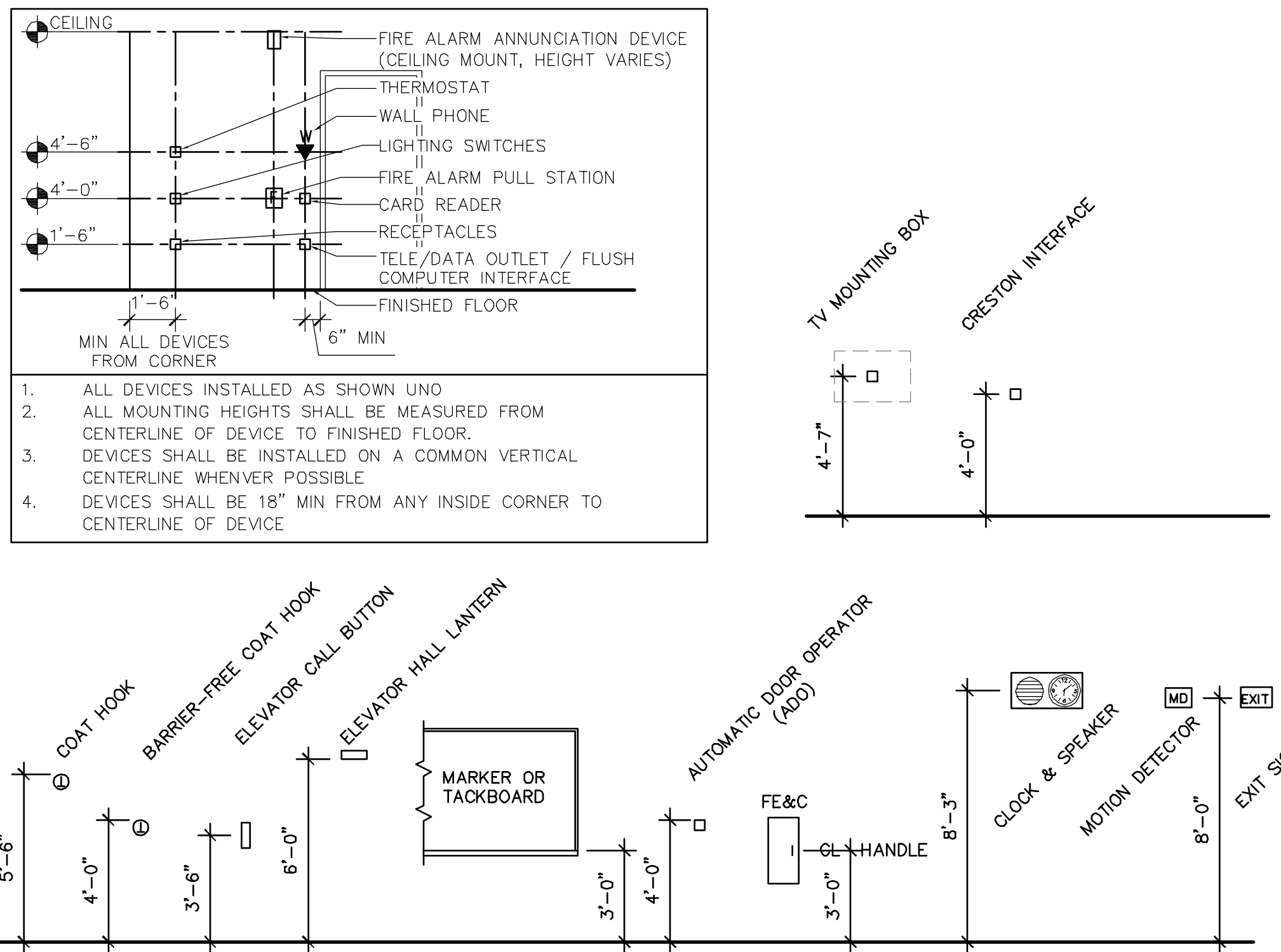
- 1. Barrier-free clearances are given. These clear dimensions shall be maintained in cases of discrepancy.
2. Fill CMU solid with grout at all surface-applied fixtures, trim, grab bars, shelves, chair rails, picture rails, base moldings, tack or marker boards, window treatment, wall or base cabinets or counters, and miscellaneous accessories mounted on CMU walls.
3. All mounting heights and clearances shall comply with the latest version of the ADA Accessibility Guidelines (ADAAG).
4. A range of mounting heights may be given for some items. Maintain a consistent mounting height, within the given range, throughout the Project, unless noted otherwise.
5. All wood not indicated to be painted shall be natural finish (clear).
6. Install blocking behind all surface-applied fixtures, trim, grab bars, shelves, chair rails, picture rails, base moldings, tack or marker boards, window treatment, wall or base cabinets or counters, and miscellaneous accessories mounted on stud walls.
7. Install transition strips between dissimilar flooring materials.

