

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0120	Issue Date: MAR 04 2004	GBL: 215 B002001
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Location of Construction: 2211 Congress St	Owner Name: Unum Corp	Owner Address: 2211 Congress St	Phone: 207-575-5886
Business Name: n/a	Contractor Name: Ledgewood Inc.	Contractor Address: 27 Main Street South Portland	Phone: 2077671866
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: OP

Past Use: Commercial / Office	Proposed Use: Office / Fit up of the entire 66,000 sq. Ft. second floor.	Permit Fee: \$5,421.00	Cost of Work: \$600,000.00	CEO District: 3
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Proposed Project Description: Office fit up of the entire 66,000 sq. Ft. second floor.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2B 3/3/04
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Permit Taken By: gg	Date Applied For: 02/11/2004	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: <i>[Signature]</i> 2/11/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	<i>no change</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 040120

PERMIT

Please Read Application And Notes, If Any, Attached

This is to certify that Unum Corp/Ledgewood Inc
has permission to Office fit up of theenite 66,000 sq. Ft. s
AT 2211 Congress St L 215 B002001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is entered or otherwise closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 3/3/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

- A. The applicant has provided adequate evidence of financial capacity and technical ability to develop the project in a manner consistent with state environmental standards.
- B. The applicant has made adequate provision for fitting the development harmoniously into the existing natural environment and the development will not adversely affect existing uses, scenic character, air quality, water quality or other natural resources in the municipality or in neighboring municipalities.
- C. The proposed development will be built on soil types which are suitable to the nature of the undertaking and will not cause unreasonable erosion of soil or sediment nor inhibit the natural transfer of soil.
- D. The proposed development meets the standards for storm water management in Section 420-D and the standard for erosion and sedimentation control in Section 420-C.
- E. The proposed development will not pose an unreasonable risk that a discharge to a significant groundwater aquifer will occur.
- F. The applicant has made adequate provision of utilities, including water supplies, sewerage facilities, solid waste disposal and roadways required for the development and the development will not have an unreasonable adverse effect on the existing or proposed utilities and roadways in the municipality or area served by those services.
- G. The activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties nor create an unreasonable flood hazard to any structure.

THEREFORE, the Department APPROVES the application of UNUM PROVIDENT to construct a 5,852 square foot addition to building HO-1 and relocate associated utilities, SUBJECT TO THE FOLLOWING CONDITIONS and all applicable standards and regulations:

1. The Standard Conditions of Approval, a copy attached.
2. In addition to any specific erosion control measures described in this or previous orders, the applicant shall take all necessary actions to ensure that its activities or those of its agents do not result in noticeable erosion of soils or fugitive dust emissions on the site during the construction and operation of the project covered by this approval.

- 3. All other Findings of Fact, Conclusions and Conditions remain as approved in Board Order #61-7521-0571, and subsequent orders, and are incorporated herein.

DONE AND DATED AT AUGUSTA, MAINE, THIS 14 DAY OF July, 2000.

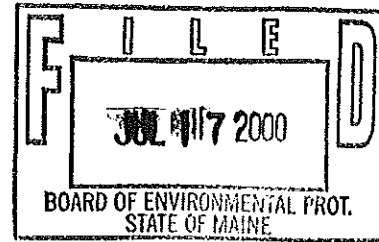
DEPARTMENT OF ENVIRONMENTAL PROTECTION

By: *[Signature]*
for MARTHA G. KIRKPATRICK, COMMISSIONER

PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

Date of initial receipt of application 5/17/00
Date of application acceptance 5/22/00

Date filed with Board of Environmental Protection
WB/L18486IM



STANDARD CONDITIONS

STRICT CONFORMANCE WITH THE STANDARD AND SPECIAL CONDITIONS OF THIS APPROVAL IS NECESSARY FOR THE PROJECT TO MEET THE STATUTORY CRITERIA FOR APPROVAL.

1. This approval is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from the plans, proposals and supporting documents is subject to the review and approval of the Board prior to implementation. Further subdivision of proposed lots by the applicant or future owners is specifically prohibited, without prior approval by the Board of Environmental Protection, and the applicant shall include deed restrictions to this effect.
2. The applicant shall secure and comply with all applicable Federal, State and local licenses, permits, authorizations, conditions, agreements, and orders, prior to or during construction and operation as appropriate.
3. The applicant shall submit all reports and information requested by the Board or Department demonstrating that the applicant has complied or will comply with all conditions of this approval. All preconstruction terms and conditions must be met before construction begins.
4. Advertising relating to matters included in this application shall refer to this approval only if it notes that the approval has been granted WITH CONDITIONS, and indicates where copies of those conditions may be obtained.
5. Unless otherwise provided in this approval, the applicant shall not sell, lease, assign or otherwise transfer the development or any portion thereof without prior written approval of the Board where the purpose or consequence of the transfer is to transfer any of the obligations of the developer as incorporated in this approval. Such approval shall be granted only if the applicant or transferee demonstrates to the Board that the transferee has the technical capacity and financial ability to comply with conditions of this approval and the proposals and plans contained in the application and supporting documents submitted by the applicant.
6. If the construction or operation of the activity is not begun within two years, this approval shall lapse and the applicant shall reapply to the Board for a new approval. The applicant may not begin construction or operation of the development until a new approval is granted. Reapplications for approval shall state the reasons why the development was not begun within two years from the granting of the initial approval and the reasons why the applicant will be able to begin the activity within two years from the granting of a new approval, if granted. Reapplications for approval may include information submitted in the initial application by reference.
7. If the approved development is not completed within five years from the date of the granting of approval, the Board may reexamine its approval and impose additional terms or conditions or prescribe other necessary corrective action to respond to significant changes in circumstances which may have occurred during the five-year period.
8. A copy of this approval must be included in or attached to all contract bid specifications for the development.
9. Work done by a contractor pursuant to this approval shall not begin before the contractor has been shown by the developer a copy of this approval.

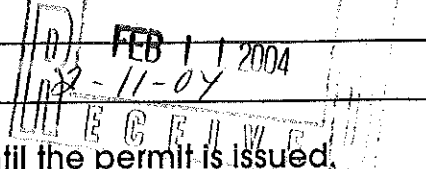
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

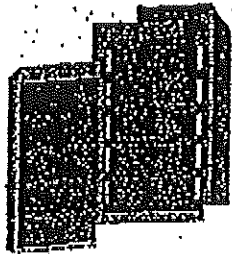
Location/Address of Construction: UNUMProvident H01 2nd Floor 2211 Congress St		
Total Square Footage of Proposed Structure	Square Footage of Lot Bldg H-01	
Tax Assessor's Chart, Block & Lot Chart# 215 Block# B Lot# 002	Owner: UNUMProvident, Inc.	Telephone: 207-575-5886
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Ledgewood, Inc. P.O. Box 8107 Portland, ME 04104 207-767-1866	Cost Of Work: \$ 600,000 Fee: \$ 5,421.00
Current use: <u>Open Office</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>fit-up of ^{entire} central portion of 2nd floor</u>		
Project description: <u>Office renovation 66,000 sq. ft.</u>		
Contractor's name, address & telephone: Ledgewood, Inc. P.O. Box 8107, Portland, ME 04104 207-767-1866		
Who should we contact when the permit is ready: <u>Kevin McCosh</u> 854-3491 cell 415 7993		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-415-7993		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Robert M. King Date: FEB 11 2004


This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Janet Hansen

RE: Certificate of Design

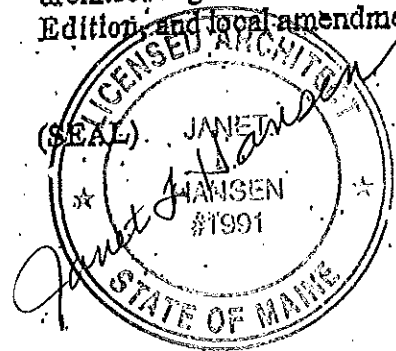
DATE: 2/6/04

These plans and/or specifications covering construction work on:

Unum Provident

2nd Floor HOI Interior Renovations

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature Janet L. Hansen

Title Architect

Firm SMRT

Address 144 Fore Street
Portland, Maine 04101

As per Maine State Law:

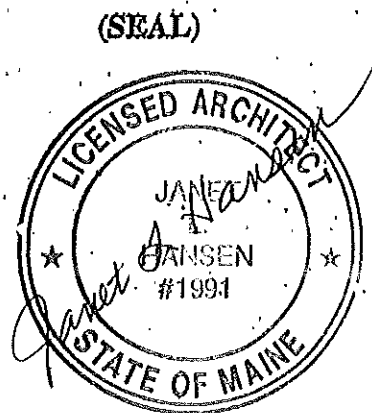
\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures shall be prepared by a registered design



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: Janet Hansen
Address of Project: Unimprovident
2211 Congress Street, 2nd Floor HOI
Nature of Project: Interior renovations including
carpet lighting & HVAC modifications
Date: 2/6/04

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: Janet A. Hansen
Title: Architect
Firm: SMRT
Address: 144 Fore Street
Portland, Maine
Telephone: 207-772-3846

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0120	Date Applied For: 02/11/2004	CBL: 215 B002001
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Business Name: n/a	Contractor Name: Ledgewood Inc.	Contractor Address: 27 Main Street South Portland	Phone: (207) 767-1866
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	

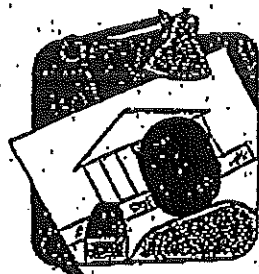
Proposed Use: Office / Fit up of the entire 66,000 sq. Ft. second floor.	Proposed Project Description: Office fit up of the entire 66,000 sq. Ft. second floor.
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Dept: Zoning Status: Approved Reviewer: Marge Schmuckal Approval Date: 02/11/2004
 Note: Ok to Issue:

Dept: Building Status: Approved Reviewer: Mike Nugent Approval Date: 03/04/2004
 Note: Ok to Issue:

Dept: Fire Status: Approved with Conditions Reviewer: Lt. MacDougal Approval Date: 02/17/2004
 Note: Ok to Issue:

- 1) the fire alarm system shall be tested in accordance with NFPA 72 standards and the results submitted to the Portland Fire Department
- 2) the fire alarm system shall be installed in accordance with NFPA 72 standards



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Janet Hansen

DATE: 2/16/04

Job Name: Unum Provident, 2nd Floor HOI

Address of Construction: 2211 Congress Street

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION
Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) B

Type of Construction 2B Bldg. Height 60' +/- Bldg. Sq. Footage _____

Seismic Zone _____ Group Class. _____

Roof Snow Load Per Sq. Ft. N/A Dead Load Per Sq. Ft. _____

Basic Wind Speed (mph) N/A Effective Velocity Pressure Per Sq. Ft. N/A

Floor Live Load Per Sq. Ft. _____

Structure has full sprinkler system? Yes _____ No X Alarm System? Yes X No _____
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No X

If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

(Designers Stamp & Signature)

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Ch **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

W B Knox
Signature of Applicant/Designee

[Signature]
Signature of Inspections Official

3-16-04
Date

3/16/04
Date

CBL: 2153002 Building Permit #: 040120

215-B-002

BUILDING PERMIT INSPECTION PROCEDURES

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CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Rebecca M. Knox
Signature of applicant/designee

8-12-03
Date

Jay Reynolds
Signature of Inspections Official

8/12/03
Date

CBL: 215 B 002 Building Permit #: 03 0775



State of Maine
 Department of Public Safety
 Construction Permit



Reviewed
 for Barrier
 Free

13460

Sprinkled
 Sprinkler Supervised

UNUM PROVIDENT HO3 SECURITY DOORS

Located at: 2211 CONGRESS STREET

PORTLAND

Occupancy/Use: BUSINESS

215 B 002

Permission is hereby given to:

UNUM PROVIDENT
 C/O JOHN FOX
 2211 CONGRESS STREET
 PORTLAND, ME 04112

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 st of February 2004

Dated the 01 n day of August A.D. 2003

Michael P. Cantara

Commissioner

Copy-3 Code Enforcement Officer

Comments:

Code Enforcement Officer
 PORTLAND, ME

215-B-002

BUILDING PERMIT INSPECTION PROCEDURES

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____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

12/22/03
Date

Signature of Inspections Official

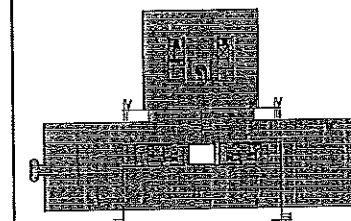
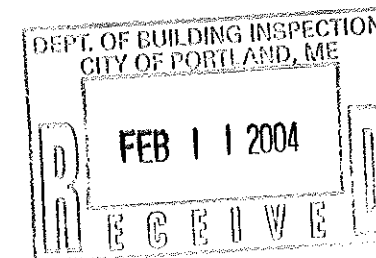
Date

CBL: 215 B002 Building Permit #: 031436

UnumProvident HO-1

2nd FLOOR OPEN OFFICE RENOVATIONS
PORTLAND, MAINE

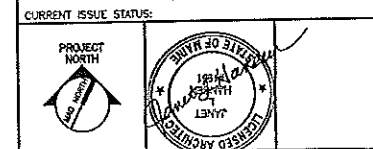
ISSUED FOR CONSTRUCTION
1-28-04



F18 KEY PLAN

NOT TO SCALE		
0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04



SMRT ARCHITECTURE ENGINEERING PLANNING
144 Fore Street 7th. Fl. Bldg #18
Portland, Maine 04104
tel. (207) 772-3846
fax. (207) 772-1070

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

TITLE SHEET

SHEET TITLE:	NOT TO SCALE	DATE:
PROJECT MANAGER: JLH	GRAPHIC SCALE:	
JOB CAP/DRAWN: CEB		
A/E OF RECORD: JLH	SHEET No.	
SVRT CAD FILE: G001-03100-01		
PROJECT No. 03100-01		G1001

GENERAL SYMBOL LEGEND

- BUILDING SECTION
- WALL SECTION
- DETAIL
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- LEVEL LINE
- CIRCLE NOTE
- WINDOW TAG
- PARTITION TAG
X= PARTIAL WALL HEIGHT
UNO
- DOOR TAG
- ROOM NAME
ROOM NUMBER
- COLUMN BUBBLE AND
CENTER LINE
- BACKER ROD & SEALANT

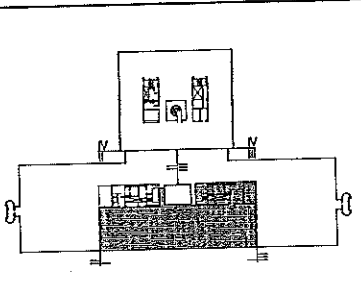
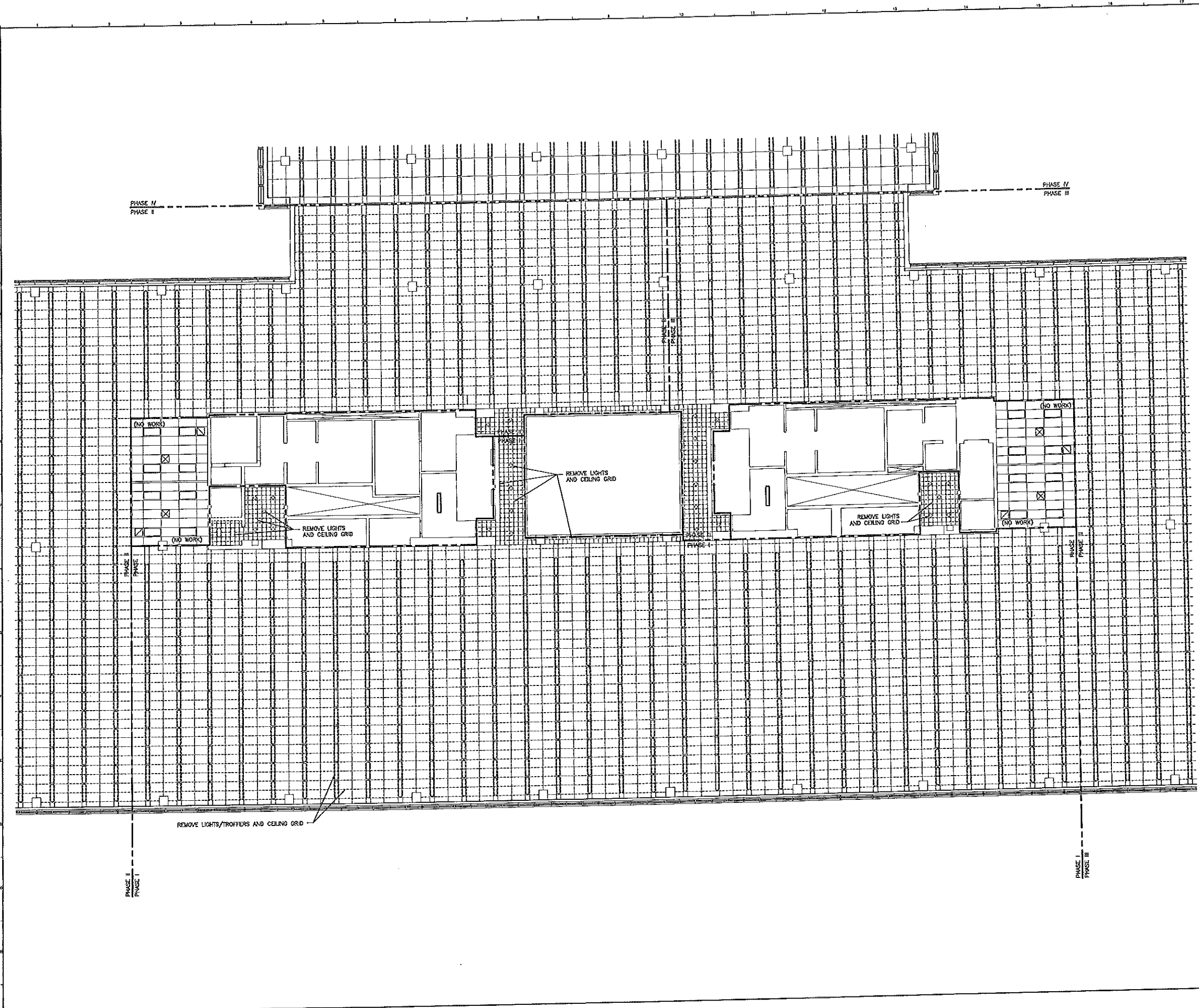
GRID NO.	TITLE
SCALE	REFERENCE SHEET

DRAWING LIST

- GENERAL**
- 0001 TITLE SHEET
- ARCHITECTURAL**
- AD101 PHASE I - REFLECTED CEILING DEMOLITION PLAN
AD102 PHASE II - REFLECTED CEILING DEMOLITION PLAN
AD103 PHASE III - REFLECTED CEILING DEMOLITION PLAN
AD104 PHASE IV - REFLECTED CEILING DEMOLITION PLAN
AD105 DEMOLITION FLOOR PLAN
- AE101 PHASE I - REFLECTED CEILING PLAN
AE102 PHASE II - REFLECTED CEILING PLAN
AE103 PHASE III - REFLECTED CEILING PLAN
AE104 PHASE IV - REFLECTED CEILING PLAN
AE105 PRIVATE OFFICE FLOOR PLAN
- AE601 ROOM FINISH AND DOOR SCHEDULES
- MECHANICAL**
- M-001 LEGEND & ABBREVIATIONS
- M101 PHASE I - DEMOLITION PLAN
M102 PHASE II - DEMOLITION PLAN
M103 PHASE III - DEMOLITION PLAN
M104 PHASE IV - DEMOLITION PLAN
- M-101 PHASE I - HVAC PLAN
M-102 PHASE II - HVAC PLAN
M-103 PHASE III - HVAC PLAN
M-104 PHASE IV - HVAC PLAN
- M-601 SCHEDULES & DETAILS
- ELECTRICAL**
- E-001 LEGEND & GENERAL NOTES
- ED101 PHASE I ELECTRICAL DEMOLITION PLAN
ED102 PHASE II ELECTRICAL DEMOLITION PLAN
ED103 PHASE III ELECTRICAL DEMOLITION PLAN
ED104 PHASE IV ELECTRICAL DEMOLITION PLAN
- EP102 PHASE I POWER PLAN
EP103 PHASE II POWER PLAN
EP104 PHASE III POWER PLAN
- EL101 PHASE I LIGHTING PLAN
EL102 PHASE II LIGHTING PLAN
EL103 PHASE III LIGHTING PLAN
EL104 PHASE IV LIGHTING PLAN
- EY101 PHASE I SYSTEMS PLAN
EY102 PHASE II SYSTEMS PLAN
EY103 PHASE III SYSTEMS PLAN
EY104 PHASE IV SYSTEMS PLAN

ABBREVIATIONS

- AC A/C AIR CONDITIONING
ACCU AIR CONDITIONING CONDENSER UNIT
ACPLAS ACoustical PLASTER
ACT ACoustIC CEILING TILE
AFF ABOVE FINISHED FLOOR
AP ACCESS PANEL
- BOE BOTTOM CHORD EXTENSION
BO BOARD
BOP BORROWED LIGHT PANEL
BO BOTTOM OF
BOP BOTTOM OF FOOTING
BOS BOTTOM OF STEEL
BS BOTH SIDES
BSE BRICK SHELF ELEVATION
- C CHANNEL
CB CUTOUT BASIN; CHALKBOARD
CEM BO CEMENTIOUS BACKER BOARD
CFM CUBIC FEET PER MINUTE
CF CAST IN PLACE
CJ CONTROL JOINT; CONSTRUCTION JOINT
CMU CONCRETE MASONRY UNIT
CT CERAMIC TILE
CUH CABINET UNIT HEATER
CGAT CONTINUOUS
- DF DRINKING FOUNTAIN
DRA DISPLAY RAIL
DSH DSHASHER
- EW EXHAUST FAN, EACH FACE
EJ EXPANSION JOINT
EPDM ETHYLENE PROPYLENE DIENE RUBBER
EFL FLOOR
EWC ELECTRIC WATER COOLER
- FB FLAT BAR
FBO FURNISHED BY OTHERS
FCO FLOOR CLEAN-OUT
FCU FAN COIL UNIT
FD FLOOR DRAIN
FE FIRE EXTINGUISHER
FF FINISHED FLOOR, FAR FACE
FO FLOOR OPENING
FRP FIBERGLASS REINFORCED PLASTIC
FS FAR SIDE
- GB GRAB BAR
GC GENERAL CONTRACTOR
GOT GYPSUM DROP-IN TILE
GV GRAVITY VENT
GWB GYPSUM WALL BOARD
- H HORIZONTAL
HC HANDICAPPED; HOLLOW CORE
HM HOLLOW METAL
HRU HEAT RECOVERY UNIT
HVV HEATING AND VENTILATING AND AIR CONDITIONING
- IF INSIDE FACE
IJ ISOLATION JOINT
IMP IMPACT RESISTANT
INSUL INSULATION
INV INVERT
- JS JOIST SUBSTITUTE
- L ANGLE
LNO LINOLEUM
LH LONG LEG HORIZONTAL
LLV LONG LEG VERTICAL
LP LIGHTING PANEL; LIQUERIED PROPANE
- MB MARKER BOARD
MDO MEDIUM DENSITY OVERLAY
MO MASONRY OPENING
MR MOISTURE-RESISTANT
MLA MAKE-UP AIR
- N NOT BY CONTRACT
NS NOT TO SCALE
- OC ON CENTER
OF OUTSIDE FACE
OH OVERHEAD
- PA PUBLIC ADDRESS
PAP POWER-ACTUATED FASTENER
POU POOL DEHUMIDIFICATION UNIT
PL PLATE
PLM PLASTIC LAMINATE
PLF POLYURETHANE FLOOR FINISH
PP POWER PANEL
PSF POUNDS PER SQUARE FOOT
PSE
- PSI POUNDS PER SQUARE INCH
PT PRESSURE-TREATED
PVC POLYVINYL CHLORIDE
- R RISER; RADIUS
RB RESILIENT BASE
RD ROOF DRAIN
RO ROUGH OPENING
RUB-RUB ROOFING UNIT (RUB)
RTU ROOFTOP UNIT (HVAC)
- SACT SUSPENDED ACOUSTIC TILE CEILING
SC SQUARE FOOT; SUPPLY FAN
SK SHEAR KEY
SN SANITARY NAPKIN (DISPENSER)
SP SPECIAL
SS STAINLESS STEEL
- T TREAD
TB TACKBOARD
TBH TOP AND BOTTOM
TBM TEMPORARY BENCHMARK
TCE TOP CHORD EXTENSION
TJ TE JOIST
TO TOP OF
TOF TOP OF FOOTING
TOM TOP OF MASONRY
TOP TOP OF PER
TOS TOP OF STEEL; TOP OF SLAB
TOP TOP OF WALL
TSP TOILET PAPER (DISPENSER)
TS
- UH UNIT HEATER
UNO UNLESS NOTED OTHERWISE
- V VENT PIPE; VERTICAL
VB VAPOR BARRIER
VVC VENT COMPOSITION TILE
VP VISION PANEL
VTR VENT THROUGH THE ROOF
- W/ WITH
WC WATER CLOSER
WF WIDE FLANGE
WH WATER HEATER
W/O WITHOUT
WP WORKING POINT
WS WEB STIFFENER
WTF WELDED WIRE FABRIC



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

REGISTERED ARCHITECT

JAMES W. HARRISON

#1801

STATE OF MAINE

SM RT ARCHITECTURE ENGINEERING PLANNING

SMRT
144 Fore Street, P.O. Box 618
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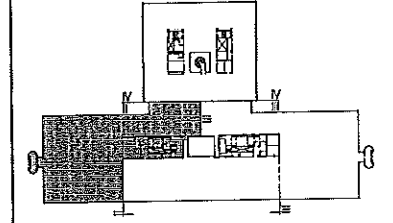
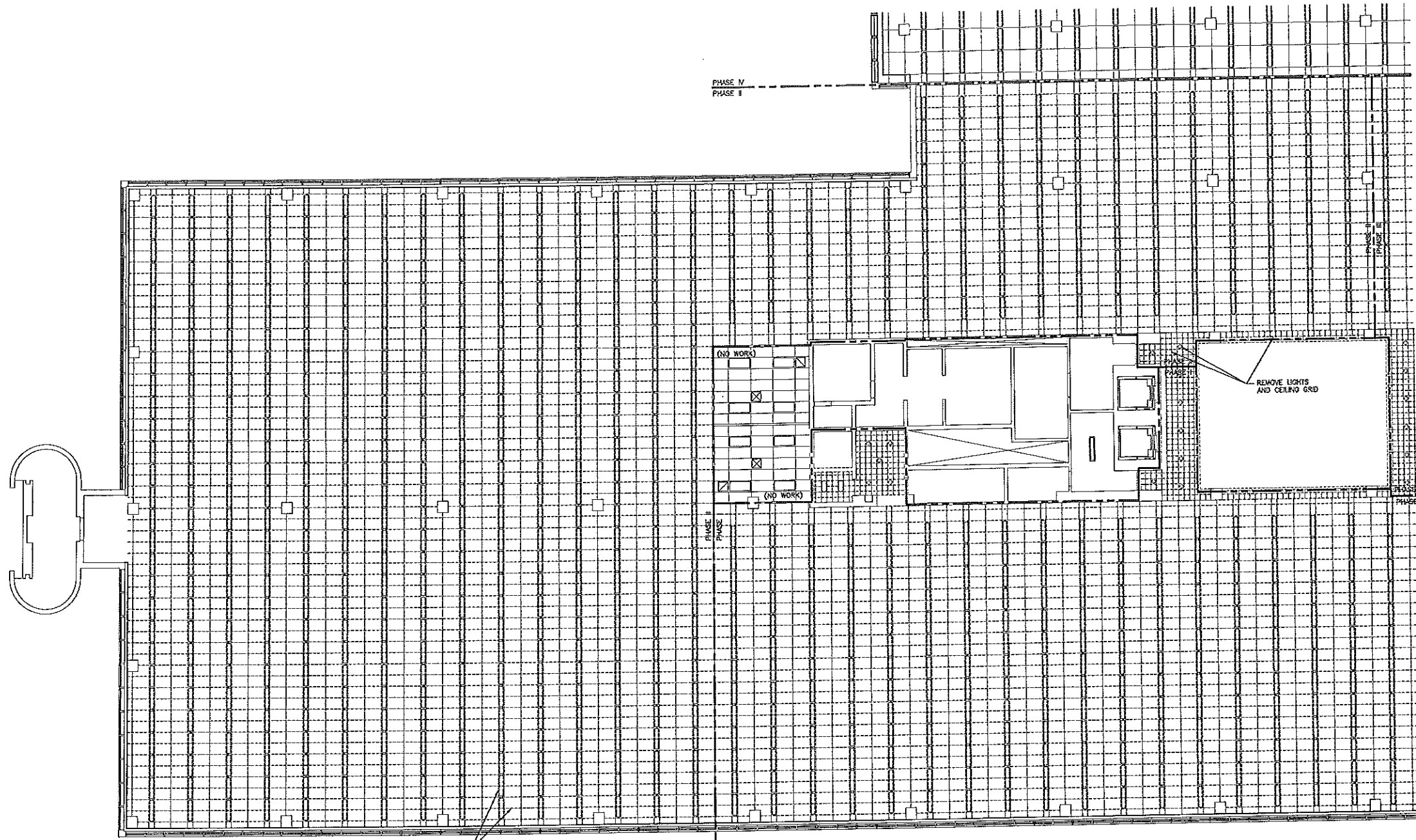
UNIMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

PROJECT: PHASE I
REFL. CEIL. DEMOLITION PLAN

SHEET TITLE:	1/8"=1'-0"	DATE:
PROJECT MANAGER:	JLH	GRAPHIC SCALE:
JOB CAP/DRAWN:	CEB	
A/E OF RECORD:	JLH	SHEET No.
SMRT CAD FILE:	AD101-03100-01	
PROJECT No.	03100-01	

A1 REFLECTED CEILING DEMOLITION PLAN - PHASE I
1/8"=1'-0"

AD101



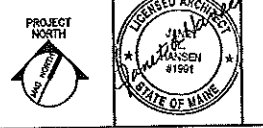
F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:



SMRT ARCHITECTURE ENGINEERING PLANNING
 5007
 144 Fore Street, P.O. Box 418
 Portland, Maine 04104
 tel. (207) 772-3846
 fax. (207) 772-1270

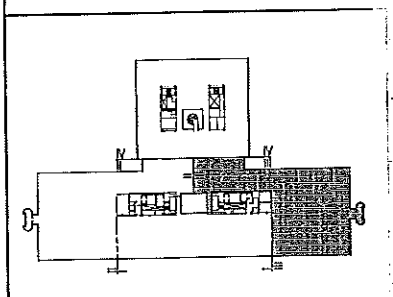
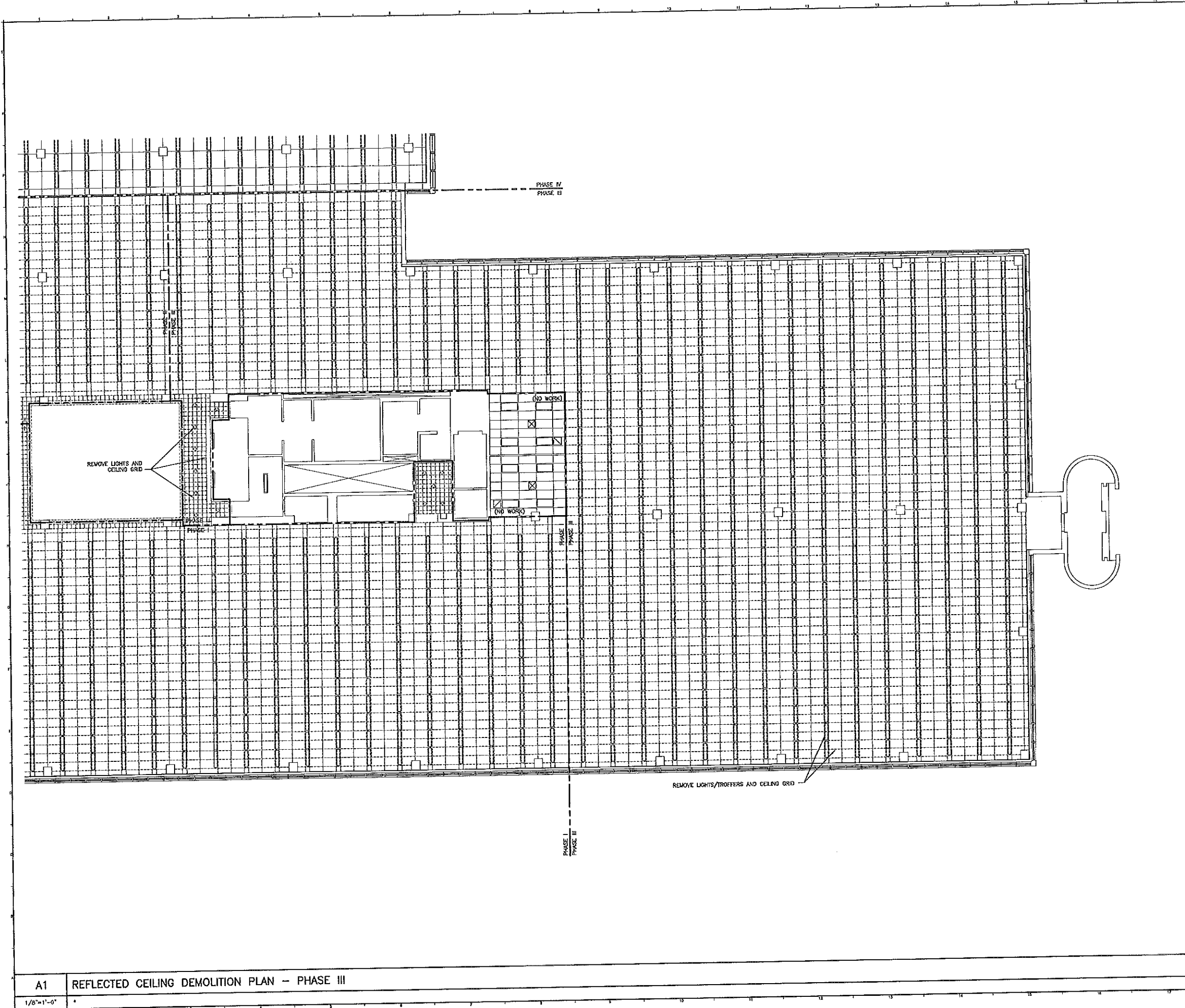
UNIMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE II
 REFL. CEIL. DEMOLITION PLAN

SHEET TITLE:	1/8"=1'-0"	DATE:
SCALE:	1/8"=1'-0"	GRAPHIC SCALE:
PROJECT MANAGER:	JLH	
JOB CAP/DRAWN:	CEB	
A/E OF RECORD:	JLH	SHEET No.
SMRT CAD FILE:	AD102-03100-0	AD102
PROJECT No.	03100-01	

A1 REFLECTED CEILING DEMOLITION PLAN - PHASE II

1/8"=1'-0"



F18 KEY PLAN

NOT TO SCALE		
0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

SM RT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, 7th Fl., Box 618
 Portland, Maine 04104
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 Fax. (207) 779-1070

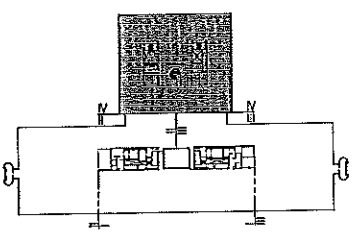
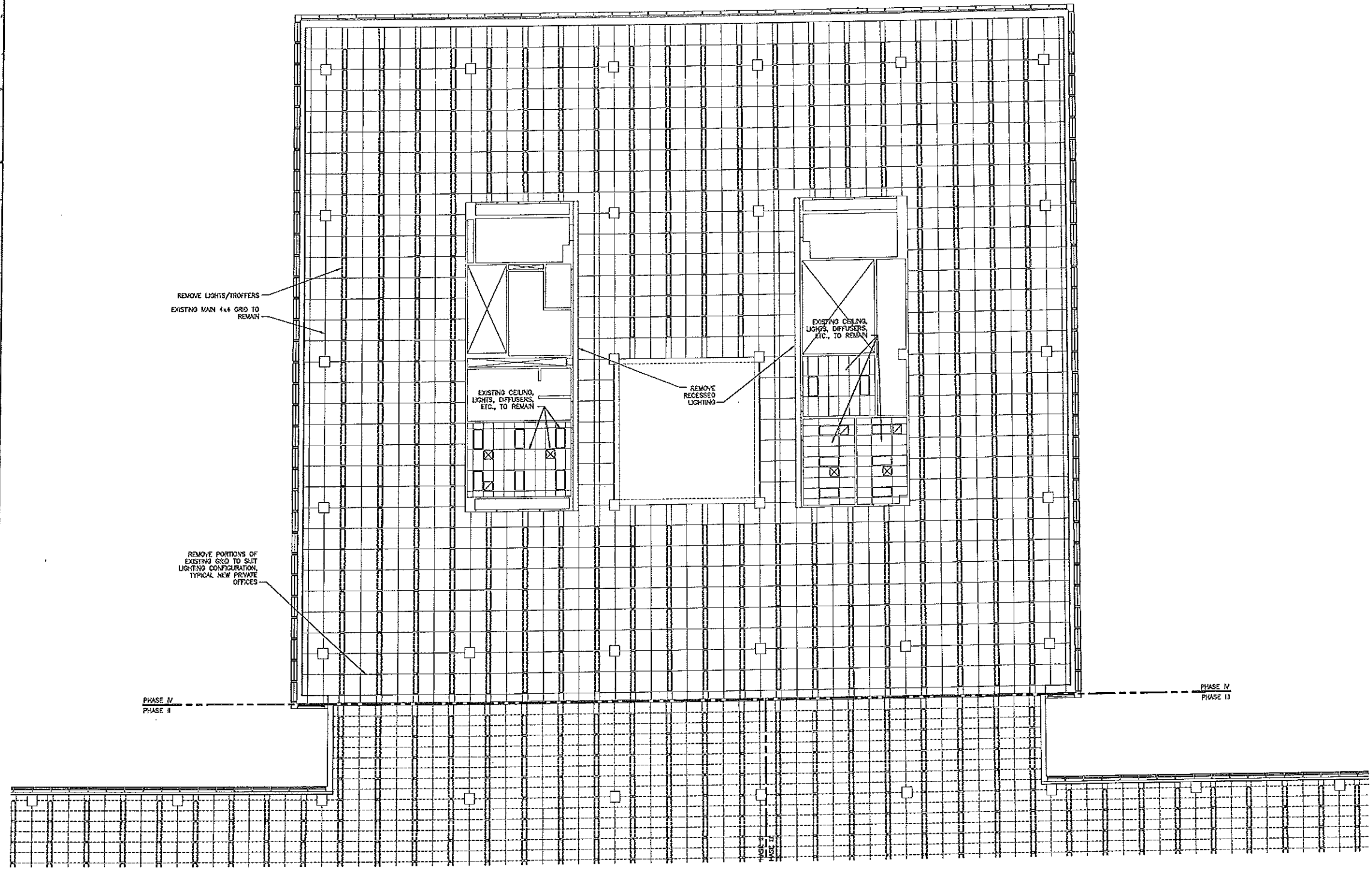
UNUMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PROJECT: PHASE III
 REFL. CEIL. DEMOLITION PLAN

SHEET TITLE:	1/8" = 1'-0"	DATE:
SCALE:	JUH	GRAPHIC SCALE:
PROJECT MANAGER:	CEB	
JOB CAP/DRAWN:	JUH	SHEET No.:
A/E OF RECORD:	AD103-03100-0	
SVRT CAD FILE:	03100-01	
PROJECT No.:		

A1 REFLECTED CEILING DEMOLITION PLAN - PHASE III
 1/8" = 1'-0"

AD103



F18 KEY PLAN
NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

SM RT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, 7th Fl., Box 611
 Portland, Maine 04104
 Tel. (207) 773-3344
 Fax. (207) 773-1579

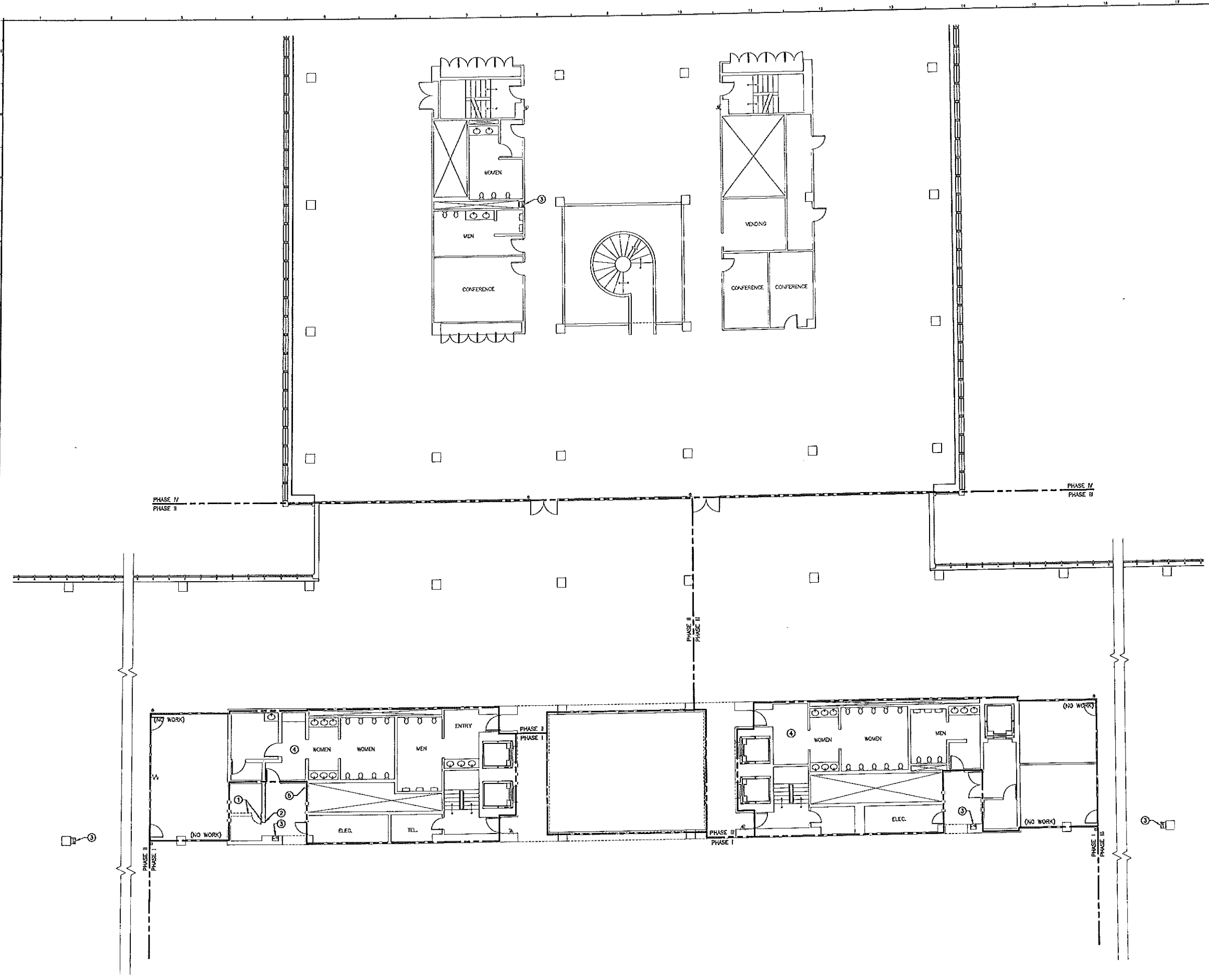
UNIMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE IV
 REFL. CEIL. DEMOLITION PLAN

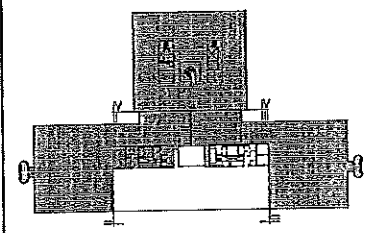
SHEET TITLE:	1/8"=1'-0"	DATE:	
SCALE:	1/8"=1'-0"	GRAPHIC SCALE:	0'
PROJECT MANAGER:	JLH		
JOB CAP/DRWING:	CEB		
A/E OF RECORD:	JLH	SHEET No.	
SVST CAD FILE:	AD104-03100-0		
PROJECT No.	03100-01		

A1 REFLECTED CEILING DEMOLITION PLAN - PHASE IV
 1/8"=1'-0"

AD104

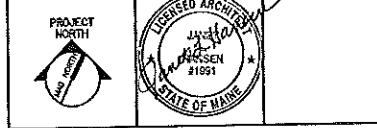


- DEMOLITION KEY NOTES**
- ① REMOVE CURT WALL, DOOR, AND FRAME.
 - ② REMOVE DOOR AND FRAME, ENLARGE OPENING IN CURT WALL FOR NEW FRAME AND DOOR.
 - ③ REMOVE ELECTRIC WATER COOLER (EWC). CAP PLUMBING. DISCONNECT ELECTRICAL POWER AT PANEL.
 - ④ REMOVE CARPETING AND VINYL WALL COVERING.
 - ⑤ CUT OPENING IN CHASE WALL TO ACCESS PLUMBING FOR NEW ELECTRIC WATER COOLER.



F18	KEY PLAN	
NOT TO SCALE		
0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

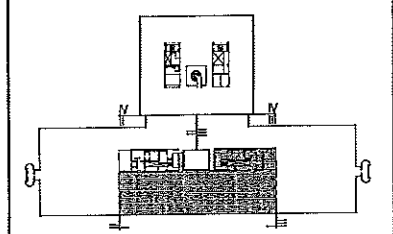
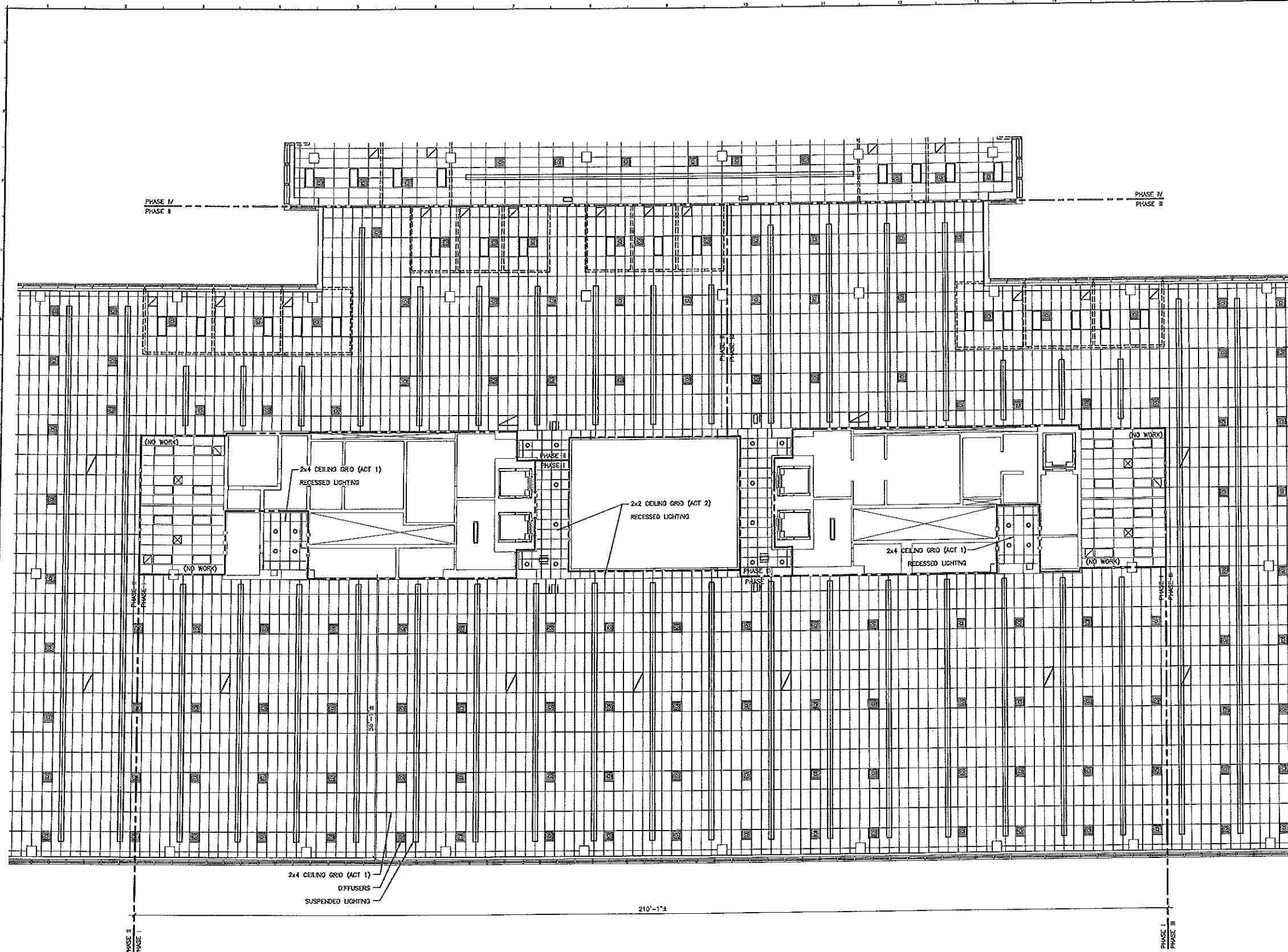


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UNIMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

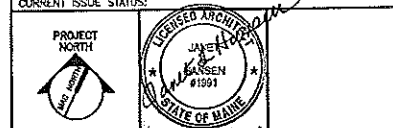
DEMOLITION FLOOR PLAN	
SHEET TITLE:	
SCALE: 1/8"=1'-0"	DATE:
PROJECT MANAGER: JLM	GRAPHIC SCALE: 0" 1"
JOB CAP/RECORD: CER	
A/E OF RECORD: JLM	SHEET No.
SMRT CAD FILE: AD105-03100-0	AD105
PROJECT No. 03100-01	