VERTICAL CIRCULATION GENERAL NOTES

- 1. All handrail and guardrail components shall be able to withstand a horizontal load of 250 pounds at any point.
2. Guardrails shall not allow the passage of a 4-inch sphere between members.
3. All ramp, stair, ladder, alternating tread device, handrail and guardrail components shall comply with the applicable provisions of the latest version(s) IBC, NFPA 101, and the ADA.

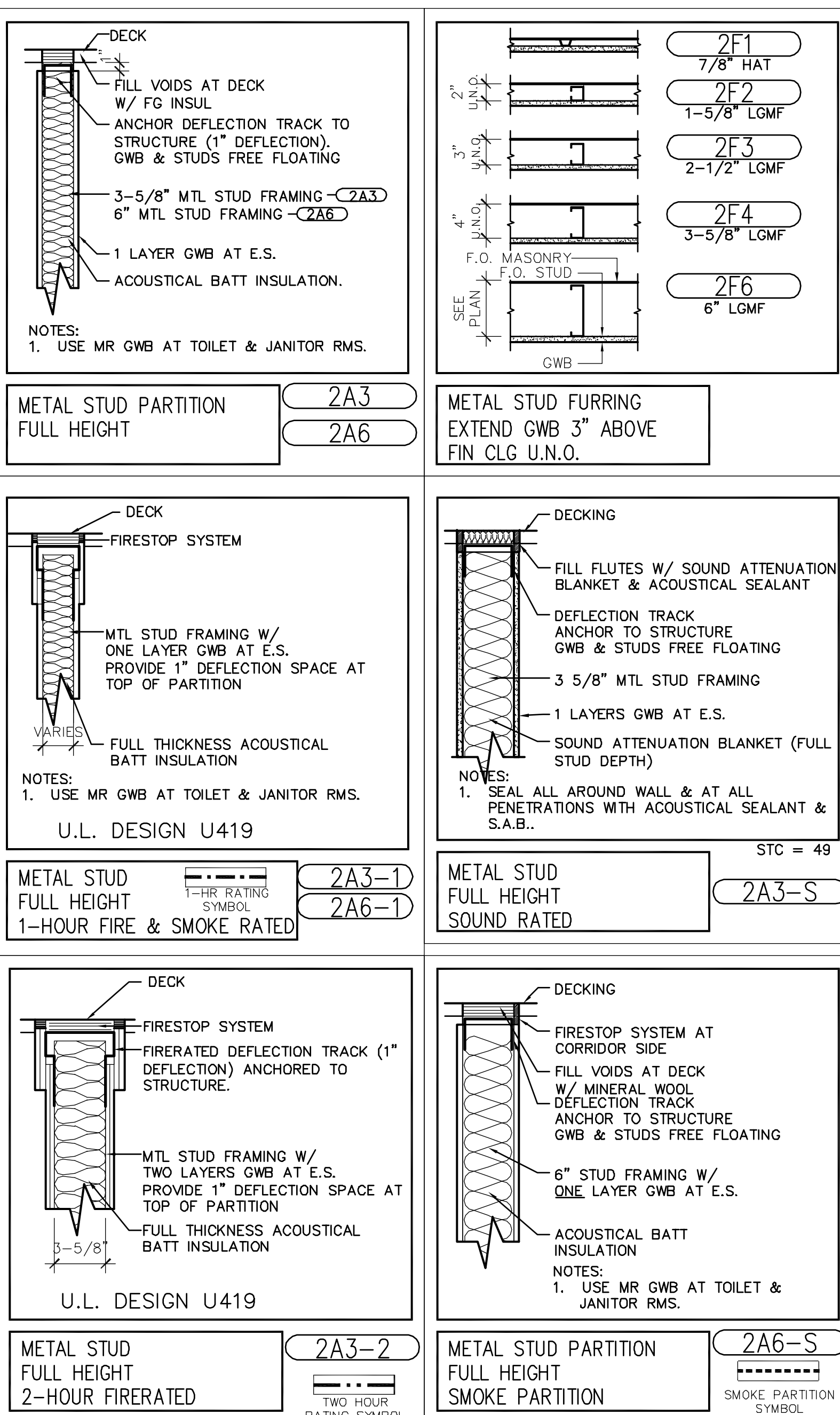
DOOR AND WINDOW GENERAL NOTES

- 1. Fill all interior hollow metal frames adjacent to CMU with mortar. Fill all new exterior metal doorframes with grout. Coat inside of all hollow metal frames with asphalt emulsion.
2. Unless noted otherwise, the location of doorframes shall be:
8" from adjacent wall to the hinge side in CMU partitions.
4" from adjacent wall to the hinge side in metal stud partitions.
Maintain a clear dimension of 1'-6" from all adjacent construction to the latch (pull) side of the door.
Maintain other clear dimensions in accordance with the latest version of the ADA Accessibility Guidelines (ADAAG).
3. Window sizes given are Unit Openings. Coordinate actual Masonry Openings or Rough Openings with given unit sizes.
4. Refer to Specifications for locations of Tempered, Wired, Insulating, or Fire Rated Glass unless noted otherwise.



- MOUNTING HEIGHT GENERAL NOTES:
1. SEE MECHANICAL, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR SPECIFIC FIXTURE OR DEVICE LOCATION AND DESIGNATION, AND ADDITIONAL MOUNTING REQUIREMENTS.
2. COORDINATE LOCATION OF ALL RECEPTACLES, FIXTURES OR DEVICES WITH INTERIOR ELEVATIONS AND CASEWORK LOCATIONS.
3. REFER TO MANUFACTURER'S INSTRUCTIONS FOR SPECIFIC ADA-REQUIRED MOUNTING HEIGHTS, AS APPLICABLE.
4. ALL FIRE ALARM HORN/STROBE DEVICES TO BE CEILING MOUNTED UNO.

INTERIOR WALL SYSTEMS



SALVAGE ITEMS

- 1. WOOD LAMINATE RAILING SYSTEM @ 2ND AND 3RD FLOORS. PROTECT AND DELIVER TO STROUDWATER WAREHOUSE.
2. DOOR HARDWARE, LEVERS / LOCKSETS TO BE IDENTIFIED DURING WALKTHROUGH.
3. DOORS AND FRAMES WHERE NOTED.
4. STAIR STRINGERS. REMOVED - ABATED REINSTALLED AT NEW LANDING CONFIGURATION.
5. SMOKE DETECTORS, EXIT SIGNS, MISC. DEVICE, OCCUPANCY SENSORS, BEAM DETECTION.
6. SECURITY MIRRORS.
7. REMOVED ITEMS SHALL BE STORED OFF SITE AT OWNER'S WAREHOUSE, INDIVIDUAL ITEMS SHALL BE BAGGED AND LABELED.