A1 DEMOLITION FLOOR PLAN
 1/8"=1'-0"



F18 KEY PLAN
NOT TO SCALE

0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION		
1-28-04		
CURRENT ISSUE STATUS:		

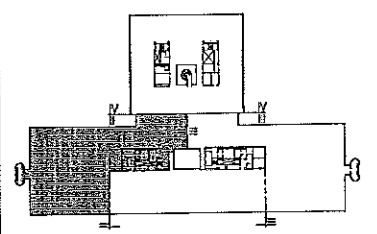
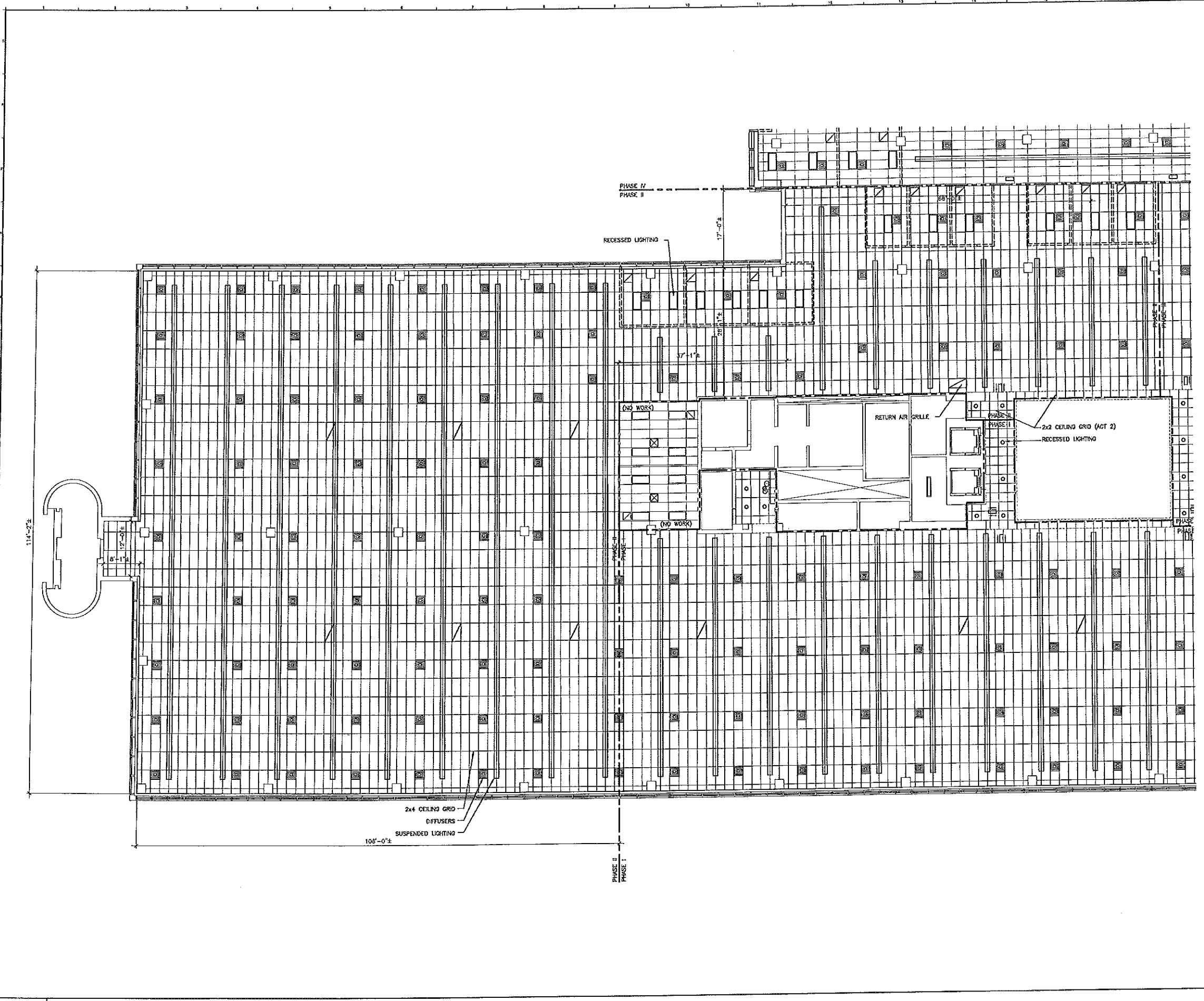


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 144 Fore Street, P.O. Box 118
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 fax. (207) 772-1079

UNIMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE I REFLECTED CEILING PLAN	
SHEET TITLE:	DATE:
SCALE: 1/8"=1'-0"	GRAPHIC SCALE: 0'
PROJECT MANAGER: JLH	DATE:
JOB CAP/DRAWN: CEB	
A/E OF RECORD: JLH	SHEET No.
SVWT CAD FILE: AE101-03100-01	AE101
PROJECT No. 03100-01	

A1 REFLECTED CEILING PLAN - PHASE I
 1/8"=1'-0"



F18 KEY PLAN
NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

PROJECT NORTH

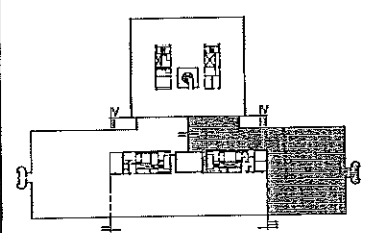
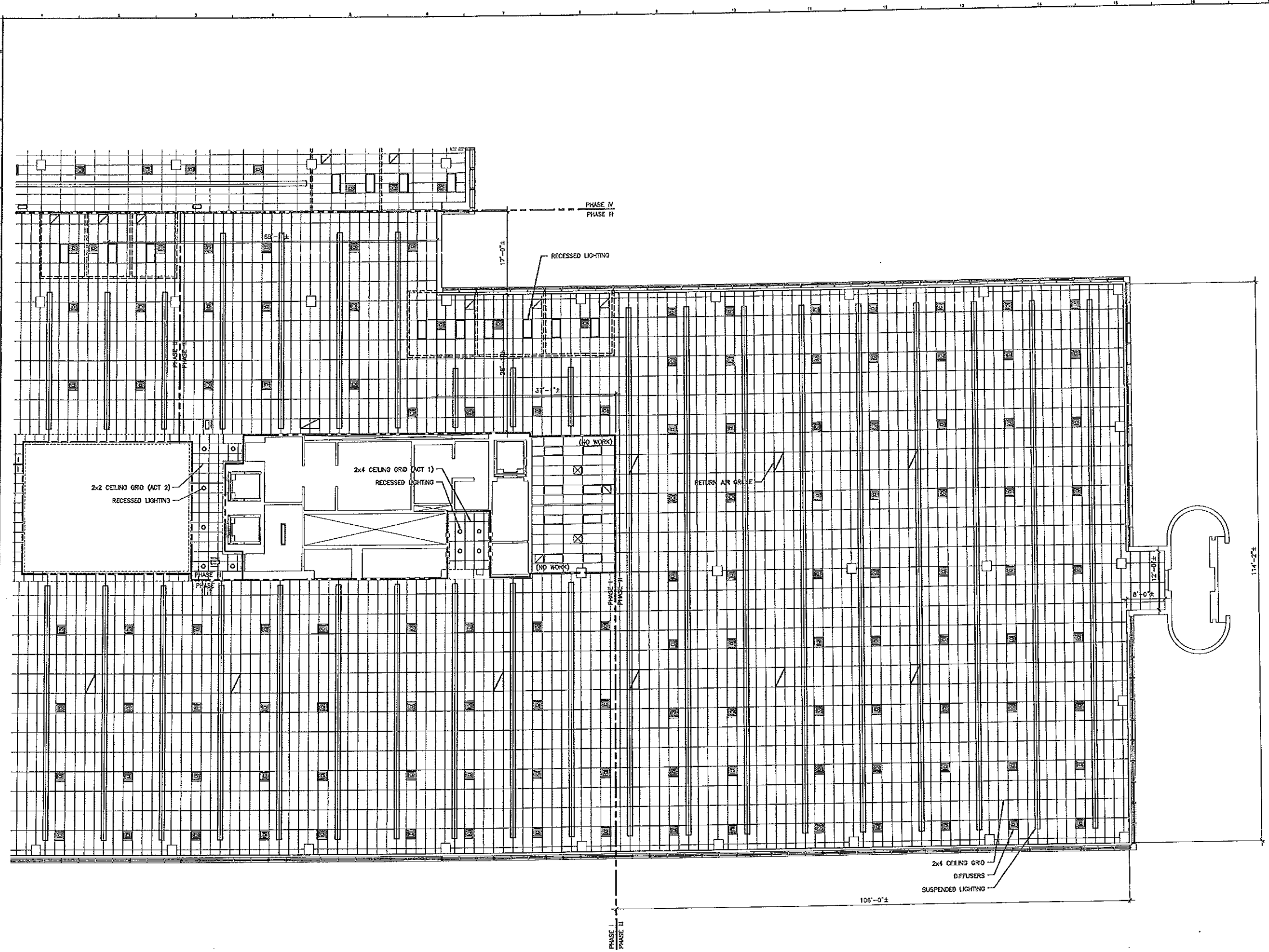
SMRT ARCHITECTURE ENGINEERING PLANNING
SHEET
144 Fore Street P.O. Box 618
Portland, Maine 04104
Tel. (603) 775-3444
Fax. (603) 772-1270

UNIMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

**PHASE II
REFLECTED CEILING PLAN**

SHEET TITLE:	DATE:
SCALE: 1/8"=1'-0"	GRAPHIC SCALE: 0" = 1'
PROJECT MANAGER: JMH	
JOB CAP/DRW/IN: CEB	
A/E OF RECORD: JMH	SHEET No.
SVST CAD FILE: AE102-03100-01	AE102
PROJECT No. 03100-01	

A1 REFLECTED CEILING PLAN - PHASE II
1/8"=1'-0"



F18 KEY PLAN	
NOT TO SCALE	
0	ISSUED FOR CONSTRUCTION
REV.	DESCRIPTION
	DATE
	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

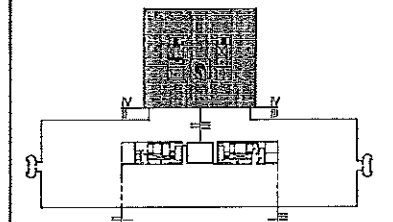
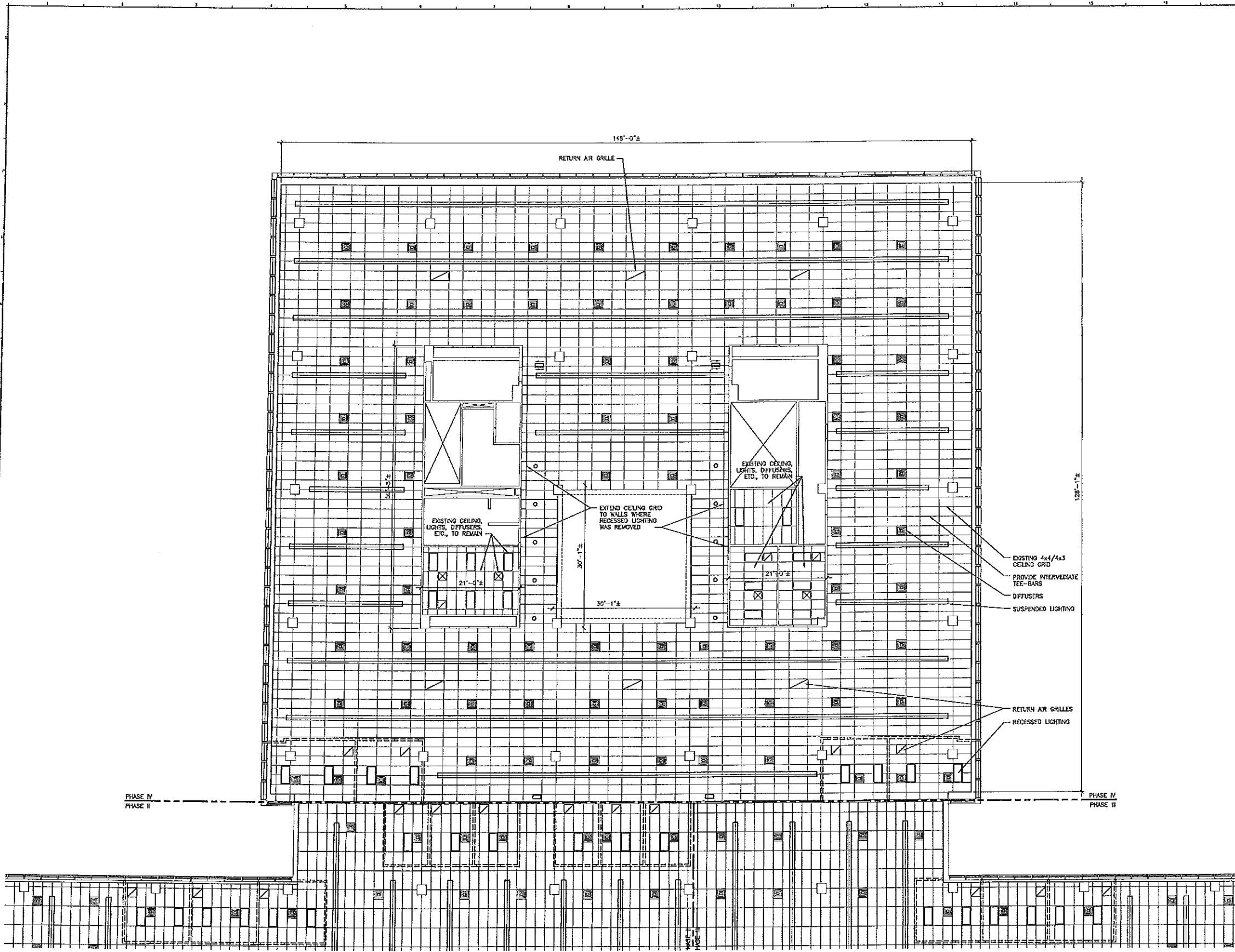
SM RT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, P.O. Box 813
 Portland, Maine 04154
 Tel. (207) 778-3846
 Fax. (207) 778-4370

UNIMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE III REFLECTED CEILING PLAN

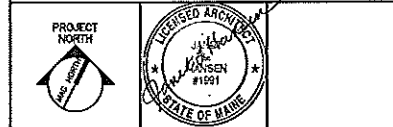
SHEET TITLE:	
SCALE: 1/8"=1'-0"	DATE:
PROJECT MANAGER: JH	GRAPHIC SCALE: 1"=10'-0"
JOB CAP/DRAWN: CEB	
A/E OF RECORD: JH	SHEET No.:
SVAT CAD FILE: AE103-03100-0	AE103
PROJECT No. 03100-01	

A1 REFLECTED CEILING PLAN - PHASE III
 1/8"=1'-0"



F18	KEY PLAN	
NOT TO SCALE		
0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04



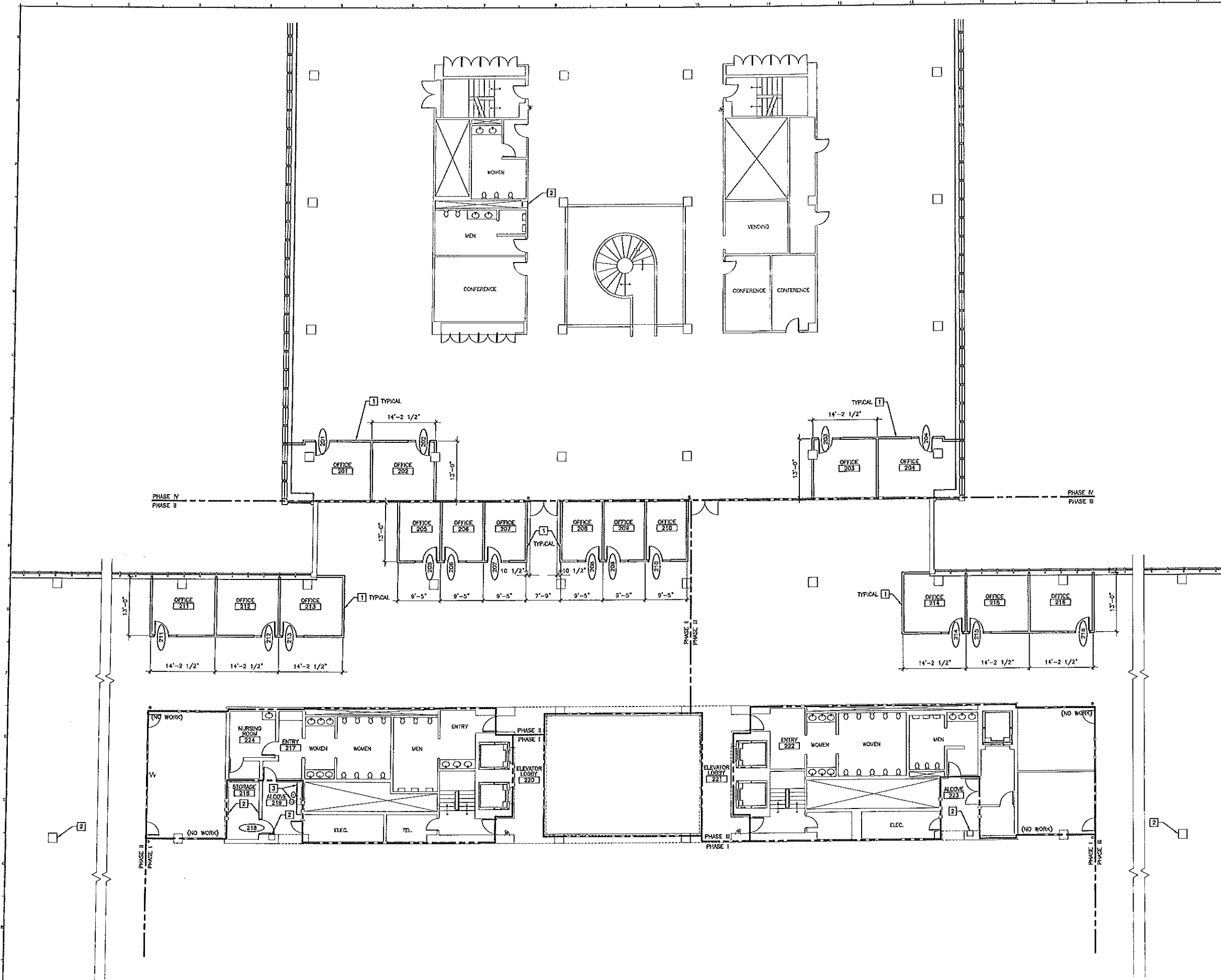
SM RT ARCHITECTURE ENGINEERING PLANNING
SMRT
144 Fore Street, P.O. Box 613
Portland, Maine 04104
tel. (207) 773-3346
fax. (207) 773-1070

UNIMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

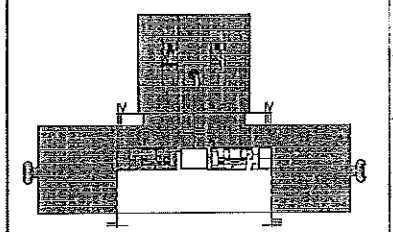
**PHASE IV
REFLECTED CEILING PLAN**

SHEET TITLE:	1/8"=1'-0"	DATE:
PROJECT MANAGER:	JLH	GRAPHIC SCALE:
JOB CAP/DRAWN:	CEB	SHEET No.
A/E OF RECORD:	JLH	SHEET No.
SURT CAD FILE:	AE104-03100-0	AE104
PROJECT No.	03100-01	

A1 REFLECTED CEILING PLAN - PHASE IV
1/8"=1'-0"



- KEY NOTES**
- 1 3-5/8" METAL STUDS AT 18" O.C. WITH 5/8" GA#9 EACH SIDE AND ACOUSTICAL INSULATION.
 - 2 PATCH WALL TO MATCH ADJACENT CONSTRUCTION AND FINISH.
 - 3 PROVIDE ELECTRIC WATER COOLER. PROVIDE GWB CHASE WALL TO CEILING.



F18 KEY PLAN

NOT TO SCALE

0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

REGISTERED ARCHITECT

JANET L. PARSONS

#1991

STATE OF MAINE

SM
RT

ARCHITECTURE ENGINEERING PLANNING

SMRT

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fax. (207) 778-1270

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

PROJECT: PRIVATE OFFICE FLOOR PLAN

SHEET TITLE:	
SCALE: 1/8"=1'-0"	DATE:
PROJECT MANAGER: J.H.	GRAPHIC SCALE: 0"
JOB CAP/DRAWN: CEB	
A/E OF RECORD: J.H.	SHEET No.
SMART CAD FILE: AE105-03100-0	AE105
PROJECT No. 03100-01	

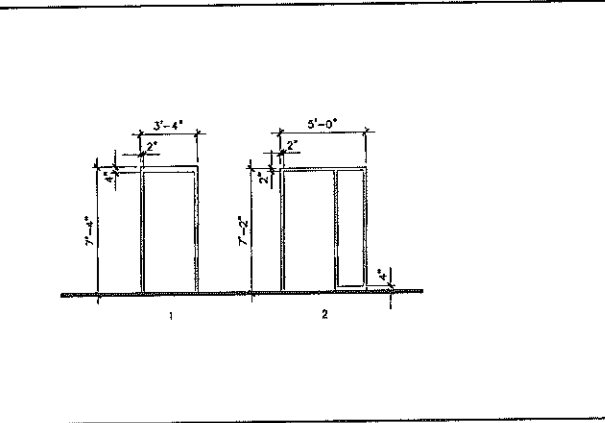
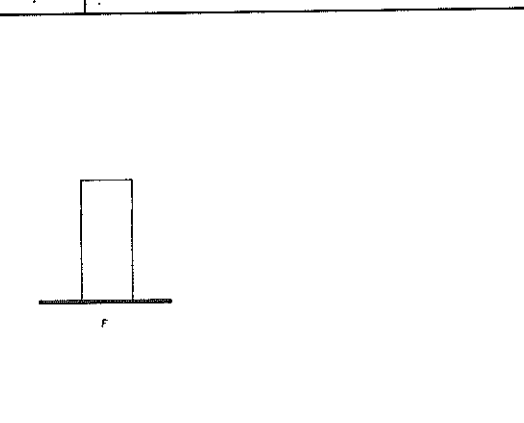
A1 PRIVATE OFFICE FLOOR PLAN
1/8"=1'-0"

ROOM FINISH SCHEDULE												
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING		ROOM NUMBER	REMARKS	
				NORTH	SOUTH	EAST	WEST	MATERIAL	HEIGHT			
201	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	201	ALT. #1
202	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	202	ALT. #1
203	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	203	ALT. #1
204	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	204	ALT. #1
205	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	205	ALT. #1
206	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	206	ALT. #1
207	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	207	ALT. #1
208	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	208	ALT. #1
209	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	209	ALT. #1
210	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	210	ALT. #1
211	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	211	ALT. #1
212	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	212	ALT. #1
213	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	213	ALT. #1
214	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	214	ALT. #1
215	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	215	ALT. #1
216	OFFICE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	216	ALT. #1
217	ENTRY		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	EXST	-	217	REMOVE EXST YWO
218	STORAGE		CONC	RES	PAINT	PAINT	PAINT	PAINT	EXST	-	218	SEAL PIPE PENETRATIONS
219	ALCOVE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	219	
220	ELEVATOR LOBBY		CPT TILE	RES	-	-	RAL	EXST YWO	ACT 2	11'-0"±	220	
221	ELEVATOR LOBBY		CPT TILE	RES	-	-	EXST YWO	RAL	ACT 2	11'-0"±	221	
222	ENTRY		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	EXST	-	222	REMOVE EXST YWO
223	ALCOVE		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	223	
224	NURSING ROOM		CPT TILE	RES	PAINT	PAINT	PAINT	PAINT	ACT 1	9'-0"±	224	

L9 ROOM FINISH SCHEDULE

DOOR SCHEDULE												
DOOR NUMBER	SIZE	DOOR		GLAZING	FRAME				HxS	FIRE RATING (MIN.)	DOOR NUMBER	REMARKS
		MATERIAL	ELEVATION		MATERIAL	ELEVATION	HEAD	JAMB				
101	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	201	ALT. #1
202	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	202	ALT. #1
203	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	203	ALT. #1
204	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	204	ALT. #1
205	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	205	ALT. #1
206	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	206	ALT. #1
207	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	207	ALT. #1
208	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	208	ALT. #1
209	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	209	ALT. #1
210	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	210	ALT. #1
211	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	211	ALT. #1
212	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	212	ALT. #1
213	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	213	ALT. #1
214	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	214	ALT. #1
215	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	215	ALT. #1
216	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	2				1	216	ALT. #1
218	3-0 x 7-0 x 1-3/4	HM	F	TEMP.	HM	1				2	45	218

E9 DOOR SCHEDULE



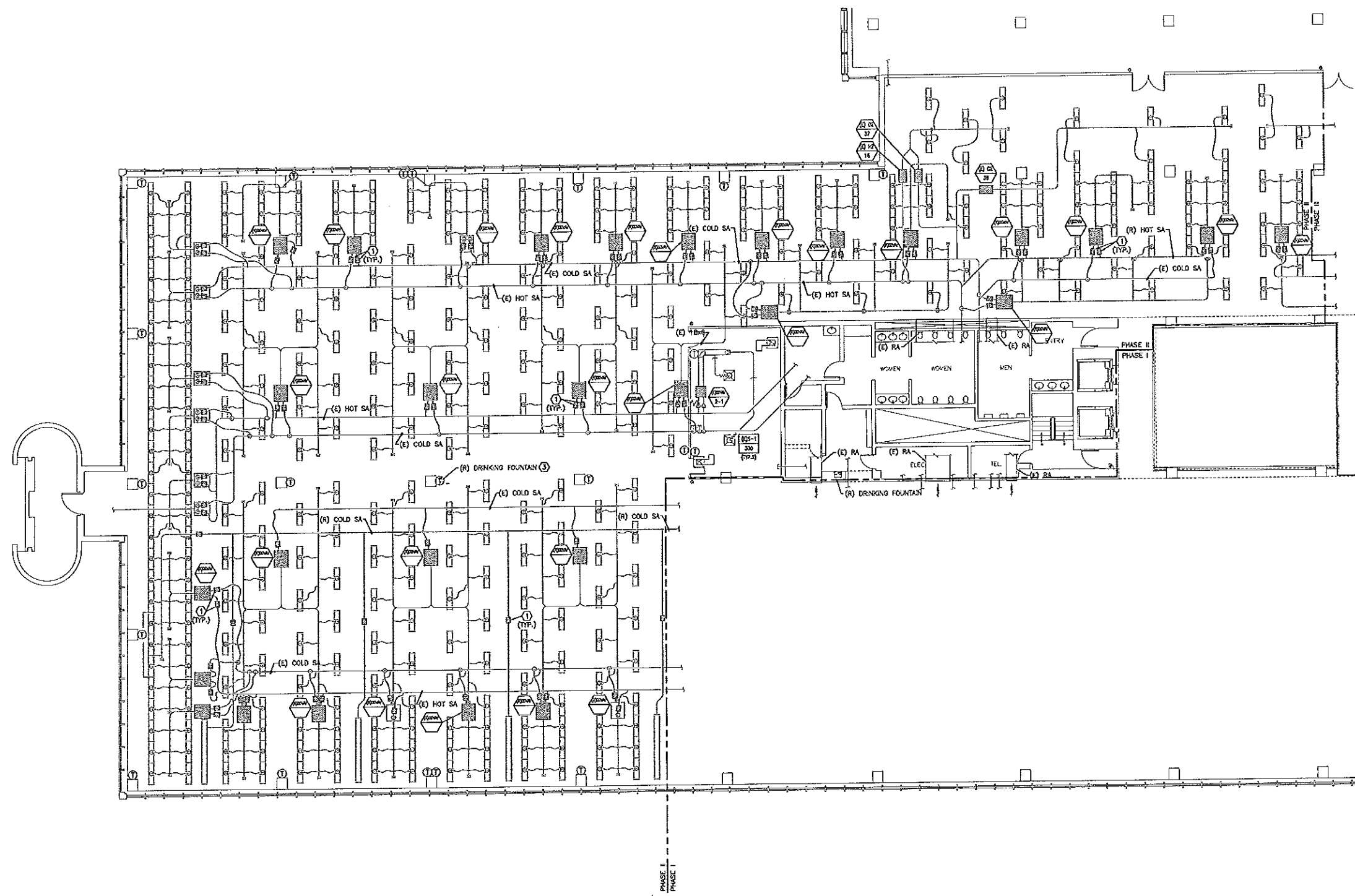
A9 DOOR ELEVATIONS

A13 FRAME ELEVATIONS

1/4"=1'-0"

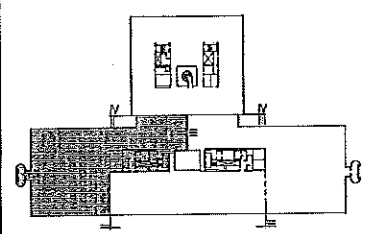
1/4"=1'-0"

0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION 1-28-04		
CURRENT ISSUE STATUS:		
PROJECT NORTH		
	ARCHITECTURE ENGINEERING PLANNING 144 Park Street, 7th Fl., Box 619 Portland, Maine 04104 Tel. (207) 772-1848 Fax. (207) 772-1020	
UNUMPROVIDENT HO-1 2nd FLOOR OFFICE RENOVATIONS PORTLAND, ME.		
ROOM FINISH AND DOOR SCHEDULES		
SHEET TITLE:		
SCALE:	NOT TO SCALE	DATE:
PROJECT MANAGER:	JLH	GRAPHIC SCALE:
JOB CAP/DRAWN:	CEB	
A/E OF RECORD:	JLH	SHEET No.
SURT CAD FILE:	AE601-03100-0	AE601
PROJECT No.	03100-01	



NOTES:
 1. SEE SHEET M-001 FOR LEGEND AND ABBREVIATIONS.
 2. ALL EXISTING DUCT HANGERS SHALL REMAIN FOR FUTURE USE.

KEYED NOTES:
 ① WOOD VALVE. REMOVE AND STORE AT UNAPPROVIDENT'S DIRECTION.
 ② EXISTING HOT DECK IS INACTIVE.
 ③ REMOVE DOMESTIC CW SUPPLY & SANITARY BRANCHES SERVING DRINKING FOUNTAIN TO WITHIN 12" OF WANS. CAP AND SEAL PERIOD.



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:



SM RT ARCHITECTURE ENGINEERING PLANNING
 SHEET
 144 Pine Street P.O. Box 118
 Portland, Maine 04104
 TEL: (207) 772-3946
 FAX: (207) 772-1570

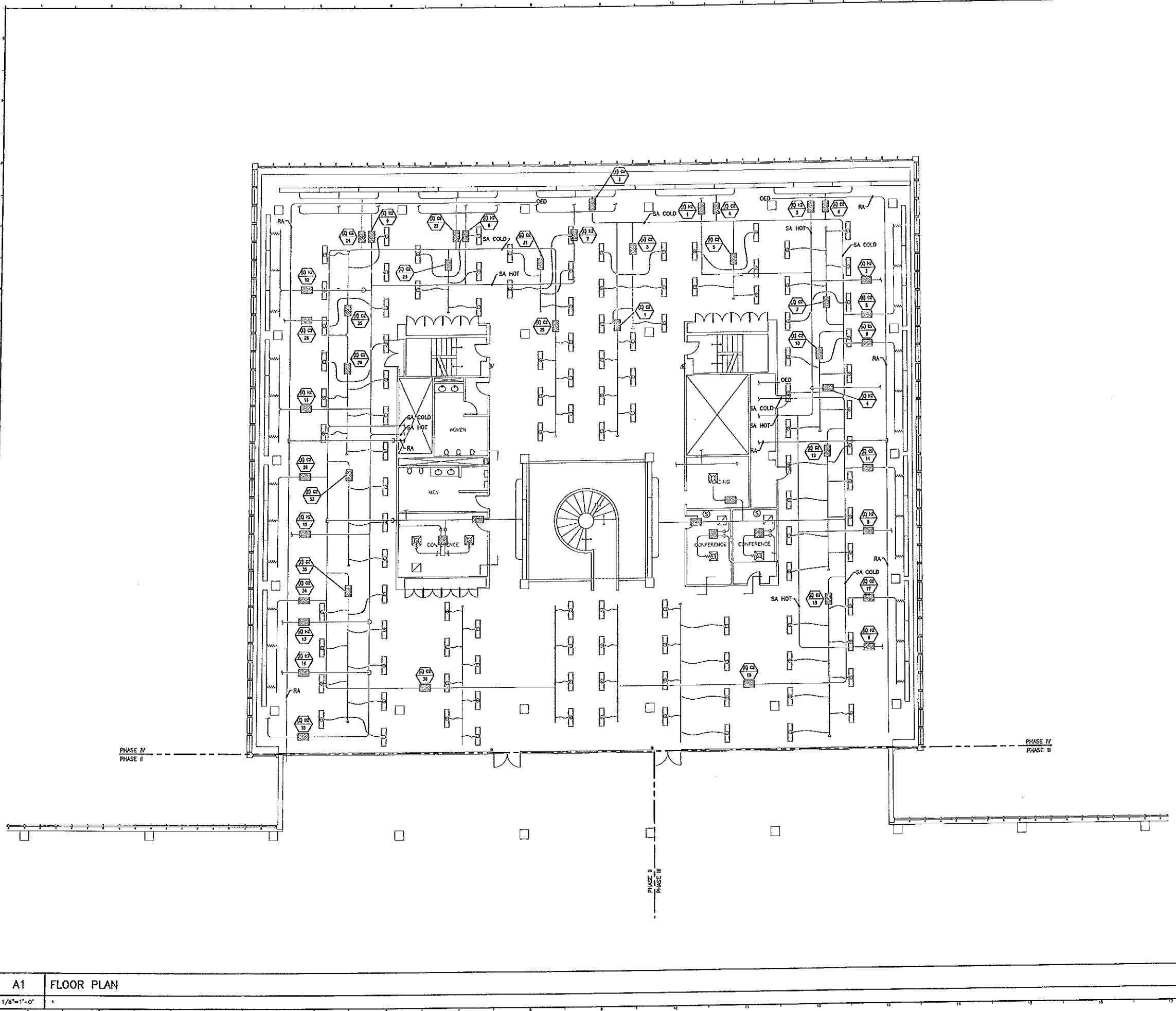
UNAPPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE II
DEMOLITION PLAN

SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
SCALE:	1/8"=1'-0"	GRAPHIC SCALE:	0' 1'
PROJECT MANAGER:	JLH		
JOB CAP/DRAWN:	CEB/CAH		
A/E OF RECORD:	LPA	SHEET No.	
SURT CAD FILE:	M0102-03100-0		
PROJECT No.	03102-01		

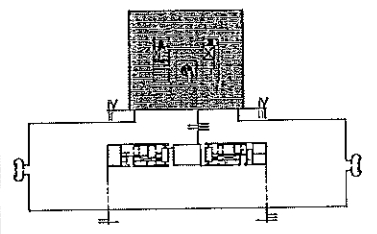
A1 FLOOR PLAN
 1/8"=1'-0"

MD102



NOTES:
 1. SEE SHEET M-001 FOR LEGEND AND ABBREVIATIONS.
 2. ALL EXISTING DUCT HANGERS SHALL REMAIN FOR FUTURE USE.

KEYED NOTES:
 ① MITED VALVE, REMOVE AND STORE AT UNUMPROVIDENT'S DIRECTION.
 ② EXISTING HOT DECK IS INACTIVE.



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

**ISSUED FOR CONSTRUCTION
1-28-04**

CURRENT ISSUE STATUS:



SM RT ARCHITECTURE ENGINEERING PLANNING
 141 Fore Street, 2nd Fl. Box 418
 Portland, Maine 04104
 Tel. (207) 772-3546
 Fax. (207) 772-4270

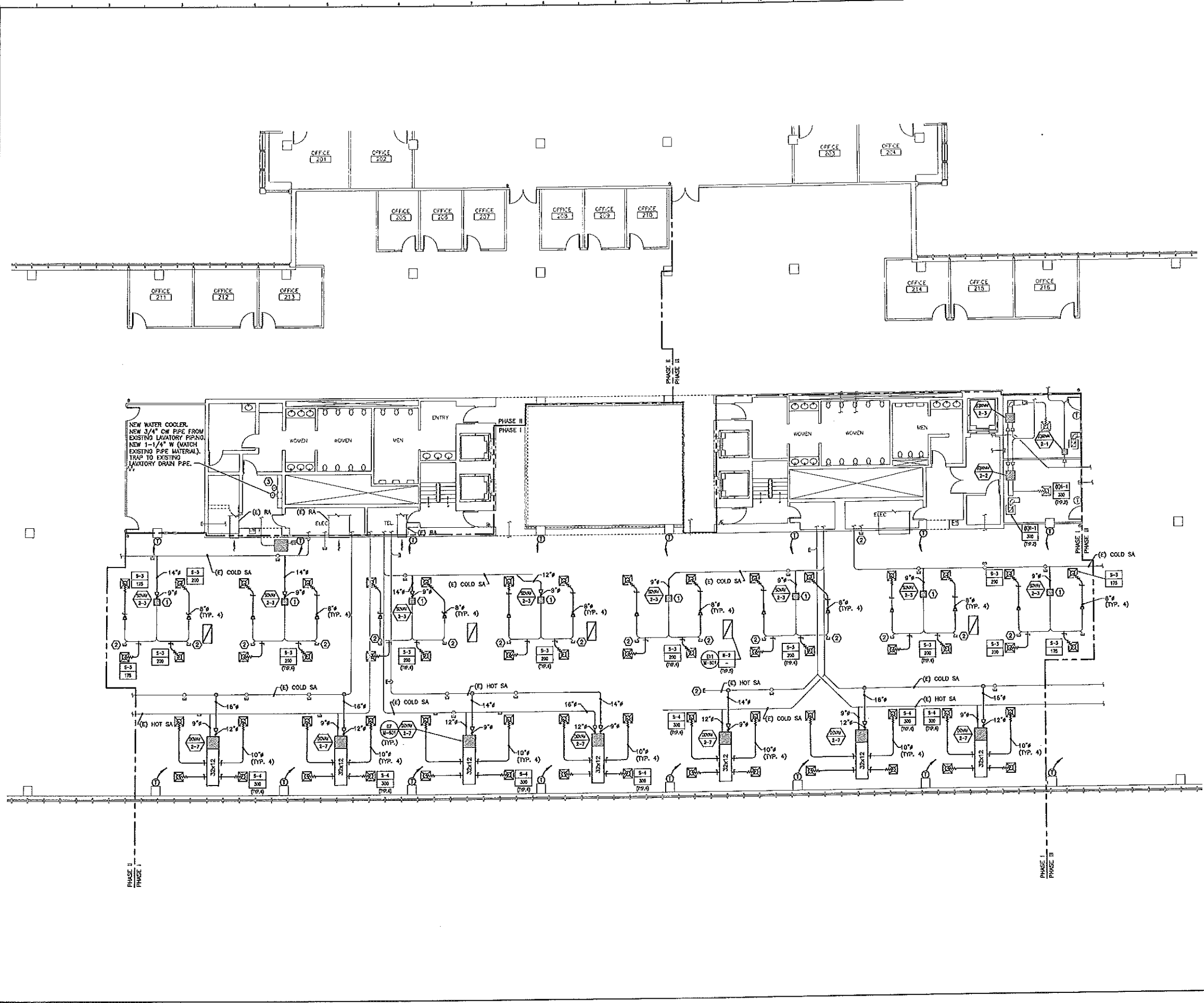
**UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.**

**PHASE IV
DEMOLITION PLAN**

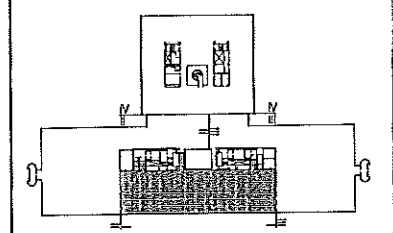
SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
PROJECT MANAGER:	JLH	GRAPHIC SCALE:	1"
JOB CAP/DRAWN:	CEB/CAH	SHEET No.	
A/E OF RECORD:	LPA		
SMRT CAD FILE:	M0104-03100-01		
PROJECT No.	03100-01		

A1 FLOOR PLAN
 1/8"=1'-0"

MD104



- NOTES:**
- SEE SHEET M-001 FOR LEGEND AND ABBREVIATIONS.
 - ALL EXISTING DUCT HANGERS SHALL REMAIN FOR FUTURE USE.
- KEYED NOTE:**
- CONNECT EXISTING DUCTWORK TO NEW VAV BOX.
 - CAP AND SEAL EXISTING DUCTWORK AIRTIGHT.
 - HALSEY TAYLOR OIL-11 SER-Q BI-LEVEL ADA BARRIER FREE WATER COOLER, STAINLESS STEEL FINISH.



F18 KEY PLAN
NOT TO SCALE

0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

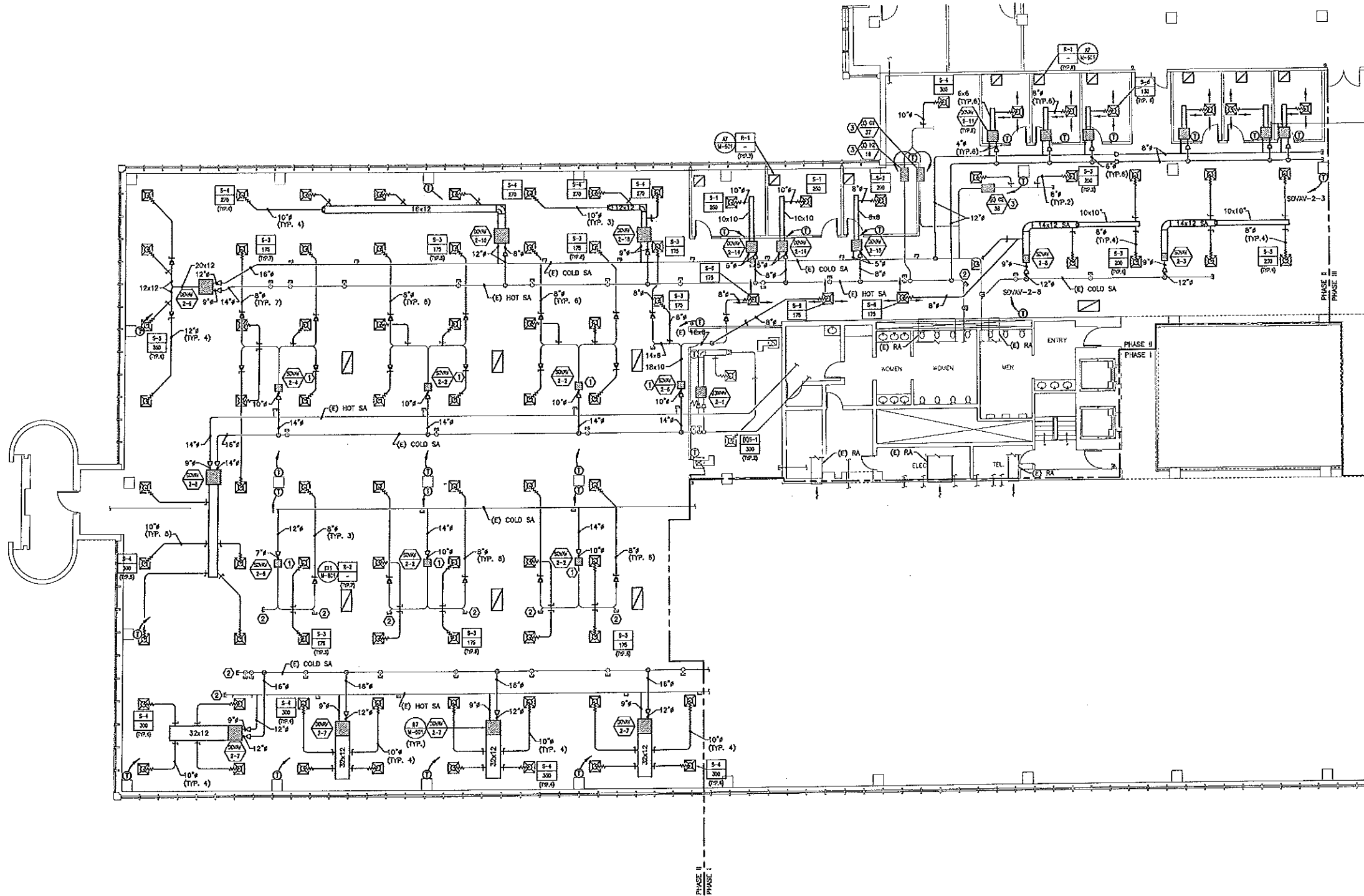


SM RT ARCHITECTURE ENGINEERING PLANNING
5307
144 Fore Street, P.O. Box 618
Portland, Maine 04104
tel. (207) 773-3846
fax. (207) 773-1270

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

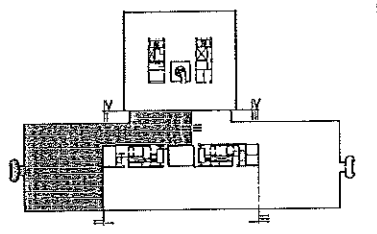
PHASE I HVAC PLAN	
SHEET TITLE:	
SCALE: 1/8"=1'-0"	DATE: 1-28-04
PROJECT MANAGER: JH	GRAPHIC SCALE: 0' 1'
JOB CAP/DRW: CER/CAH	
A/E OF RECORD: LFA	SHEET No. M-101
SWRT CAD FILE: M-101-03100-0	
PROJECT No. 03100-01	

A1 FLOOR PLAN
1/8"=1'-0"



- NOTES:**
1. SEE SHEET M-001 FOR LEGEND AND ABBREVIATIONS.
 2. ALL EXISTING DUCT HANGERS SHALL REMAIN FOR FUTURE USE.

- KEYED NOTE:**
- ① CONNECT EXISTING DUCTWORK TO NEW VAV BOX.
 - ② CAP AND SEAL EXISTING DUCTWORK AIRTIGHT.
 - ③ EXISTING VAV BOX TO BE REBALANCED. SEE M-601.



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04



SMRT ARCHITECTURE ENGINEERING PLANNING
 SUITE 144 FORD STREET, BOX 618
 PORTLAND, MAINE 04104
 TEL: (207) 772-3344
 FAX: (207) 772-5270

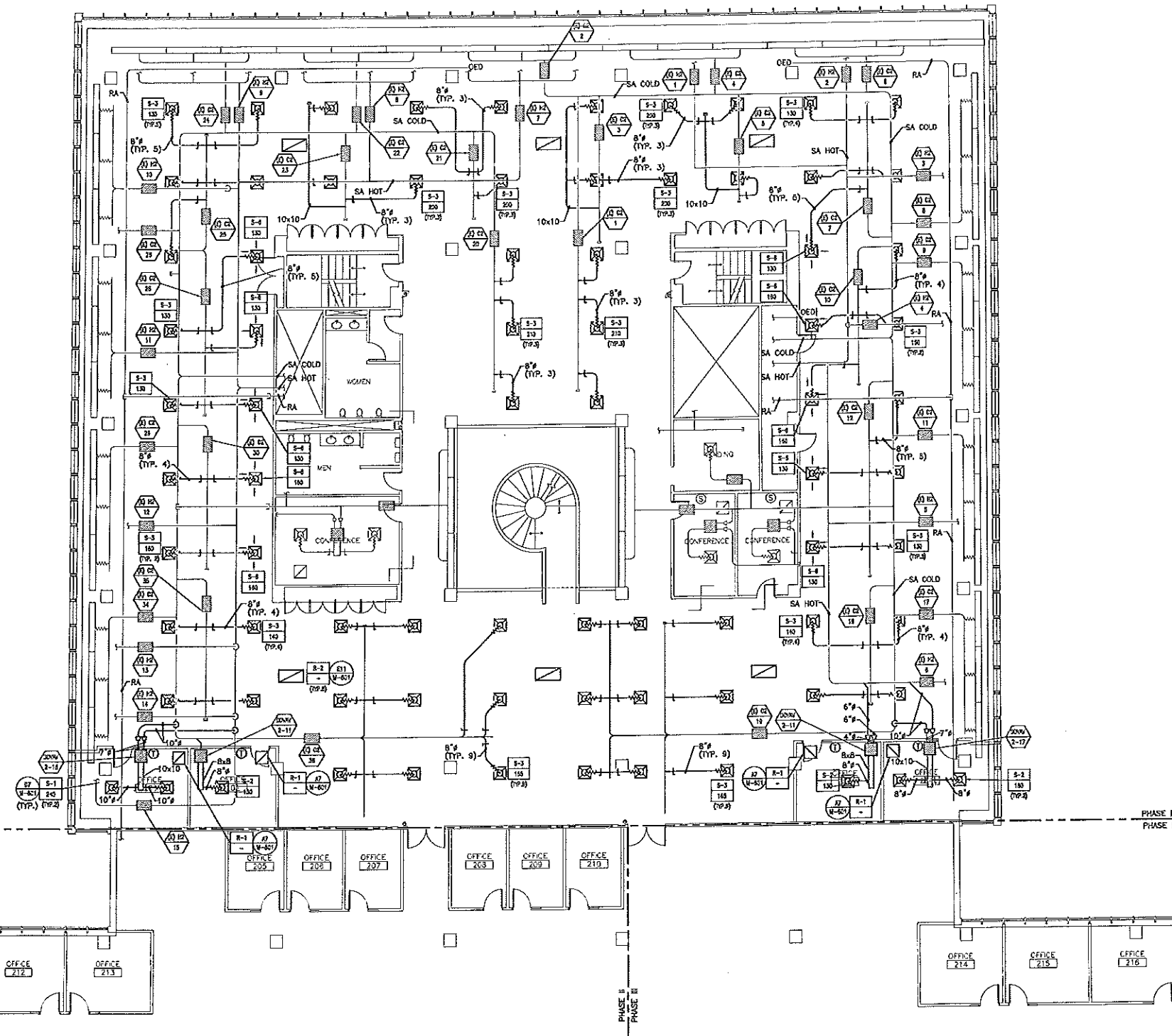
UNIMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE II HVAC PLAN

SHEET TITLE:	SCALE: 1/8"=1'-0"	DATE: 1-28-04
PROJECT MANAGER: JLM	GRAPHIC SCALE: 0'	
JOB CAP/DRWNS: CEB/CAH		
A/E OF RECORD: LPA	SHEET No.	
SMRT CAD FILE: M-102-03100-0		
PROJECT No. 03100-01		

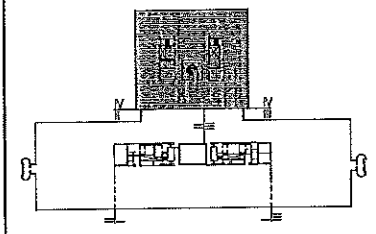
A1 FLOOR PLAN
1/8"=1'-0"

M-102



NOTES:
 1. SEE SHEET M-001 FOR LEGEND AND ABBREVIATIONS.
 2. ALL EXISTING DUCT HANGERS SHALL REMAIN FOR FUTURE USE.