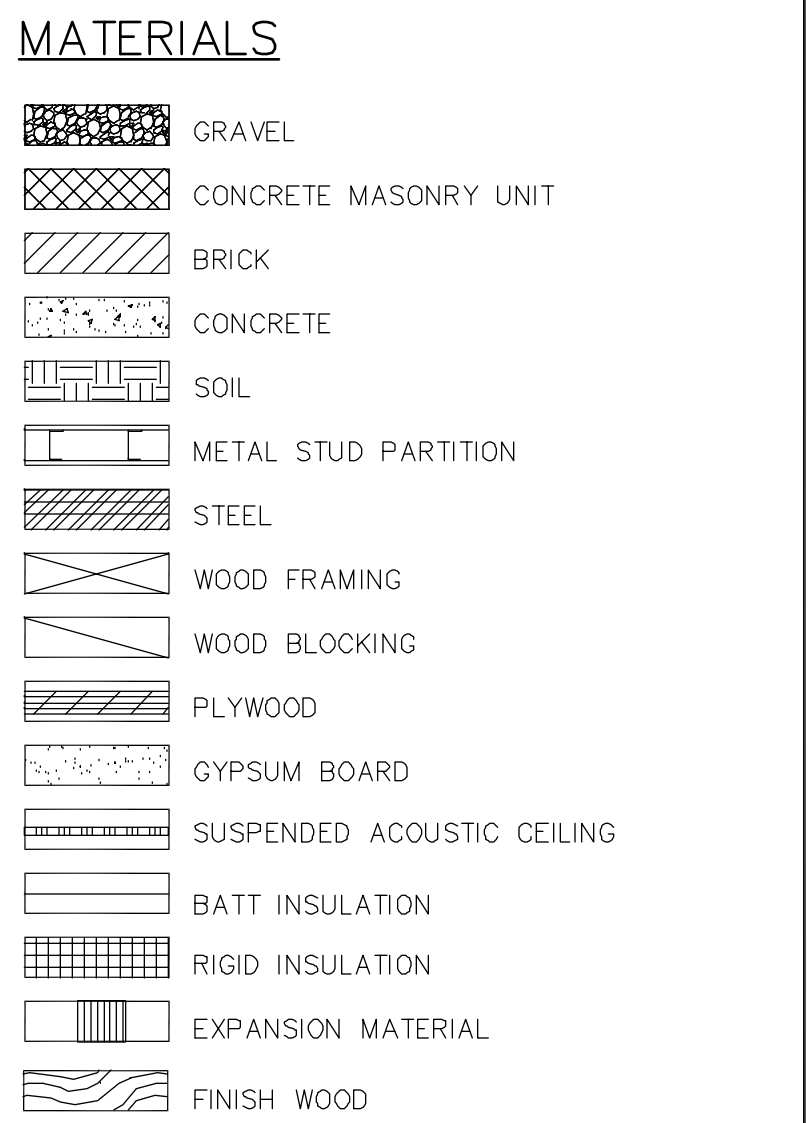
ITEMS TO PROTECT FOR REUSE

- 1. LIGHTING
2. CARPET - TYPICALLY PROTECT - IN - PLACE
3. WOOD TRIM, REMOVE REINSTALL WHERE WORK REQUIRES.
4. GRILLES / RETURNS / DIFFUSERS