KEYED NOTE:
 ① CONNECT EXISTING DUCTWORK TO NEW VAV BOX.
 ② CAP AND SEAL EXISTING DUCTWORK AIRTIGHT.
 ③ EXISTING VAV BOX TO BE REBALANCED. SEE M-001.



F18 KEY PLAN
 NOT TO SCALE

0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

SM RT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, Box 418
 Portland, Maine 04104
 tel. (207) 773-3848
 fax. (207) 773-3270

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE IV HVAC PLAN

SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
SCALE:	1/8"=1'-0"	GRAPHIC SCALE:	0'
PROJECT MANAGER:	JUH	JOB CAP/DRWNR:	CEB/CAH
A/E OF RECORD:	LPA	SHEET No.:	M-104
SVRT CAD FILE:	M-104-03100-0	PROJECT No.:	03100-01

A1 FLOOR PLAN
 1/8"=1'-0"

SINGLE & DUAL DUCT VAV TERMINAL SCHEDULE

TAG	INLET SIZE		COOLING CFM (MAX)	MINIMUM MIXED CFM	HEATING CFM	MAX. PRESSURE DROP THRU TERMINAL	TITUS MODEL NO.	NOTES:
	COLD	HOT						
DDVAV 2-1	9"	9"	600	600	600	0.18	DEDV	①
DDVAV 2-2	7"	7"	300	300	300	0.16	DEDV	①
DDVAV 2-3	7"	7"	300	300	300	0.16	DEDV	①
DDVAV 2-4	8"	8"	500	500	500	0.38	DEDV	①
DDVAV 2-5	7"	7"	300	300	300	0.16	DEDV	①
DDVAV 2-6	7"	7"	300	300	300	0.16	DEDV	①
DDVAV 2-7 (TYP.)	12"	9"	1200	800	1000	0.28	DEDV	①
DDVAV 2-8	14"	9"	1500	750	750	0.19	DEDV	①
DDVAV 2-9	12"	9"	1400	700	700	0.36	DEDV	①
DDVAV 2-10	12"	8"	1050	540	540	0.21	DEDV	①
DDVAV 2-11 (TYP.)	4"	4"	130	130	130	0.25	DEDV	①
DDVAV 2-12	12"	8"	1100	550	550	0.22	DEDV	①
DDVAV 2-13	10"	10"	1000	500	600	0.42	DEDV	①
DDVAV 2-14 (TYP.)	6"	6"	250	130	250	0.29	DEDV	①
DDVAV 2-15 (TYP.)	6"	6"	200	130	200	0.19	DEDV	①
DDVAV 2-16	7"	7"	480	160	480	0.41	DEDV	①
DDVAV 2-17	7"	7"	360	130	360	0.23	DEDV	①
DDVAV 2-18	9"	9"	810	405	810	0.32	DEDV	①
SDVAV 2-1 (TYP.)	5"	-	350	175	0	0.15	DESIV	①
SDVAV 2-2 (TYP.)	10"	-	1050	525	0	0.14	DESIV	①
SDVAV 2-3 (TYP.)	9"	-	800	400	0	0.14	DESIV	①
SDVAV 2-4	10"	-	1225	610	0	0.19	DESIV	①
SDVAV 2-5	7"	-	525	270	0	0.15	DESIV	①
SDVAV 2-6	8"	-	700	500	0	0.16	DESIV	①
SDVAV 2-7	10"	-	1200	600	0	0.18	DESIV	①
SDVAV 2-8	9"	-	975	650	0	0.21	DESIV	①

NOTES: ① PROVIDE ATTENUATOR

REGISTER, DIFFUSER & GRILLE SCHEDULE

TAG	MAX CFM	NECK SIZE	TYPE	ΔP	MAX NO.	TITUS MODEL NO.	NOTES
S-1	300	10"φ	24x24 LAY-IN	0.08"	15	TDC 12x12 A4	①
S-2	210	8"φ	24x24 LAY-IN	0.06"	15	TDC 12x12 A4	①
S-3	210	8"φ	24x24 LAY-IN	0.06"	16	TDC 18x18 A4	①
S-4	300	10"φ	24x24 LAY-IN	0.08"	19	TDC 18x18 A4	①
S-5	400	12"φ	24x24 LAY-IN	0.06"	17	TDC 18x18 A4	①
S-6	210	8"φ	24x24 LAY-IN	0.06"	16	TDC 18x18 B3	①
S-7	300	10"φ	24x24 LAY-IN	0.08"	19	TDC 18x18 B3	①
R-1	400	12x12	24x24 LAY-IN	0.037"	12	50F	①
R-2	2872	46x22	48x24 LAY-IN	0.02"	13	50F	①

NOTES: ① WHITE FINISH

EXISTING SINGLE DUCT VARIABLE VOLUME UNIT SCHEDULE

EXISTING DUAL DUCT VARIABLE VOLUME UNIT	MAX. COOLING CFM	MAX. HEATING CFM	TYPICAL UNIT MFG & MODEL NO.	NOTES:
(E) VAV H2-18	-	300		
(E) VAV H2-17	-	300		
(E) C2-1	830	-		
(E) C2-3	600	-		
(E) C2-5	600	-		
(E) C2-7	650	-		
(E) C2-10	640	-		
(E) C2-12	650	-		
(E) C2-18	580	-		
(E) C2-19	1485	-		
(E) C2-20	630	-		
(E) C2-21	600	-		
(E) C2-23	600	-		
(E) C2-25	650	-		
(E) C2-28	850	-		
(E) C2-30	640	-		
(E) C2-35	560	-		
(E) C2-36	1485	-		
(E) VAV C2-37	300	-		
(E) VAV C2-38	400	-		
(E) VAV C2-39	400	-		
(E) VAV C2-40	300	-		
(E) DDVAV-2-4	600	500		
(E) DDVAV-2-5	300	300		
(E) DDVAV-2-4	300	300		

NOTES: ① REBALANCE EXISTING BOXES.

SPECIFICATIONS & NOTES:

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE PRE-EXISTING CONDITIONS AND ALL WORK NECESSARY, PRIOR TO BIDDING. VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS IN THE FIELD. GENERAL SCHEMATIC LAYOUT IS INDICATED; ALL OFFSETS, OBSTRUCTIONS, AND EXISTING CONFIGURATIONS AND CONSTRAINTS MUST BE FIELD VERIFIED.

OBTAIN NECESSARY PERMITS AND PAY ASSOCIATED FEES.

COORDINATE ANY SERVICE DISRUPTIONS WITH THE OWNER.

INSTALL ALL COMPONENTS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS, ALL LOCAL CODES AND STANDARDS, AND UNIFORM PROVISIONS REQUIREMENTS.

DRAWINGS ARE DIAGNOSTIC ONLY; FIELD-VERIFY ALL EXISTING CONDITIONS. COORDINATE INSTALLATIONS WITH OTHER TRADES.

THE INTENTION OF THESE CONTRACT DOCUMENTS IS TO CALL FOR FINISHED WORK, FULLY TESTED AND READY FOR OPERATION. ANY COMPONENTS OR LABOR NOT MENTIONED IN THE CONTRACT DOCUMENTS BUT REQUIRED FOR FUNCTIONING SYSTEMS SHALL BE PROVIDED. SHOULD THERE APPEAR TO BE ANY DISCREPANCIES OR QUESTIONS OF INTENT, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR DECISION BEFORE START OF ANY RELATED WORK.

PERFORM WORK IN ACCORDANCE WITH LOCAL CODES.

SEAL ALL DUCT AND PIPE PENETRATIONS WITH FIRE SEALANT.

OBSERVE THE OWNER'S CLEANLINESS PROTOCOLS.

METAL DUCTWORK
GALVANIZED STEEL DUCTWORK: ASTM A553 GALVANIZED STEEL SHEET, LOCK-TIGHTING QUALITY, AND 600 ZINC COATING. ALL DUCTWORK SHALL BE FLANGED AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS. CONSTRUCT DUCT SYSTEMS SO THAT LEAKAGE DOES NOT EXCEED ONE PERCENT OF THE TOTAL AIR QUANTITIES. SEAL ALL DUCT JOINTS WITH GASKETED CONNECTIONS, DUCTMATE, OR EQUAL.

DUCTWORK PRESSURE/SEAL CLASS
SUPPLY DUCTWORK UPSTREAM OF DUAL DUCT VAV TERMINAL UNITS: 6 INCH/CLASS A
SUPPLY DUCTWORK DOWNSTREAM OF DUAL DUCT VAV TERMINAL UNITS: 2 INCH/CLASS C

INSULATE DUCTWORK WITH 1-1/2" E.G. BLANKET WITH VAPOR BARRIER JACKET EQUAL TO SCHULLER MCOLUTE TYPE 75, ASTM C533, WITH FSK FACING.

PROVIDE VOLUME DAMPERS AT ALL BRANCH DUCTS.

SPECIFICATIONS & NOTES: (CONT)

INSULATED FLEXIBLE DUCT
ALUMINUM LAMINATE AND POLYESTER FILM WITH LATEX ADHESIVE SUPPORTED BY HELICALLY WOUND SPRING STEEL WIRE. FIBERGLASS INSULATION POLYETHYLENE VAPOR BARRIER FILM. R-VALUE = 4.2, UL 181, CLASS 1. MAXIMUM LENGTH: 5 FEET.

SINGLE DUCT VAV TERMINAL UNITS
DESIGN IS BASED ON TITUS SINGLE DUCT AIR VOLUME TERMINALS. PROVIDE TERMINALS OF SIZES AND CAPACITIES SHOWN IN THE SCHEDULES.

TERMINAL CASING SHALL BE MINIMUM 22 GAUGE GALVANIZED STEEL INTERNALLY LINED WITH FIBRE-FREE ENGINEERED POLYMER FOAM INSULATION WHICH COMPLIES TO UL 181 AND NFPA 90A. THE INSULATION SHALL BE MECHANICALLY FASTENED TO THE UNIT CASING.

PROVIDE SOUND ATTENUATOR.

PROVIDE 120 VOLT/24 VOLT CONTROL TRANSFORMER WITH EACH TERMINAL.

DUAL DUCT VAV TERMINAL UNITS
DESIGN IS BASED ON TITUS DUAL DUCT AIR VOLUME TERMINALS. PROVIDE TERMINALS OF SIZES AND CAPACITIES SHOWN IN THE SCHEDULES.

THE TERMINAL CASING SHALL BE MINIMUM 22 GAUGE GALVANIZED STEEL INTERNALLY LINED WITH FIBRE-FREE ENGINEERED POLYMER FOAM INSULATION WHICH COMPLIES TO UL 181 AND NFPA 90A. THE INSULATION SHALL BE MECHANICALLY FASTENED TO THE UNIT CASING.

UNIT SHALL INCLUDE A MIXER-ATTENUATOR SECTION AS AN INTEGRAL PART OF THE TERMINAL. MIXER DOWNSTREAM STRATIFICATION.

COOLING AND HEATING INLETS SHALL HAVE SEPARATE DAMPER ASSEMBLIES FOR COMPLETE PRESSURE INDEPENDENT CONTROL OF EACH AIRSTREAM FOR VARIABLE OR CONSTANT VOLUME TOTAL DISCHARGE APPLICATIONS. TERMINALS WITH INLET DAMPERS MECHANICALLY INTERCONNECTED ARE NOT ACCEPTABLE. THE DAMPERS SHALL BE HEAVY GAUGE STEEL WITH SOLID SHAFT ROTATING IN SELF-LUBRICATING BEARINGS.

PROVIDE 120 VOLT/24 VOLT CONTROL TRANSFORMER WITH EACH TERMINAL.

AUTOMATIC TEMPERATURE CONTROLS
EXTEND THE EXISTING AND/OR CONTROL SYSTEM TO SERVE THE RENOVATED AREA. ALL NEW CONTROLS SHALL BE ELECTRONIC/DC.

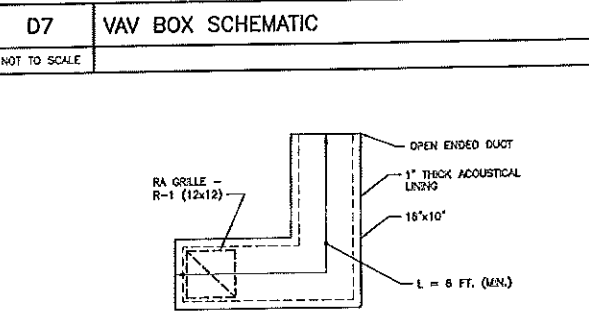
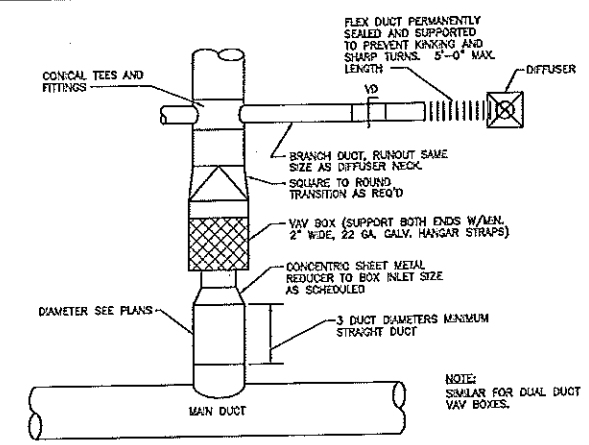
PROVIDE COMPLETE CONTROLS FOR VAV TERMINAL UNITS.

TESTING, ADJUSTING, AND BALANCING (T-A-B)
TEST, ADJUST, AND BALANCE EQUIPMENT AND DISTRIBUTION SYSTEMS IN ACCORDANCE WITH NEBB OR ASHRAE PROCEDURAL STANDARDS. TESTS SHALL BE PERFORMED BY AN INDEPENDENT T-A-B AGENCY.

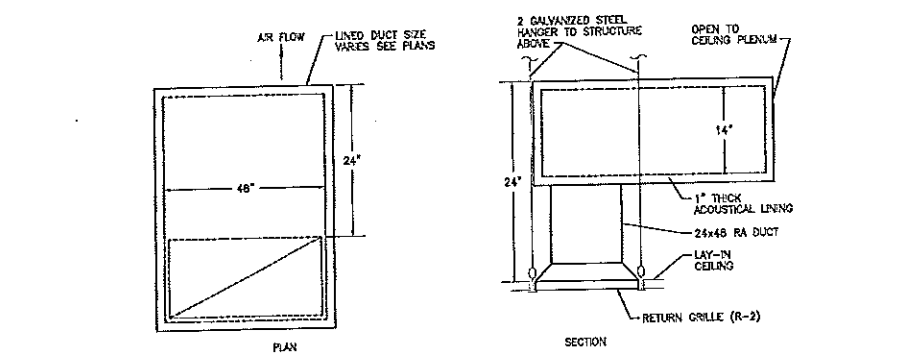
T-A-B ALL NEW AIR INLETS AND OUTLETS, INCLUDING DESIGN AND ACTUAL CFM.

T-A-B NEW DUAL DUCT VAV TERMINAL UNITS.

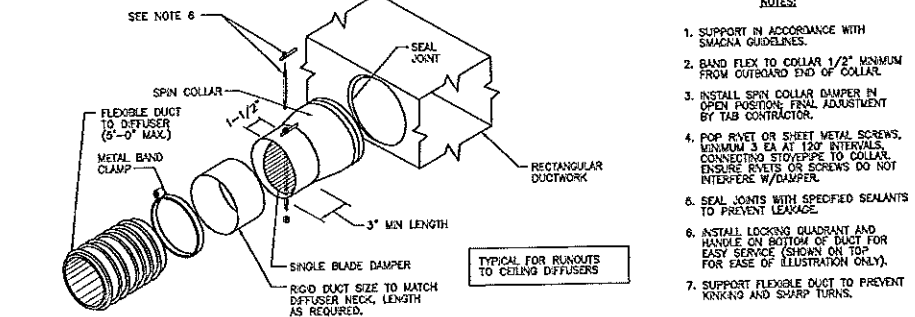
NOTE:
1. SEE SHEET M-001 FOR LEGEND AND ABBREVIATIONS.



A7 ACOUSTICAL RETURN DUCT DETAIL (R-1)
NOT TO SCALE



E11 ACOUSTICAL RETURN DUCT DETAIL (R-2)
NOT TO SCALE



A11 SPIN COLLAR FLEXIBLE DUCT CONNECTOR W/ DAMPER
NOT TO SCALE

0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION		
1-28-04		
CURRENT ISSUE STATUS:		
SMRT ARCHITECTURE ENGINEERING PLANNING 144 Fore Street/7-D, Box 115 Portland, Maine 04104 tel. (207) 772-3646 fax. (207) 772-1570		
UNUMPROVIDENT HO-1 2nd FLOOR OFFICE RENOVATIONS PORTLAND, ME.		
SCHEDULES, DETAILS & SPECIFICATIONS		
SHEET TITLE:	NO SCALE	DATE: 1-28-04
PROJECT MANAGER: JHM	GRAPHIC SCALE: 0"	
JOB CAP/DRAWN: CEB/CAH		
A/E OF RECORD: LPA		
SVMT CAD FILE: M-601-03100-0		SHEET No. M-601
PROJECT No. 03100-01		

LIGHTING

- 2x4 FLUORESCENT FIXTURE ASSOCIATED CONTROL DEVICE FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)
- 1x4 FLUORESCENT FIXTURE
- 2x2 FLUORESCENT FIXTURE
- FIXTURE WIRED TO UNSWITCHED NORMAL CIRCUIT
- FIXTURE WIRED TO UNSWITCHED EMERGENCY CIRCUIT
- FIXTURE WIRED TO SWITCHED EMERGENCY CIRCUIT
- DOWN LIGHT
- FLUORESCENT STRIP
- WALL MOUNTED FIXTURES
- TRACK LIGHTING
- POLE MOUNTED SITE LIGHTING FIXTURE FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)
- FLOOD LIGHT
- WALL WASH LIGHT FIXTURE
- EXIT SIGN, CEILING MOUNTED
- ARROW INDICATES EGRESS DIRECTION
- SHADING INDICATES SIGN FACE
- EXIT SIGN, WALL MOUNTED
- SHADING INDICATES SIGN FACE
- DUAL HEAD EMERGENCY LIGHT BATTERY PACK TO - TIME DELAY RESET
- REMOTE EMERGENCY LIGHTING HEAD
- WALL PACK
- 3-WAY TOGGLE SWITCH
- SINGLE POLE TOGGLE SWITCH INDICATES CONTROLLED FIXTURE
- 4-WAY TOGGLE SWITCH
- DUAL LEVEL SWITCHING
- DIMMER SWITCH, INCANDESCENT OR FLUORESCENT AS REQUIRED
- TOGGLE SWITCH WITH PILOT LIGHT
- TIMER SWITCH, SPRING WOUND
- SINGLE POLE DOUBLE THROW TOGGLE SWITCH, CENTER POSITION OFF
- WEATHER PROOF
- EXPLOSION PROOF
- UNSANITIZED CONTINUATION OF BRANCH CIRCUIT
- HOME RUN
- OCCUPANCY SENSOR
- INDICATES CONTROLLED FIXTURE INDICATES ANNING DIRECTION
- OCCUPANCY SENSOR RELAY
- DAYLIGHT SENSOR
- LIGHTS CONTROLLED BY SENSOR

COMMUNICATION & DATA SYSTEMS

- TELEPHONE SYSTEM WALL JACK
- W - INDICATES WALL MOUNTED AT 60° AFF
- P - INDICATES PAYPHONE
- (2) - INDICATES 2 OUTLETS, SINGLE BOX
- DATA SYSTEM OUTLET
- COMBINATION VOICE/DATA SYSTEM OUTLET
- UNDERFLOOR TELEPHONE SYSTEM OUTLET
- UNDERFLOOR DATA SYSTEM OUTLET
- UNDERFLOOR VOICE & DATA OUTLET
- CABLE TELEVISION SYSTEM OUTLET, MOUNT 18" AFF UNLESS OTHERWISE NOTED
- CLOSED CIRCUIT TELEVISION OUTLET, MOUNT 18" AFF UNLESS OTHERWISE NOTED
- PAGING SYSTEM CONTROL PANEL AND PAGING AMPLIFIER
- PAGING SYSTEM SPEAKER, CEILING MOUNTED
- PAGING SYSTEM SPEAKER, WALL MOUNT AT 7'-8" AFF
- 1. FLUSH, 2. SURFACE, 3. HORN, 4. DUAL HORN
- VOLUME CONTROL
- INTERROOM SYSTEM HAND KEY
- CLOCK SPEAKER
- INTERROOM SYSTEM HAND SET
- WALL MOUNTED CLOCK
- CEILING MOUNTED TELEPHONE SYSTEM OUTLET
- CEILING MOUNTED DATA SYSTEM OUTLET
- CEILING MOUNTED VOICE & DATA OUTLET

POWER

- NON-FUSED SAFETY SWITCH AMPERE RATING
- NEMA ENCLOSURE RATING
- FUSED SAFETY SWITCH, TOP NUMBER INDICATES SWITCH AMPERE RATING, LOWER NUMBER INDICATES FUSE RATING
- NEMA ENCLOSURE
- MAGNETIC MOTOR STARTER, FAN UNLESS INDICATED OTHERWISE
- NEMA ENCLOSURE RATING
- NEMA SIZE (TYPICAL)
- COMBINATION CIRCUIT BREAKER/MAGNETIC MOTOR STARTER, FAST NUMBER INDICATES CIRCUIT BREAKER AMPERE RATING, SECOND NUMBER INDICATES NEMA STARTER SIZE
- COMBINATION FUSED DISCONNECT/MAGNETIC MOTOR STARTER, NUMBERS INDICATE DISCONNECT AMPERE RATING/FUSE RATING/NEMA STARTER SIZE
- NON-FUSED DISCONNECT/MAGNETIC MOTOR STARTER, FIRST NUMBER INDICATES CIRCUIT BREAKER AMPERE RATING, SECOND NUMBER INDICATES NEMA STARTER SIZE
- MANUAL MOTOR STARTER, TOGGLE OPERATED, 1, 2 OR 3 POLE AS REQUIRED, OVERLOAD PROTECTION
- MANUAL MOTOR SWITCH, TOGGLE OPERATED, SINGLE PHASE, 1 OR 2 POLE AS REQUIRED (NO OVERLOAD PROTECTION)
- ENCLOSED CIRCUIT BREAKER AMPERE RATING
- ELECTRIC MOTOR, NUMBER INDICATES HORSEPOWER RATING
- EXPLOSION PROOF MOTOR
- VARIABLE AIR VOLUME CONTROL ACTUATORS
- LOCAL SELECTOR SWITCH H/O/A - HAND/OFF/AUTO
- EMERGENCY OFF BREAK GLASS STATION
- PUSHBUTTON STATION
- JUNCTION BOX
- TRANSFORMER
- POWER POLE
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- EY CONDUIT SEAL
- DUPLEX RECEPTACLE, NEMA 5-20R, INSTALLED ON EMERGENCY CIRCUIT (TYPICAL) OR DUPLEX RECEPTACLE, NEMA 5-20R
- HOSPITAL GRADE DUPLEX RECEPTACLE, NEMA 5-20R
- HOSPITAL GRADE GFCI DUPLEX RECEPTACLE, NEMA 5-20R
- HOSPITAL GRADE ISOLATED GROUND DUPLEX RECEPTACLE, NEMA 5-20R
- SINGLE RECEPTACLE, NEMA 5-20R
- DOUBLE DUPLEX (QUAD) RECEPTACLE, NEMA 5-20R
- HOSPITAL GRADE DOUBLE DUPLEX RECEPTACLE, NEMA 5-20R
- SWITCHED RECEPTACLE
- FLOOR OUTLET, DUPLEX RECEPTACLE, NEMA 5-20R
- POWER RECEPTACLE, 480 VOLT NEMA CONFIGURATION AS NOTED
- POWER RECEPTACLE, 240 VOLT NEMA CONFIGURATION AS NOTED
- PANELBOARD, NORMAL POWER
- PANELBOARD, EMERGENCY POWER
- MULTI OUTLET ASSEMBLY

GROUNDING

- GROUND ROD
- EXOTHERMIC WELD CONNECTION
- BOLTED CONNECTION
- BARE COPPER CONDUCTOR RUN EXPOSED
- BARE COPPER CONDUCTOR EMBEDDED IN CONCRETE OR BURIED

NURSE CALL SYSTEM

- NURSE CALL CALL LIGHT
- PATIENT CALL BUTTON
- NURSE CALL PULL CORD
- NURSE CALL MASTER STATION

FIRE ALARM

- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR
- FIRE ALARM MASTER BOX
- FIRE ALARM MANUAL PULL STATION
- FIRE ALARM SPEAKER/STROBE UNIT
- FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE (GENERAL EVACUATION)
- FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE (CLEAN ROOM NOTIFICATION (LOCAL))
- FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE (CEILING MOUNTED)
- FIRE ALARM VS. ONLY NOTIFICATION APPLIANCE (CEILING MOUNTED)
- PHOTOELECTRIC SMOKE DETECTOR, CEILING MOUNTED, INDICATES AUXILIARY CONTACT
- FIXED TEMPERATURE HEAT DETECTOR, CEILING MOUNTED, INDICATES EQUIPMENT INTERLOCKED WITH THE DETECTOR
- CLEAN ROOM SMOKE DETECTOR
- INDICATES EQUIPMENT INTERLOCKED WITH THE SMOKE DETECTOR
- COMBINATION RATE-OF-RISE/FIXED TEMPERATURE HEAT DETECTOR, CEILING MOUNTED
- DUCT SMOKE DETECTOR, PHOTOELECTRIC WITH AUXILIARY CONTACT
- SPRINKLER SYSTEM FLOW SWITCH
- SPRINKLER SYSTEM TAMPER SWITCH
- FIRE ALARM SYSTEM MAGNETIC DOOR HOLDER
- INTERLOCK RELAY
- SMOKE DAMPER
- DUCT SMOKE DETECTOR REMOTE TEST INDICATOR
- KNOCK BOX

SECURITY SYSTEMS

- 2-WAY CEILING MOUNTED INTERCOM SPEAKER
- CEILING MOUNTED PAGING SPEAKER
- WALL MOUNTED PAGING HORN
- CEILING OR WALL MOUNTED FIXED CAMERA
- CEILING OR WALL MOUNTED PTZ CAMERA
- PAGING CONTROL EQUIPMENT
- INTERCOM MASTER STATION
- DOOR CONTROL EQUIPMENT
- MONITORED DOOR POSITION SWITCH AND CONTROLLED DOOR HARDWARE
- MONITORED DOOR POSITION SWITCH
- STANDARD INTERCOM STATION
- VISITATION TELEPHONE
- WALL MOUNTED DURESS BUTTON
- GRAPHIC CONTROL PANEL
- TOUCH SCREEN WORKSTATION
- CCTV CONTROL OR DISPLAY EQUIPMENT
- PERIMETER CONTROL EQUIPMENT
- DURESS CONTROL EQUIPMENT
- DURESS ALARM RECEIVER
- OFFICER CONTROLLED COLLECT-ONLY PUBLIC TELEPHONE
- OFFICER CONTROLLED FIRE SPRINKLER (DELUGE) HEAD
- DUAL TECHNOLOGY VOLUMETRIC SENSOR
- LOCAL DOOR RELEASE BUTTON
- OFFICER CONTROLLED SHOWER WATER SUPPLY
- OFFICER CONTROLLED LIGHTING AND ELECTRICAL OUTLETS
- DOOR CONTACT
- CARD READER
- KEY PAD
- CLOSED CIRCUIT TELEVISION CAMERA
- ELECTRIC STRIKE

ONE LINE DIAGRAM

- MEDIUM VOLTAGE DRAWOUT CIRCUIT BREAKER
- LOW VOLTAGE DRAWOUT CIRCUIT BREAKER
- AF - AWP FRAME
- AT - AMP TRIP
- ED - ELECTRICALLY OPERATED
- MOLDED CASE CIRCUIT BREAKER
- ST - SHUNT TRIP
- GF - GROUND FAULT
- EO - ELECTRICALLY OPERATED
- DISCONNECT, ISOLATION OR SAFETY SWITCH
- FUSED CUTOUT
- FUSED LOAD BREAK SWITCH
- MEDIUM VOLTAGE MOTOR STARTER
- MAGNETIC MOTOR STARTER, NUMERAL INDICATES NEMA SIZE, FAN UNLESS OTHERWISE NOTED, FVR - FULL VOLTAGE ROTORING, RVAT - REDUCING VOLTAGE AUTO TRANSFORMER, 2S - TWO SPEED
- CAPACITOR
- VARIABLE FREQUENCY DRIVE
- POWER TRANSFORMER, OA - LIQUID TYPE SELF COOLED, MA - DRY TYPE SELF COOLED, FA - FAN COOLED CONNECTION
- SHIELDED ISOLATION TRANSFORMER
- POTENTIAL TRANSFORMER, RATIO, NUMBER REQUIRED
- CURRENT TRANSFORMER, RATIO, NUMBER REQUIRED
- GROUND FAULT CURRENT TRANSFORMER
- MOTOR, NUMBER INDICATES HORSEPOWER
- GENERATOR
- ATS - AUTOMATIC TRANSFER SWITCH, MTS - MANUAL TRANSFER SWITCH
- METER, A - AMMETER, V - VOLTMETER, W - WATTMETER, WH - WATT HOURMETER, KWH - KILOWATT HOUR, KVAR - KILOWATT METER, VAR - VAR METER, HZ - FREQUENCY METER, PF - POWER FACTOR METER
- DIGITAL POWER METER
- METER TRANSFER SWITCH, AS - AMMETER SWITCH, VS - VOLTMETER SWITCH
- TRANSIENT VOLTAGE SURGE SUPPRESSOR
- LIGHTNING ARRESTER
- KEY INTERLOCK
- FUSE
- ELECTRONIC POWER FUSE
- DRAWOUT DEVICE
- GROUND

ABBREVIATIONS

- AAMP AMPERE
- AFF ABOVE FINISHED FLOOR
- AFO ABOVE FINISHED GRADE
- AHJ AUTHORITY HAVING JURISDICTION
- AC AMPERE INTERRUPTING CAPACITY
- AWG AMERICAN WIRE GAUGE
- BFB BELOW FINISHED GRADE
- BOS BOTTOM OF STEEL
- C CONDUIT, CONDUCTOR
- CATV CABLE TELEVISION
- CB CIRCUIT BREAKER
- CCTV CLOSED CIRCUIT TELEVISION
- CPT CONTROL POWER TRANSFORMER
- CT CURRENT TRANSFORMER
- CU COPPER
- DACT DIGITAL ALARM COMMUNICATOR TRANSMITTER
- DB DIRECT BURIED
- DISO DISCONNECT
- DN DOWN
- EMT ELECTRICAL METALLIC TUBING
- EWC ELECTRIC WATER COOLER
- FAL FIRE ALARM ANNUNCIATOR
- FACP FIRE ALARM CONTROL PANEL
- FAD FURNISHED BY OTHERS
- FU FUSE
- FVE FURNISHED WITH EQUIPMENT
- GEN GENERATOR
- GFCI GROUND FAULT CIRCUIT INTERRUPTER
- GND GROUND
- HOR HORSEPOWER
- HTR HEATER
- IG ISOLATED GROUND
- IMC INTERMEDIATE METAL CONDUIT
- K KILO
- KCMIL THOUSAND CIRCULAR MILS
- KV KILOVOLT
- KVA KILOWATT-AMPERE
- KVAR KILOWATT AMPERE REACTIVE
- KWH KILOWATT-HOUR
- LA LIGHTNING ARRESTER
- LTO LIGHTING
- MC METAL CLAD
- MCB MAIN CIRCUIT BREAKER
- MFR MANUFACTURER
- IN IN
- MAN MAN LUG ONLY
- MAD MOUNTED
- MTD MEDIUM VOLTAGE
- NC NORMALLY CLOSED
- NEG NEGATIVE
- NEO NATIONAL ELECTRICAL CODE
- NEUT NEUTRAL
- NI NOT IN CONTRACT
- NO NORMALLY OPEN
- NOT NOT TO SCALE
- PF POWER FACTOR
- PH PHASE
- PVC POLYVINYL CHLORIDE
- RGS RIGID STEEL CONDUIT
- RSD RIGID STEEL CONDUIT
- RTD RESISTANCE TEMPERATURE DETECTOR
- SN SOLID NEUTRAL
- STP SHIELDED TWISTED PAIR
- SWR SWITCHBOARD
- TOS TOP OF STEEL
- TRANS TRANSFORMER
- TVSS TRANSIENT VOLTAGE SURGE SUPPRESSOR
- V VOLT
- VA VOLT-AMPERE
- VAR VOLT-AMPERE REACTIVE
- WM WATT METER
- WP WEATHER PROOF
- XFMR TRANSFORMER
- XP EXPLOSION PROOF

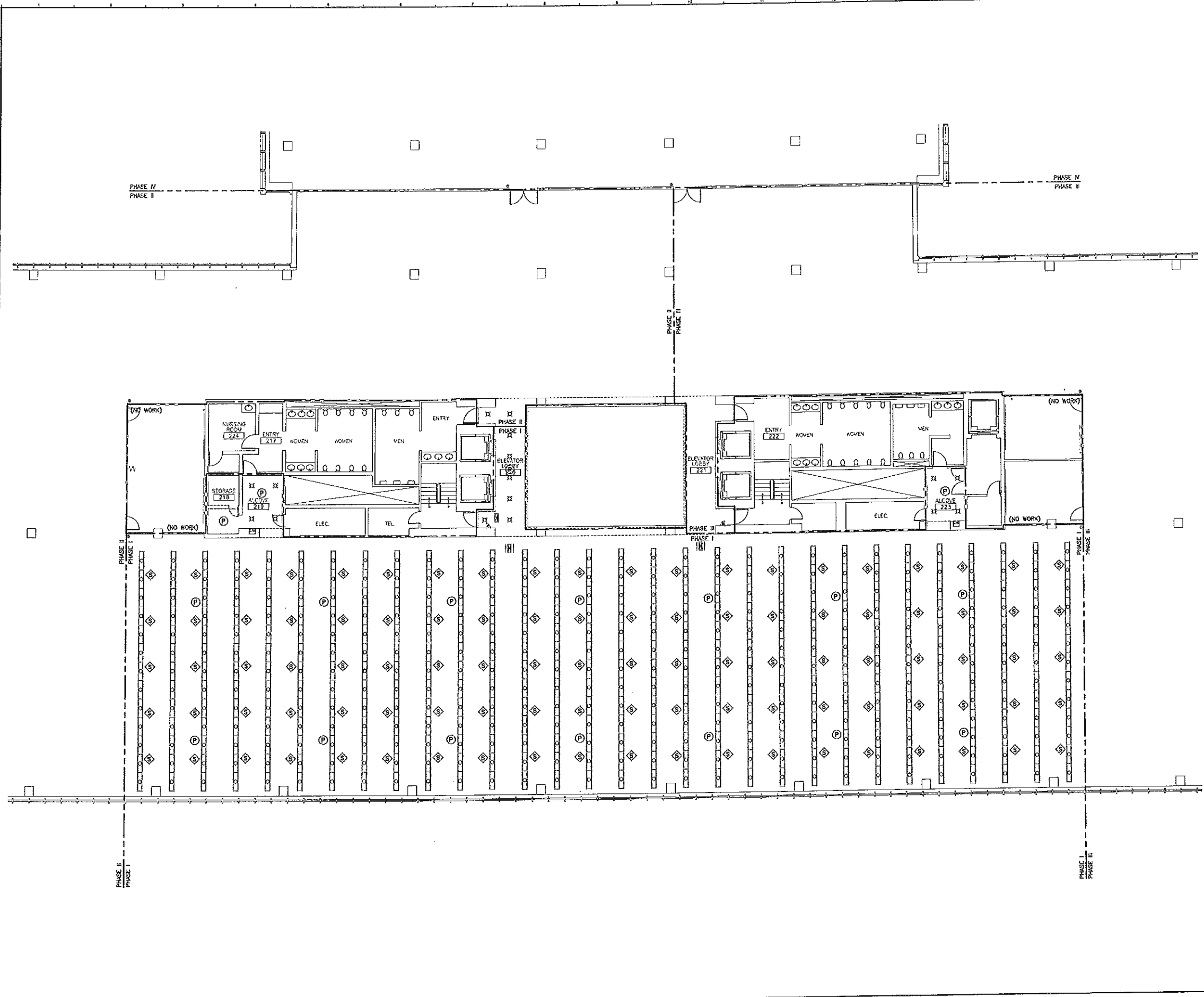
GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA-70, NATIONAL ELECTRICAL CODE (NEC).
2. ALL MOTOR SAFETY SWITCHES, DISCONNECTS AND MOTOR STARTERS ARE PROVIDED BY DIVISION 16000 UNLESS NOTED AS FURNISHED WITH EQUIPMENT (FWE).
3. UNLESS OTHERWISE NOTED CONVENIENCE RECEPTACLES SHALL BE MOUNTED 18-INCHES AFF, LIGHTING TOGGLE SWITCHES 48-INCHES AFF, DATA SYSTEM OUTLETS 18-INCHES AFF, FIRE ALARM NOTIFICATION DEVICES 60-INCHES AFF OR 8-INCHES BELOW CEILING, WHICHEVER IS LOWER, AND FIRE ALARM MANUAL PULL STATIONS 48-INCHES AFF TO TOP OF DEVICE.
4. ALL PENETRATIONS THROUGH FLOORS, RATED WALLS AND PARTITIONS SHALL BE SEALED WITH UL APPROVED FIRE RESISTANT MATERIAL TO MAINTAIN THE RATING OF THE SEPARATION.
5. ALL ENCLOSURES, CONDUIT BODIES AND THEIR COVERS CONTAINING FIRE ALARM SYSTEM CONDUCTORS SHALL BE PAINTED RED.
6. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH EVERY FEEDER AND BRANCH CIRCUIT.
7. UNLESS OTHERWISE NOTED WIRING SHALL BE #12 AWG CONDUCTORS & #12 GND. HOME RUNS FED FROM 20A-1P CIRCUITS IN EXCESS OF 100 FEET SHALL BE #10 AWG.
8. FLEXIBLE CONNECTIONS TO MOTORS SHALL BE LIQUID TIGHT FLEXIBLE METAL CONDUIT, UNLESS OTHERWISE NOTED.
9. LIGHTING TOGGLE SWITCHES SHALL BE COMMERCIAL SPECIFICATION GRADE 120/277 VOLT, SIDE WIRED AND PROVIDED WITH GROUNDING SCREW, LEVITON, PASS AND SEYMOUR OR APPROVED EQUAL. COORDINATE COLOR WITH ARCHITECT.
10. CONVENIENCE RECEPTACLES SHALL BE COMMERCIAL SPECIFICATION GRADE GROUND TYPE NEMA 5-20R, SIDE WIRED, LEVITON, PASS AND SEYMOUR OR APPROVED EQUAL. COORDINATE COLOR WITH ARCHITECT.
11. PROVIDE WALL PLATES FOR ALL WIRING DEVICES, NYLON SMOOTH TYPE IN FINISHED AREAS AND GALVANIZED IN UNFINISHED AREAS.
12. ALL WIRING SHALL BE 600V, COPPER WITH TH-3V/THAN INSULATION.
13. PROVIDE UPDATED TYPED PANEL SCHEDULES FOR ALL PANELBOARDS BEING MODIFIED.

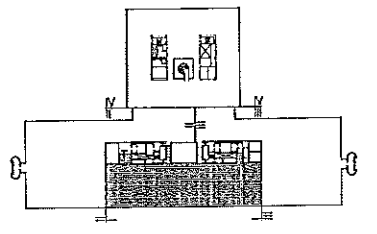
TYPE	DESCRIPTION	WFR	LAMPS	MOUNTING	NOTES
A	4" DIRECT/INDIRECT FIXTURE W/ 3" PROFILE, FIXTURES TO HAVE ROUNDED ENDCAP. 277V	FANELITE SERIES 5	1-F5415 HO 3500K	AIR CRAFT CABLE	MOUNT 7'-9" AFF.
B	2x4 PARABOLIC TROFFER W/ SEM-SPECULAR REFLECTOR, 24 CELL, 3" DEEP LOUVER. 277V	COLUMBA P424 SERIES	3-F3218 3500K	RECESSED	PROVIDE FOR DUAL LEVEL SWITCHING.
C	NOT USED				
D	8" ROUND APERTURE DOWNLIGHT W/ CLEAR ALZAK REFLECTOR. 277V	PRESCOLITE OFRB SERIES	2-28W QUAD TUBE	RECESSED	
ES	EXIT SIGN WITH BRUSHED ALUMINUM FACE & GREEN LETTERING.	DUALITE SEMPRA SERIES	LED	CEILING OR WALL	

GENERAL NOTE
 1. ALL GENERAL NOTES, SYMBOL LISTS, AND DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL ELECTRICAL DRAWINGS FOR THIS PROJECT. SYMBOLS AND ABBREVIATIONS SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY AND DO NOT INDICATE THEIR INCORPORATION IN THE DESIGN.

F18 KEY PLAN	
HOT TO SCALE	
0	ISSUED FOR CONSTRUCTION 1-28-04
REV.	DESCRIPTION DATE
ISSUED FOR CONSTRUCTION 1-28-04	
CURRENT ISSUE STATUS:	
SMRT ARCHITECTURE ENGINEERING PLANNING 144 Fore Street/7th Fl. Box 618 Portland, Maine 04104 Tel. (207) 772-3846 Fax. (207) 772-1270	
UNUMPROVIDENT HO-1	
2nd FLOOR OFFICE RENOVATIONS	
PORTLAND, ME.	
LEGEND, GENERAL NOTES & LIGHTING FIXTURE SCHEDULE	
SHEET TITLE:	NOT TO SCALE DATE: 1-28-04
PROJECT MANAGER: JLM	GRAPHIC SCALE: 0" = 1'
JOB CAP/DRAWN: CEB/BOG	
A/E OF RECORD: DJT	SHEET No.
SMRT CAD FILE: E-031-03100-0	E-001
PROJECT No. 03100-01	



- NOTES:**
- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 - REMOVAL OF EQUIPMENT & DEVICES TO INCLUDE REMOVAL OF ALL CONDUIT & WIRING BACK TO SOURCE UNLESS NOTED OTHERWISE.
 - REMOVE SPEAKERS FOR WHITE NOISE SYSTEM TO ALLOW FOR CEILING GRID REPLACEMENT. RE-INSTALL AT LOCATIONS SHOWN ON EY101.
 - REMOVE FLENUM RATED CABLE FOR SMOKE DETECTORS AND SMOKE DETECTORS TO ALLOW CEILING GRID REPLACEMENT. RE-INSTALL AT LOCATIONS SHOWN ON EY101.



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

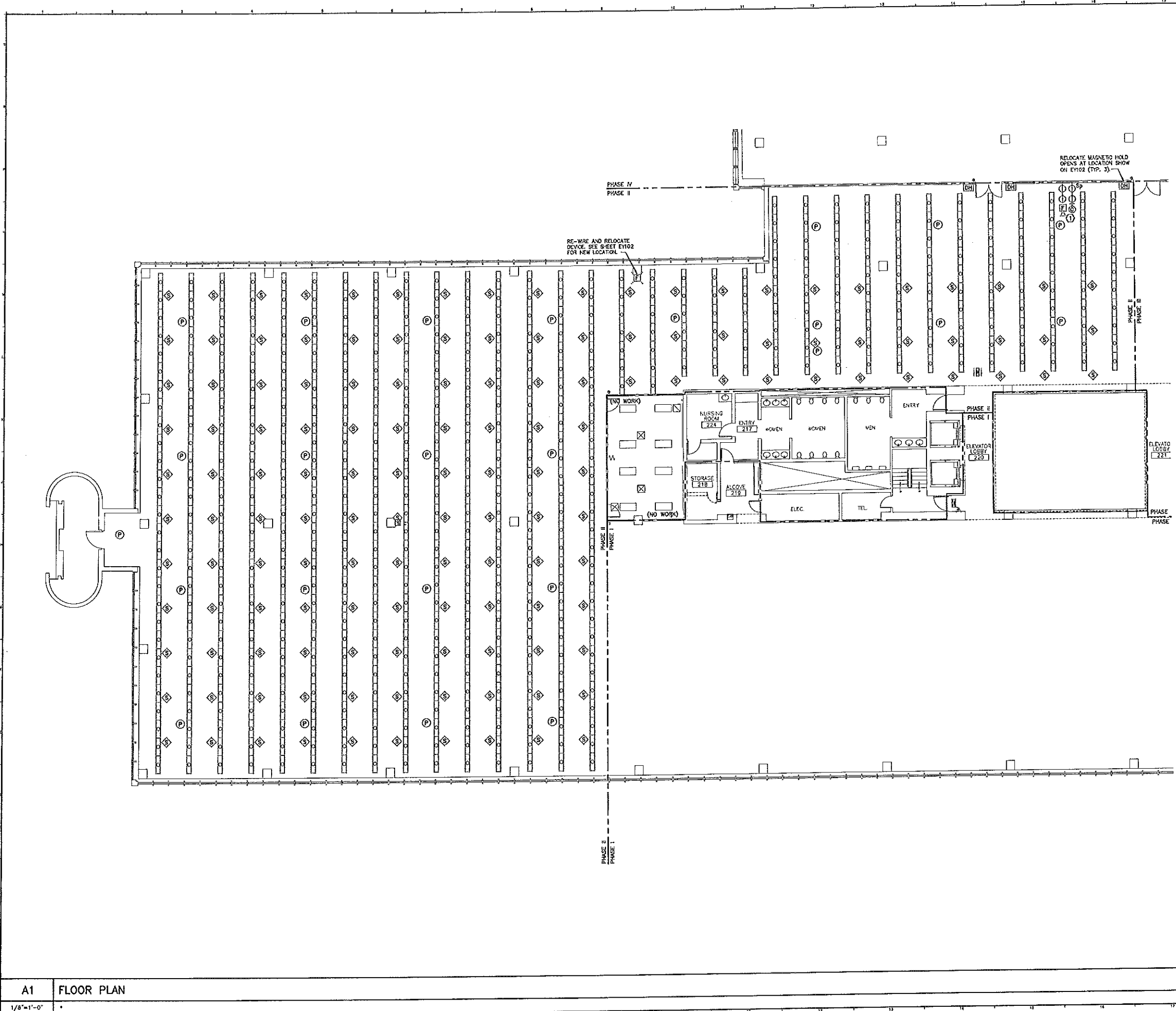
SMRT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, P.O. Box 418
 Portland, Maine 04104
 Tel: (207) 772-3545
 Fax: (207) 772-1320

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

PHASE I ELECTRICAL DEMOLITION PLAN	
SHEET TITLE:	1-28-04
SCALE: 1/8"=1'-0"	DATE: 1-28-04
PROJECT MANAGER: JLM	GRAPHIC SCALE: 0"
JOB CAP/DRAWN: CEB/BRG	
A/E OF RECORD: DJT	SHEET No. ED101
SMART CAD FILE: ED101-03100-01	
PROJECT No. 03100-01	

A1 REFLECTED CEILING DEMOLITION PLAN -- PHASE I

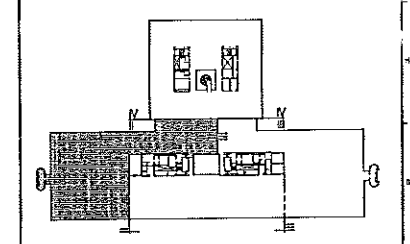
1/8"=1'-0"



- NOTES:**
1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 2. REMOVAL OF EQUIPMENT & DEVICES TO INCLUDE REMOVAL OF ALL CONDUIT & WIRING BACK TO SOURCE UNLESS NOTED OTHERWISE.
 3. REMOVE SPEAKERS FOR WHITE NOISE SYSTEM TO ALLOW FOR CEILING GRID REPLACEMENT. RE-INSTALL AT LOCATIONS SHOWN ON EY102.
 4. REMOVE PLENUM RATED CABLE FOR SMOKE DETECTORS AND SMOKE DETECTORS TO ALLOW CEILING GRID REPLACEMENT. RE-INSTALL AT LOCATIONS SHOWN ON EY102.

KEYED NOTE:

① RELOCATE CLOCK AND FIRE ALARM NOTIFICATION DEVICE AT LOCATIONS SHOWN ON EY102.