5. SMOKE DETECTORS, EXIT SIGNS, MISC. DEVICE, OCCUPANCY SENSORS, BEAM DETECTION
6. SECURITY MIRRORS
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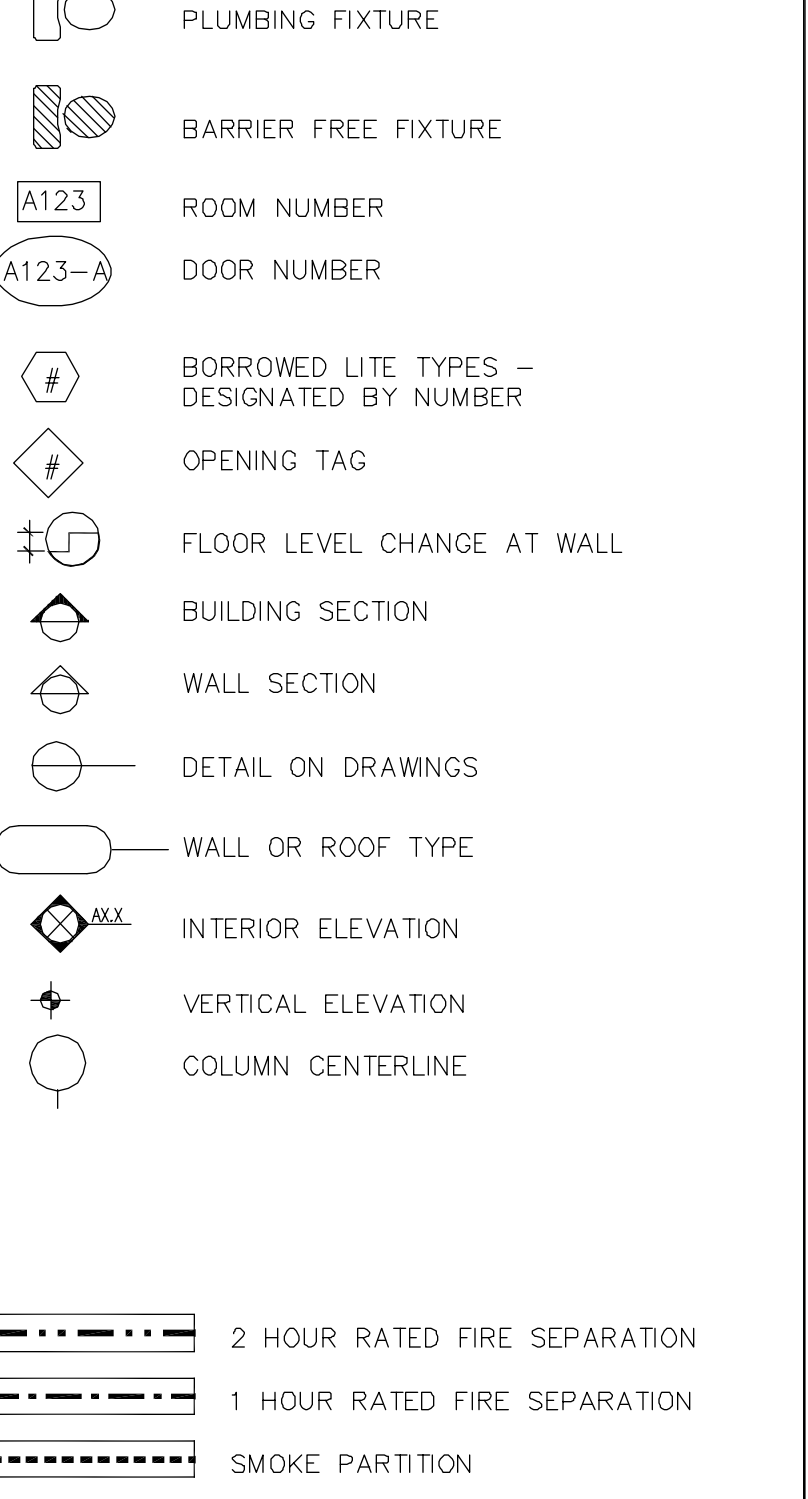
SYSTEM NOTES