F18 KEY PLAN
NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION 1-28-04

CURRENT ISSUE STATUS:

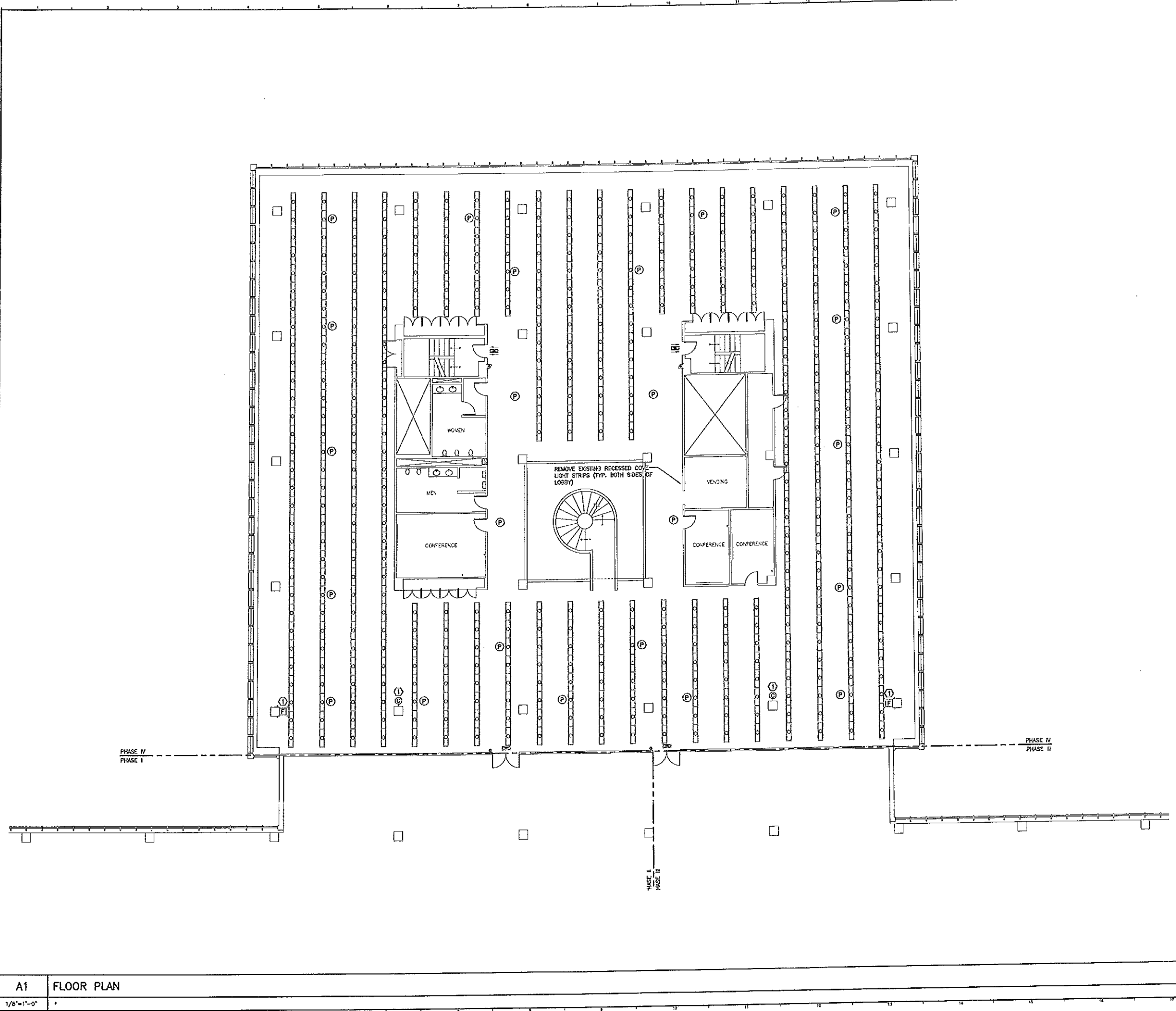
PROJECT NORTH

SM RT ARCHITECTURE ENGINEERING PLANNING
144 Fore Street, P.O. Box 418
Portland, Maine 04104
tel. (207) 778-8646
fax. (207) 778-1070

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

PHASE II ELECTRICAL DEMOLITION PLAN	
SHEET TITLE:	1-28-04
SCALE: 1/8"=1'-0"	DATE:
PROJECT MANAGER: J.H.	GRAPHIC SCALE: 0"
JOB CAP/DRAWN: CEJ/BGG	SHEET No.
A/E OF RECORD: DJT	ED102
SMRT CAD FILE: ED102-03100-0	PROJECT No. 03100-01

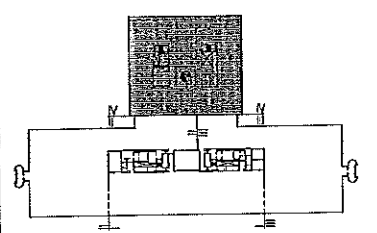
A1 FLOOR PLAN
1/8"=1'-0"



- NOTES:**
1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 2. REMOVAL OF EQUIPMENT & DEVICES TO INCLUDE REMOVAL OF ALL CONDUIT & WIRING BACK TO SOURCE UNLESS NOTED OTHERWISE.
 3. REMOVE PLENUM RATED CABLE FOR SMOKE DETECTORS AND SMOKE DETECTORS TO ALLOW CEILING GRID REPLACEMENT. RE-INSTALL AT LOCATIONS SHOWN ON EY104.

KEYED NOTE:

① RELOCATE CLOCKS AND FIRE ALARM NOTIFICATION DEVICES AT LOCATIONS SHOWN ON EY104.



F18		KEY PLAN
NOT TO SCALE		
0	ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

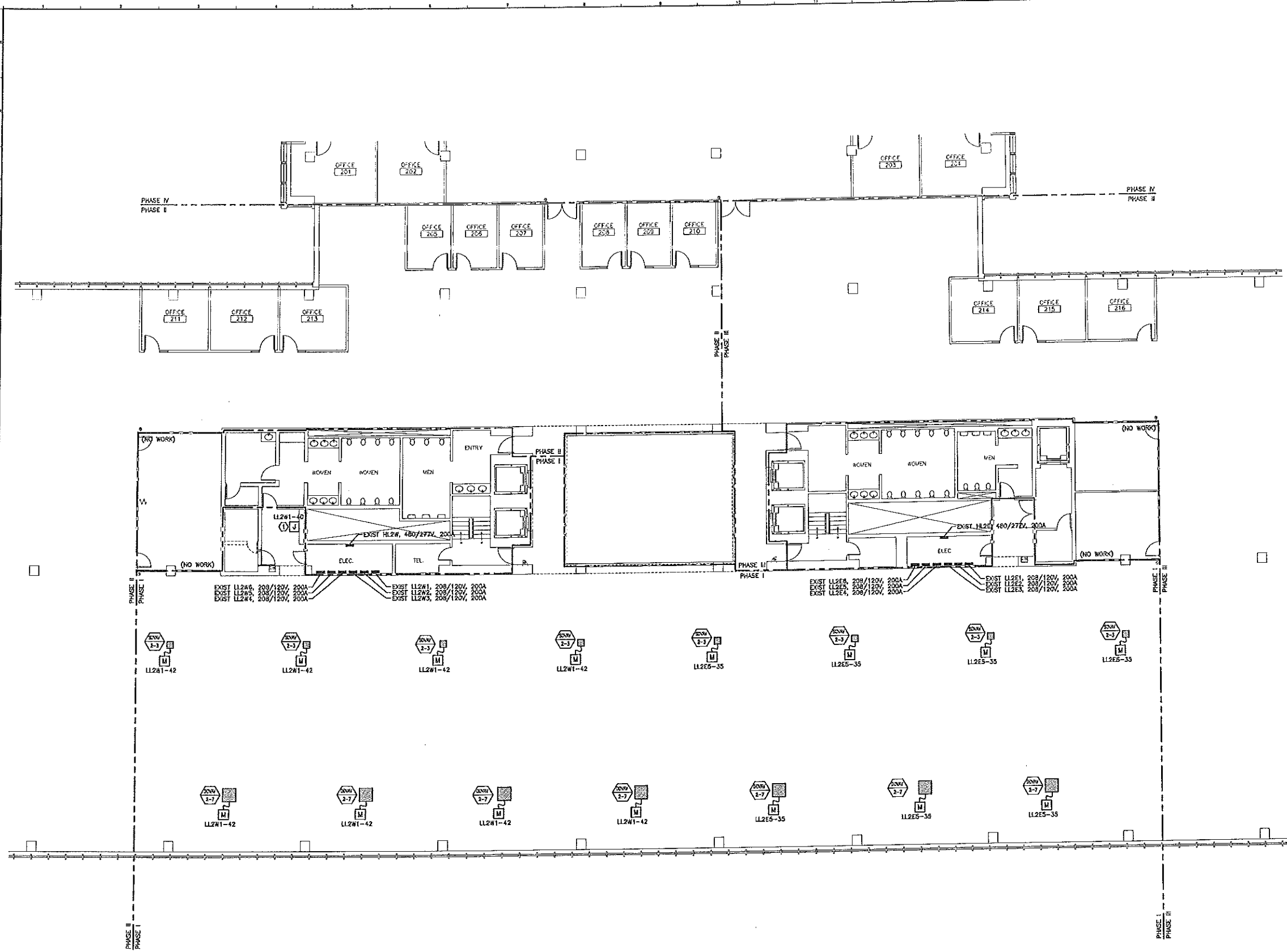


SMRT ARCHITECTURE ENGINEERING PLANNING
 SHEET
 144 Fore Street, 7th Fl., Box 618
 Portland, Maine 04104
 Tel. (207) 777-3646
 Fax. (207) 777-1020

UNUMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

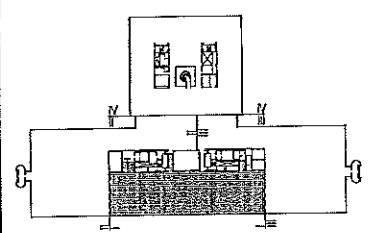
PROJECT:		PHASE IV ELECTRICAL DEMOLITION PLAN
SHEET TITLE:	1/8"=1'-0"	DATE: 1-28-04
PROJECT MANAGER:	JLM	GRAPHIC SCALE:
JOB CAP/DRAWN:	CEB/BGG	
A/E OF RECORD:	DJT	SHEET No.
SWRT CAD FILE:	ED104-03100-01	ED104
PROJECT No.:	03100-01	

A1 FLOOR PLAN
1/8"=1'-0"



NOTE:
1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.

KEYED NOTE:
① PROVIDE POWER FOR ELECTRIC WATER COOLER. COORDINATE WITH PLUMBING CONTRACTOR FOR EXACT LOCATION OF ELECTRICAL CONNECTION.



F18 KEY PLAN

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ISSUED FOR CONSTRUCTION 1-28-04

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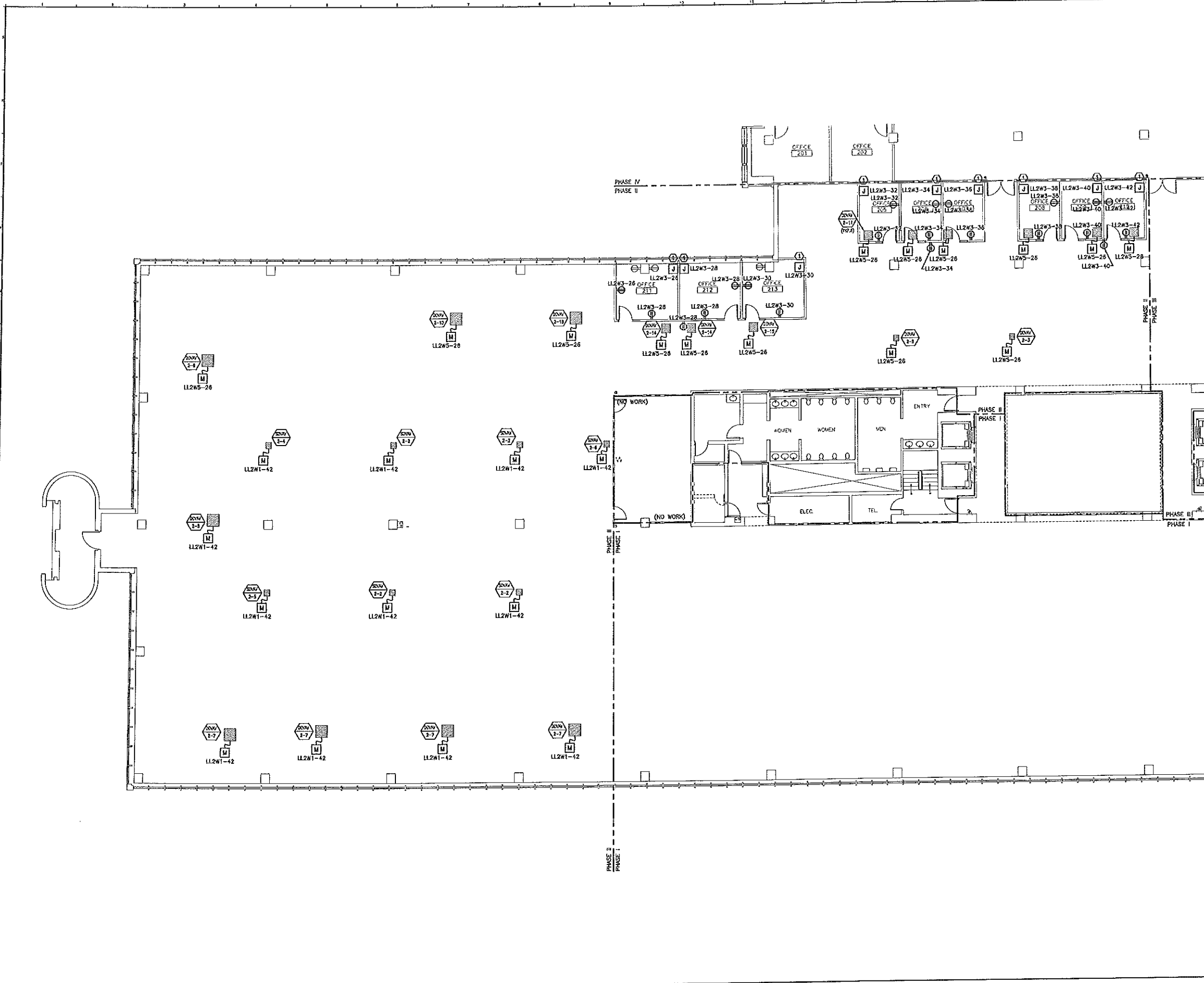
PROJECT NORTH

SMRT ARCHITECTURE ENGINEERING PLANNING
 SHEET
 144 Fore Street/P.O. Box 618
 Portland, Maine 04104
 Tel. (207) 772-3646
 Fax. (207) 772-1270

UNUMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

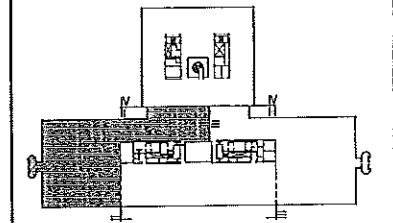
PHASE I POWER PLAN	
SHEET TITLE:	DATE: 1-28-04
SCALE: 1/8"=1'-0"	GRAPHIC SCALE: 0"
PROJECT MANAGER: JHM	
JOB CAP/DRAWN: CEB/B90	
A/E OF RECORD: DJT	SHEET No.
PROJECT No. 03100-01	EP101

A1 FLOOR PLAN
 1/8"=1'-0"



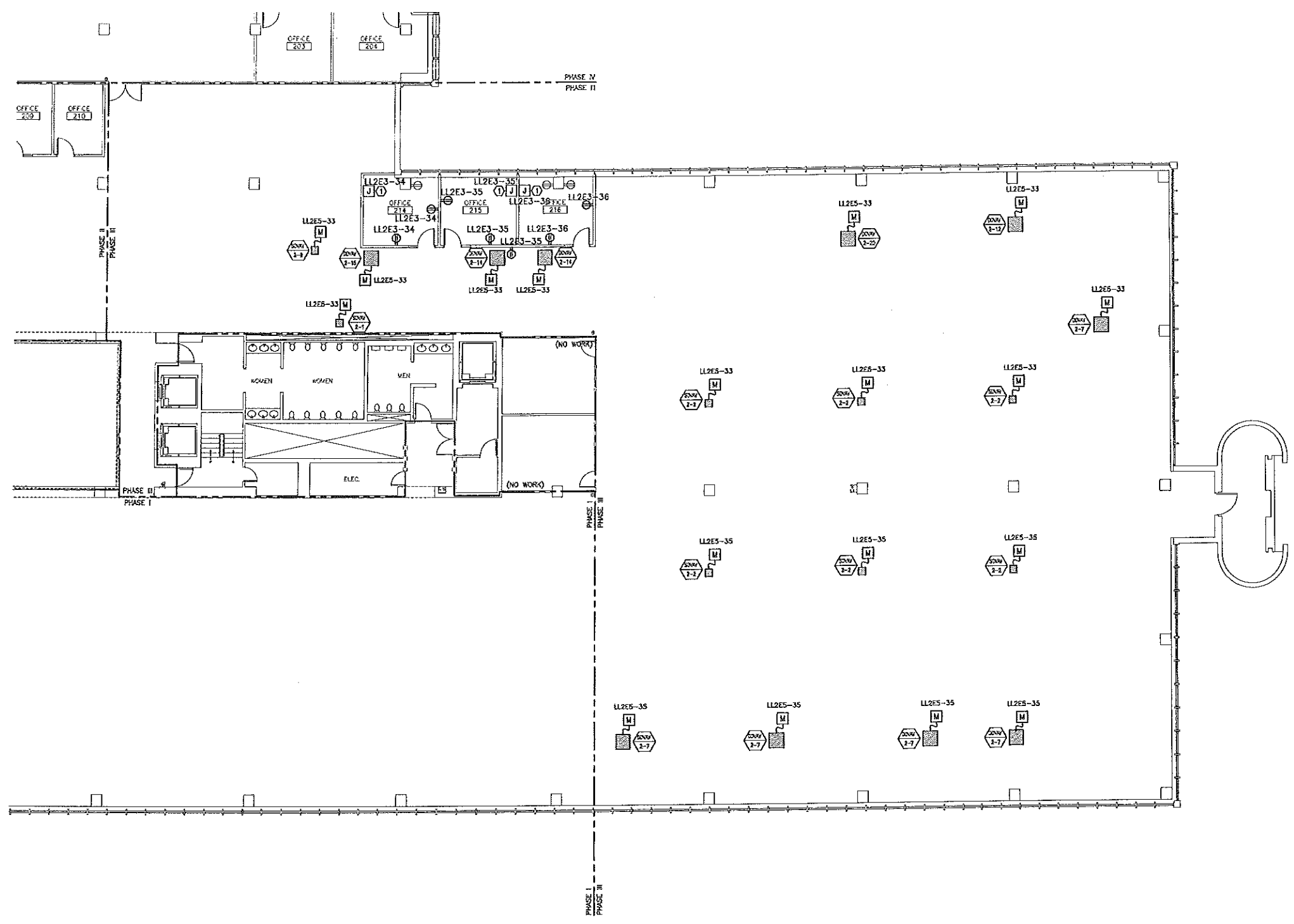
NOTE:
 1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 2. SEE SHEET ED101 FOR LOCATION OF PANELBOARDS LL2W1, LL2W3 & LL2W5.

KEYED NOTE:
 (1) PROVIDE DOUBLE GANG BOX AND WHP FOR MODULAR FURNITURE FEED. WIRING TO BE 2 #12 AWG #12 GND.

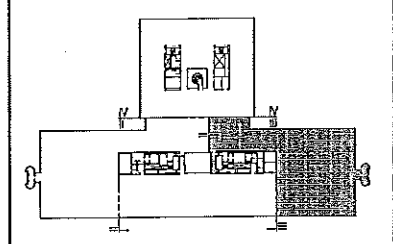


F18 KEY PLAN	
NOT TO SCALE	
0	ISSUED FOR CONSTRUCTION 1-28-04
REV.	DESCRIPTION DATE
ISSUED FOR CONSTRUCTION 1-28-04	
CURRENT ISSUE STATUS:	
PROJECT NORTH	STATE OF MAINE PROFESSIONAL ENGINEER NO. 9938
SM RT	ARCHITECTURE ENGINEERING PLANNING
5417 144 Fore Street/F.O. Box 618 Portland, Maine 04104 tel. (207) 772-3146 fax. (207) 772-1070	
UNIMPROVIDENT HO-1	
2nd FLOOR OFFICE RENOVATIONS	
PORTLAND, ME.	
PHASE II	
POWER PLAN	
SHEET TITLE:	1-28-04
SCALE: 1/8"=1'-0"	DATE: 1-28-04
PROJECT MANAGER: JH	GRAPHIC SCALE: 0" = 10'
JOB CAP/DRAWN: CEB/BDD	
A/E OF RECORD: DJT	SHEET NO. EP102
SMRT CAD FILE: EP102-03100-0	
PROJECT No. 03100-01	

A1 FLOOR PLAN
 1/8"=1'-0"



NOTE:
 1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 2. SEE SHEET EP101 FOR LOCATION OF PANELBOARDS LL2E3 & LL2E5.



F18 KEY PLAN

NOT TO SCALE

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 1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

STATE OF MAINE
 DANIEL J. PISSETTS
 NO. 6838
 REGISTERED PROFESSIONAL ENGINEER

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 tel. (207) 772-3846
 fax. (207) 772-1570

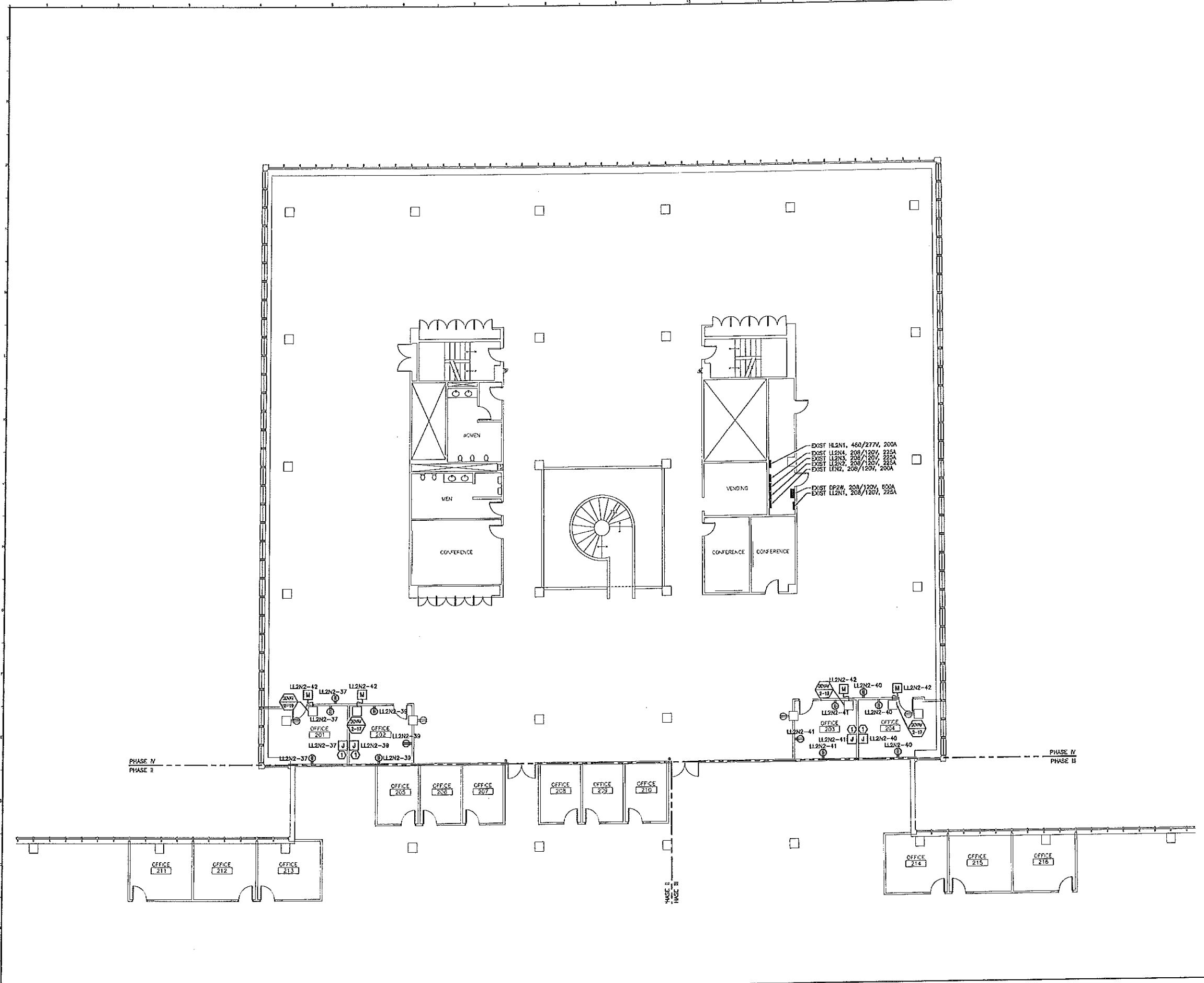
UNUMPROVIDENT HO-1
 2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

**PHASE III
 POWER PLAN**

SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
SCALE:	1/8"=1'-0"	DATE:	1-28-04
PROJECT MANAGER:	JEH	GRAPHIC SCALE:	0'
JOB CAP/DRAWN:	CEB/BGG		
A/E OF RECORD:	DJT	SHEET No.	
SVRT CAD FILE:	EP103-03100-0		
PROJECT No.	03100-01		

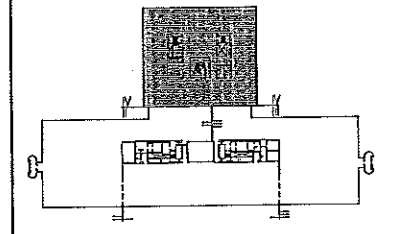
A1 FLOOR PLAN
 1/8"=1'-0"

EP103



NOTE:
1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.