- REFER TO PROJECT GENERAL NOTES AND DETAILS FOR ADDITIONAL SYSTEMS NOTES.
1. PROVIDE 1" MIN. CLEAR WHERE STRUCTURAL, MECHANICAL, OR ELECTRICAL ITEMS PENETRATE INTERIOR CMU WALLS. FILL VOIDS WITH FG BATT INSULATION AT NON-RATED WALLS AND FIRESTOPPING SYSTEM AT RATED WALLS.
2. USE PREFORMED COMPRESSED NEOPRENE FILLERS AT TOP OF WALL WHERE EXPOSED.
3. INTERIOR METAL STUD PARTITIONS NOT OTHERWISE INDICATED ARE TYPE 2A3.

LEGEND



SYMBOLS



ABBREVIATIONS

Table of abbreviations and their meanings. Columns include: AB ANCHOR BOLT, AC AIR CONDITIONING, ADD ADDITIONAL, ADJ ADJUSTABLE, AFD ABOVE FINISHED FLOOR, AH AIR HANDLER, ALI ALTERNATE, ALUM ALUMINUM, ADR AREA OF REFUGE, APPROX APPROXIMATE, ARCH ARCHITECT(URAL), ARND AROUND, BD BOARD, BF BARRIER FREE, BIT BITUMINOUS, BLDG BUILDING, BLKG BLOCKING, BOT BOTTOM OF, BRG BEARING, BSM BASEMENT, C, CRS COURSE, CAB CABINET, CB CATCH BASIN, CC CENTER TO CENTER, CF CUBIC FOOT, OFMF OLD FORMED METAL FRAMING, CNTR CONTROL JOINT, CL CENTERLINE, CLG CEILING, CLR CLEAR, CMT CERAMIC MOSAIC TILE, CMU CONCRETE MASONRY UNIT, CO CLEANOUT, COL COLUMN, CONC CONCRETE, CONC/C COLORED CONCRETE, CONT CONTINUOUS OR CONTINUE, CNTR CONTRACTOR, OPT CARPET, CS COUNTERSINK, CSMT CASEMENT, CT CERAMIC TILE, CWT CERAMIC WALL TILE, CUBIC CUBIC YARD, DBL DOUBLE, DCL DISPLAY CASE, DEMO DEMOLISH, DEMOLITION, DF DRINKING FOUNTAIN, DIA DIAMETER, DIM DIMENSION, DIV DIVISION, DMP DEMOUNTABLE PARTITION, DN DOWN, DR DOOR, DTL DETAIL, DWG DRAWING, DWR DRAWER, E EAST, EA 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