KEYED NOTE:
① PROVIDE DOUBLE GAND BOX AND WISP FOR MODULAR FURNITURE FEED. WIRING TO BE 2 #12 AWG & #12 GND.



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:



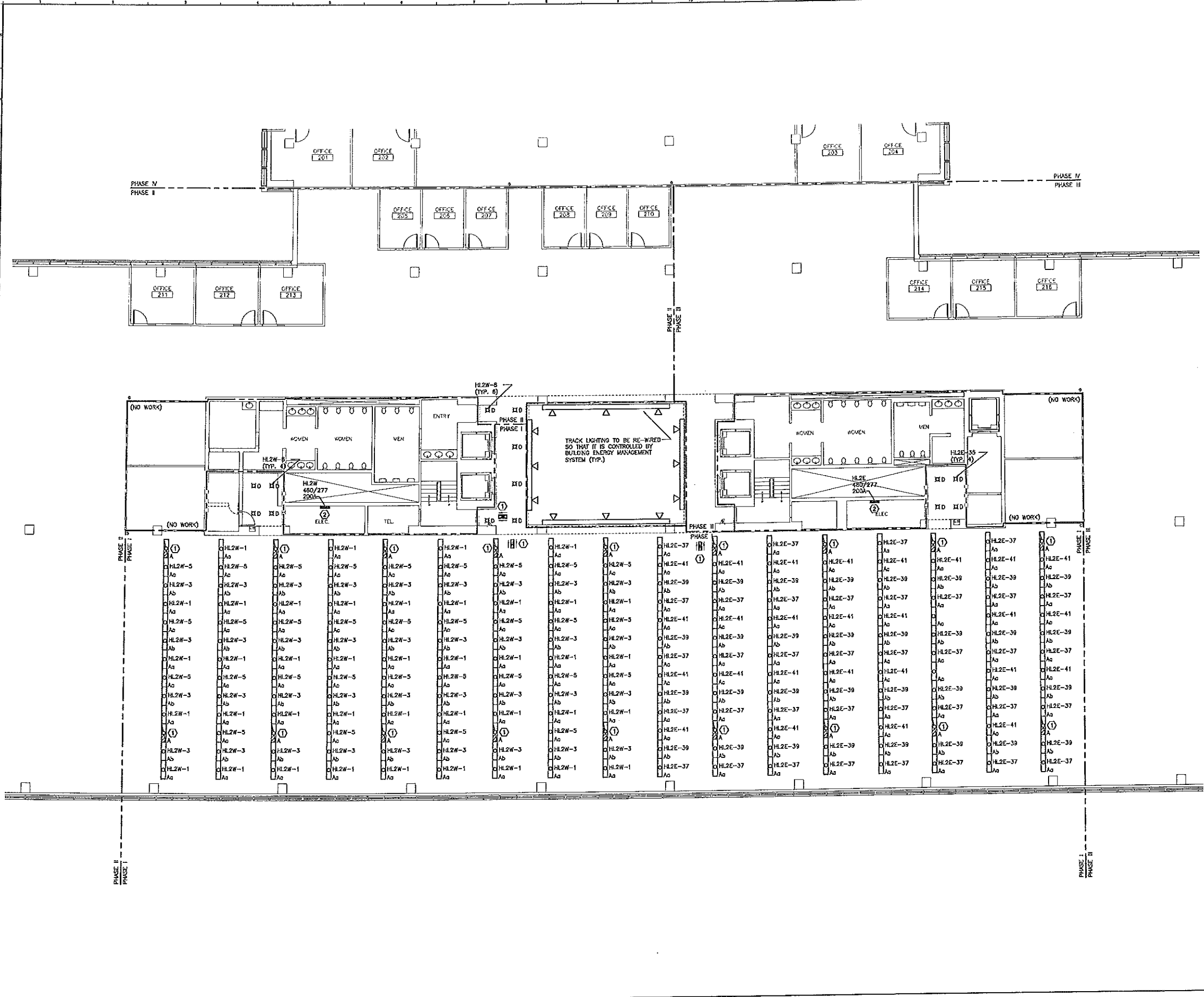
SMRT ARCHITECTURE ENGINEERING PLANNING
144 Fore Street, 3rd. Box 618
Portland, Maine 04104
Tel. (207) 772-3848
Fax. (207) 772-1070

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

PHASE IV POWER PLAN

SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
SCALE:		PROJECT MANAGER:	JLH
		GRAPHIC SCALE:	0'
		JOB CAP/DRAWN:	CEB/BGG
		A/E OF RECORD:	DJT
		SVRT CAD FILE:	EP104-03100-01
		PROJECT No.	03100-01
		SHEET No.	EP104

A1 FLOOR PLAN
1/8"=1'-0"

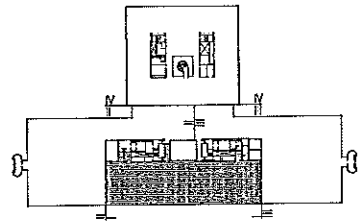


NOTES:

- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
- LIGHTS IN OPEN OFFICE TO BE CONTROLLED (SWITCHED) BY ANDOVER CONTROL SYSTEM. EACH BRANCH CIRCUIT TO BE CONTROLLED AS A SEPARATE ZONE AND BE WIRED SO THAT EVERY THIRD 4' SECTION TO SWITCH SEPARATELY TO ALLOW FOR THREE DIFFERENT LIGHT LEVELS.

KEYED NOTE:

- RE-USE EXISTING EMERGENCY LIGHTING BRANCH IN OPEN OFFICE AREA TO FEED NEW EMERGENCY LIGHTS AND EXIT SIGNS SIGN. NO EMERGENCY LIGHTING BRANCH CIRCUIT SHALL FEED MORE THAN FIFTY LIGHTS. FIELD VERIFY CIRCUIT NUMBER USED AND INDICATE ON RECORD DRAWINGS.
- USE 20 AMP, SINGLE POLE SPARE CIRCUIT BREAKERS IN EXISTING SQUARE D PANELBOARD TO FEED NEW LIGHTING AS INDICATED.



F18 KEY PLAN

NOT TO SCALE	
ISSUED FOR CONSTRUCTION	1-28-04
REV.	DESCRIPTION DATE

ISSUED FOR CONSTRUCTION
1-28-04

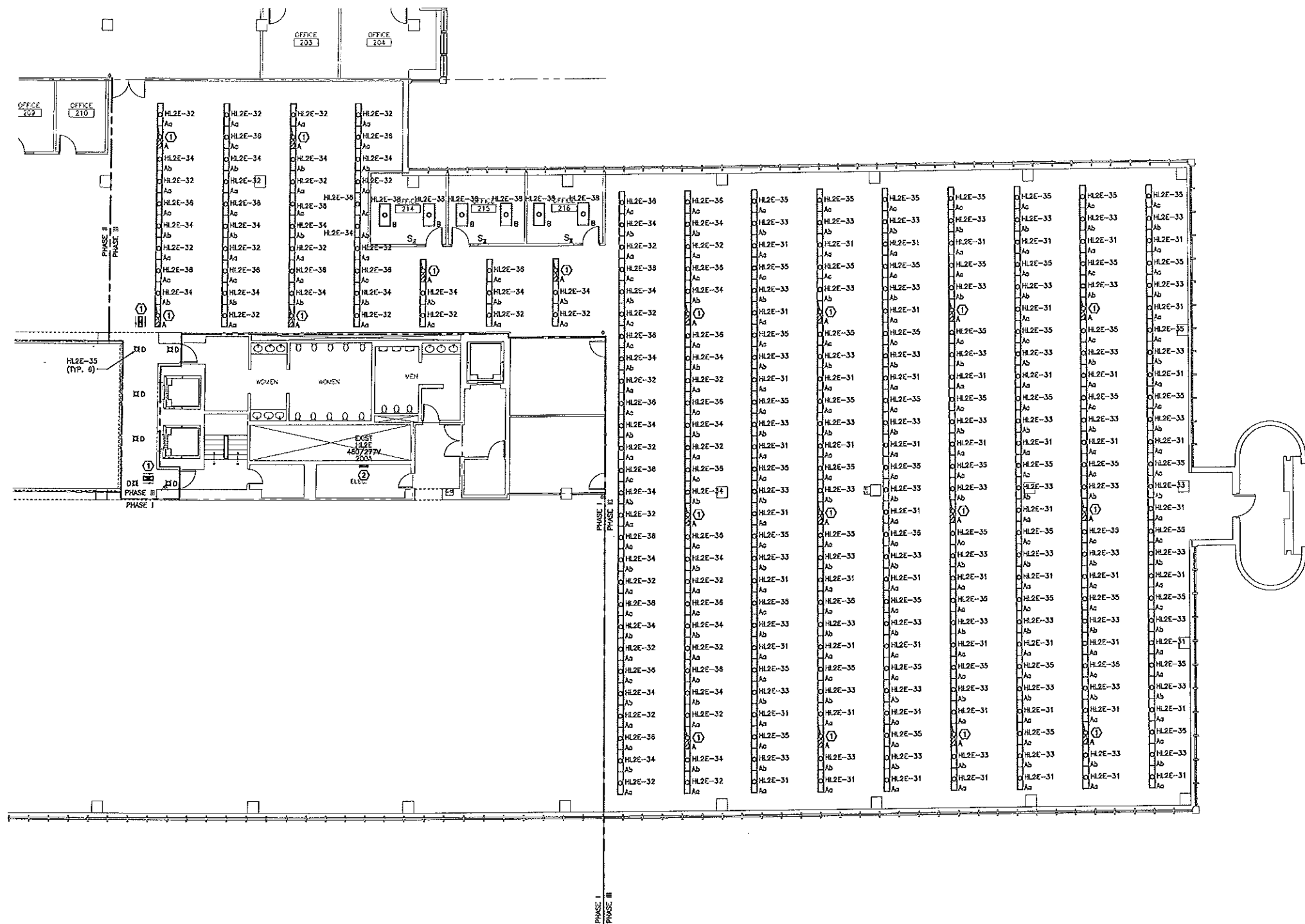


SMRT ARCHITECTURE ENGINEERING PLANNING
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Portland, Maine 04104
Tel. (207) 772-3446
Fax. (207) 772-3270

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

PHASE I LIGHTING PLAN	
SHEET TITLE:	DATE: 1-28-04
SCALE: 1/8"=1'-0"	PROJECT MANAGER: JHJ
JOB CAP/DRAWN: CER/BOG	GRAPHIC SCALE: 0' 1'
A/E OF RECORD: DJT	SHEET No. EL101
SMRT CAD FILE: EL101-03100-0	PROJECT No. 03100-01

A1 FLOOR PLAN
1/8"=1'-0"

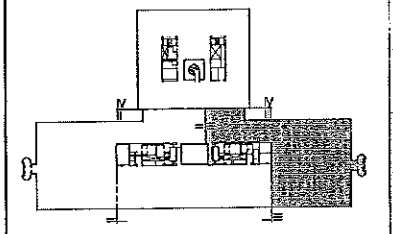


NOTES:

- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
- LIGHTS TO BE CONTROLLED (SWITCHED) BY ANDOVER CONTROL SYSTEM. EACH BRANCH CIRCUIT TO BE CONTROLLED AS A SEPARATE ZONE AND BE WIRED SO THAT EVERY THIRD 4' SECTION TO SWITCH SEPARATELY TO ALLOW FOR THREE DIFFERENT LIGHT LEVELS.

KEYED NOTE:

- RE-USE EXISTING EMERGENCY LIGHTING BRANCH IN OPEN OFFICE AREA TO FEED NEW EMERGENCY LIGHTS AND EXIT SIGNS 500'. NO EMERGENCY LIGHTING BRANCH CIRCUIT SHALL FEED MORE THAN FIFTY LIGHTS. FIELD VERIFY CIRCUIT NUMBER USED AND INDICATE ON RECORD DRAWINGS.
- USE 20 AMP, SINGLE POLE SPARE CIRCUIT BREAKERS IN EXISTING SQUARE D PANELBOARD TO FEED NEW LIGHTING AS INDICATED.



F18 KEY PLAN

NOT TO SCALE	
0	ISSUED FOR CONSTRUCTION 1-28-04
REV.	DESCRIPTION DATE

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1-28-04

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PROJECT NORTH

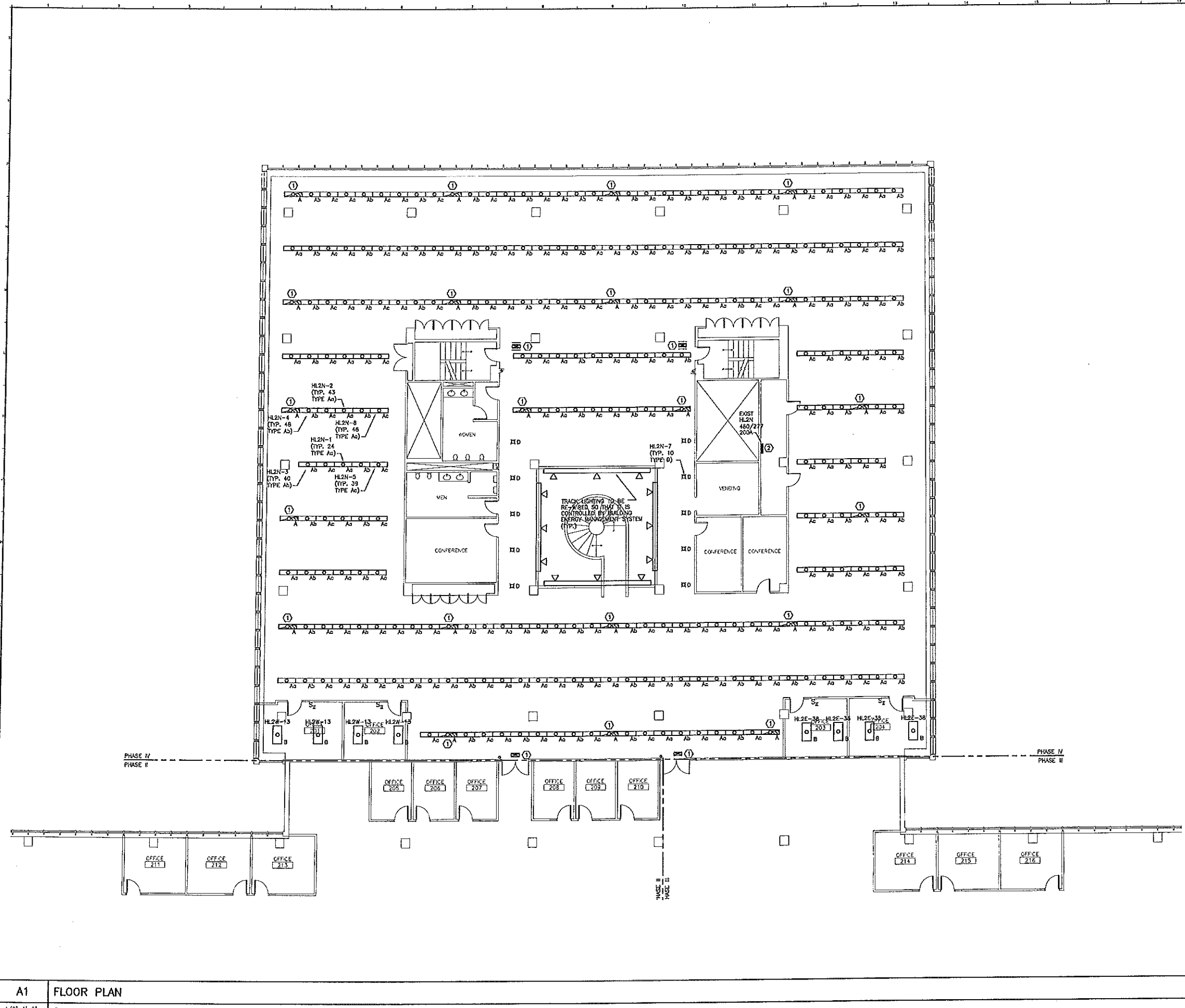
SM RT ARCHITECTURE ENGINEERING PLANNING
144 Fore Street, Box 418
Portland, Maine 04104
Tel. (207) 777-1846
Fax. (207) 777-1872

UNIMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.

PHASE III LIGHTING PLAN

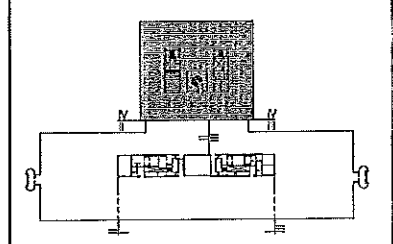
SHEET TITLE:	SCALE: 1/8"=1'-0"	DATE: 1-28-04
PROJECT MANAGER: JH	JOB CAP/DRAWN: CEB/BGG	GRAPHIC SCALE: 0"
A/E OF RECORD: DJT	SMRT CAD FILE: EL103-03100-01	SHEET No. EL103
PROJECT No. 03100-01		

A1 FLOOR PLAN
1/8"=1'-0"



- NOTES:**
- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 - LIGHTS IN OPEN OFFICE TO BE CONTROLLED (SWITCHED) BY AN OVERHEAD CONTROL SYSTEM. EACH BRANCH CIRCUIT TO BE CONTROLLED AS A SEPARATE ZONE AND BE WIRED SO THAT EVERY THIRD 4' SECTION TO SWITCH SEPARATELY TO ALLOW FOR THREE DIFFERENT LIGHT LEVELS.
 - FEED FIVE NORTH MOST ROWS FROM HL2N-2, 4 AND 6 AND REMAINING SIX ROWS FROM HL2N-1, 3 AND 5.

- KEYED NOTE:**
- RE-USE EXISTING EMERGENCY LIGHTING BRANCH IN OPEN OFFICE AREA TO FEED NEW EMERGENCY LIGHTS AND EXIT SIGNS. NO EMERGENCY LIGHTING BRANCH CIRCUIT SHALL FEED MORE THAN FIFTY LIGHTS. FIELD VERIFY CIRCUIT NUMBER USED AND INDICATE ON RECORD DRAWINGS.
 - REMOVE EXISTING PANELBOARD AND REPLACE WITH NEW SQUARE D PANELBOARD. PROVIDE 42 20 AMP, SINGLE POLE BREAKERS, RECONNECT FEEDER AND ANY REMAINING EQUIPMENT OR BRANCH CIRCUITS TO NEW PANELBOARD.



F18 KEY PLAN
NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	1-28-04

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

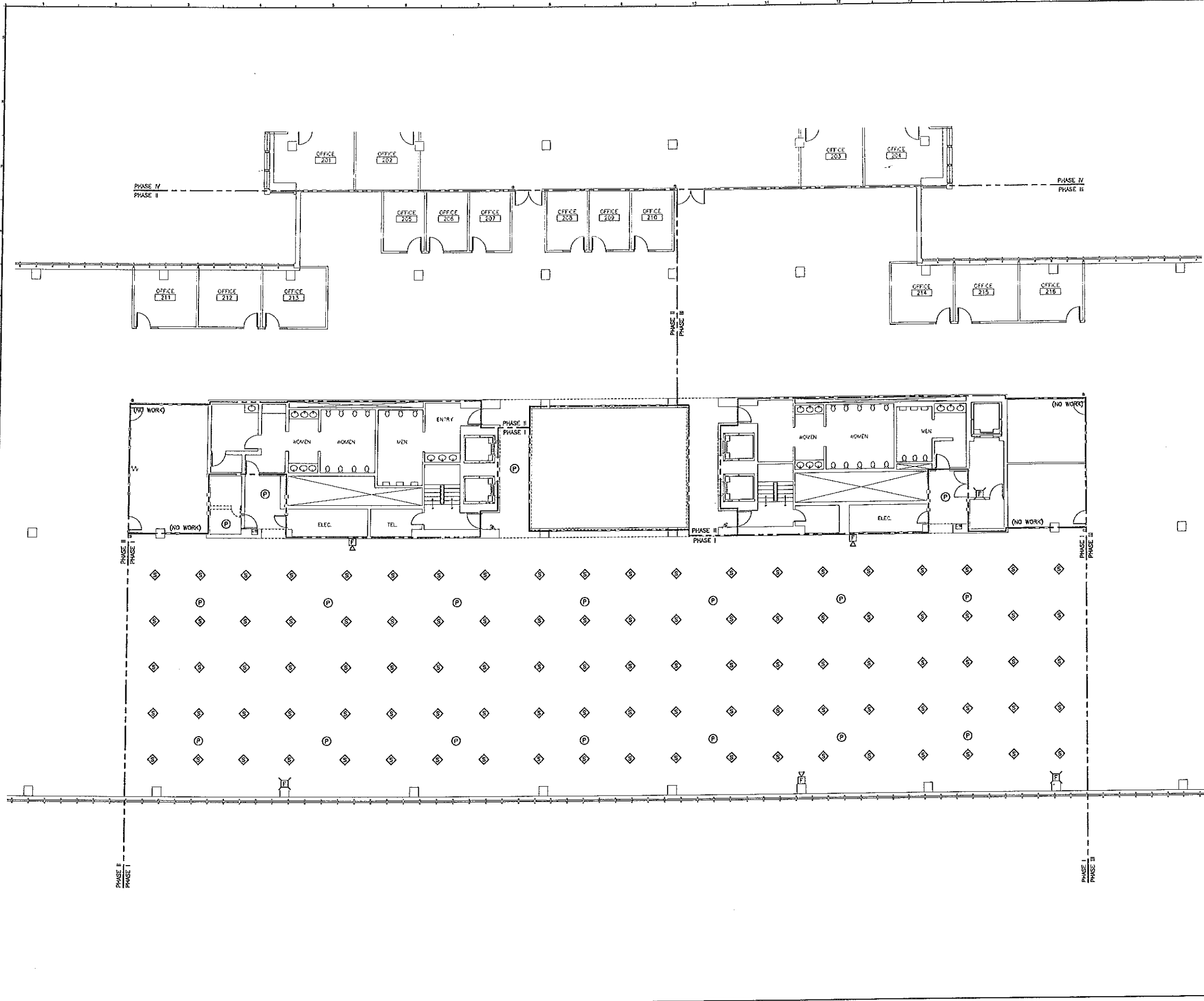
SM RT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, 2nd Fl., Box 418
 Portland, ME 04104
 Tel. (207) 772-1046
 Fax. (207) 772-6379

UNIMPROVED HO-1
2nd FLOOR OFFICE RENOVATIONS
 PORTLAND, ME.

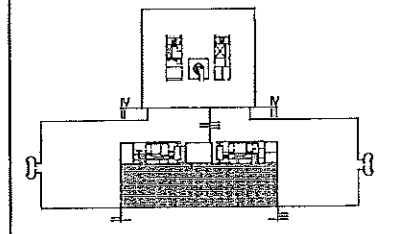
PHASE IV LIGHTING PLAN

SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
SCALE:	1/8"=1'-0"	PROJECT MANAGER:	JLH
PROJECT MANAGER:	JLH	GRAPHIC SCALE:	0"
JOB CAP/DRWNS:	CEB/BGG	A/E OF RECORD:	DJT
SMRT CAD FILE:	EL104-03100-03	SHEET No.:	EL104
PROJECT No.:	03100-01		

A1 FLOOR PLAN
1/8"=1'-0"



- NOTE:**
1. SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 2. RELOCATE SMOKE DETECTORS AT LOCATIONS SHOWN. PROVIDE NEW WIRING FOR SMOKE DETECTORS. NEW WIRING TO BE UL LISTED FIRE ALARM MC CABLE. EXISTING PLENUM RATED CABLE TO BE REMOVED.
 3. REWIRE EXISTING FIRE ALARM NOTIFICATION DEVICES SHOWN ON DRAWINGS. NEW WIRING TO BE UL LISTED FIRE ALARM MC CABLE.
 4. TEST FIRE ALARM SYSTEM AFTER COMPLETION OF EACH PHASE TO VERIFY PROPER SYSTEM OPERATION.
 5. RE-INSTALL WHITE NOISE SYSTEM SPEAKERS AT LOCATIONS SHOWN ON DRAWINGS.



F18 KEY PLAN

NOT TO SCALE

REV.	DESCRIPTION	DATE
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**ISSUED FOR CONSTRUCTION
1-28-04**

CURRENT ISSUE STATUS:

PROJECT NORTH

SMRT ARCHITECTURE ENGINEERING PLANNING
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 Fax. (207) 778-1270

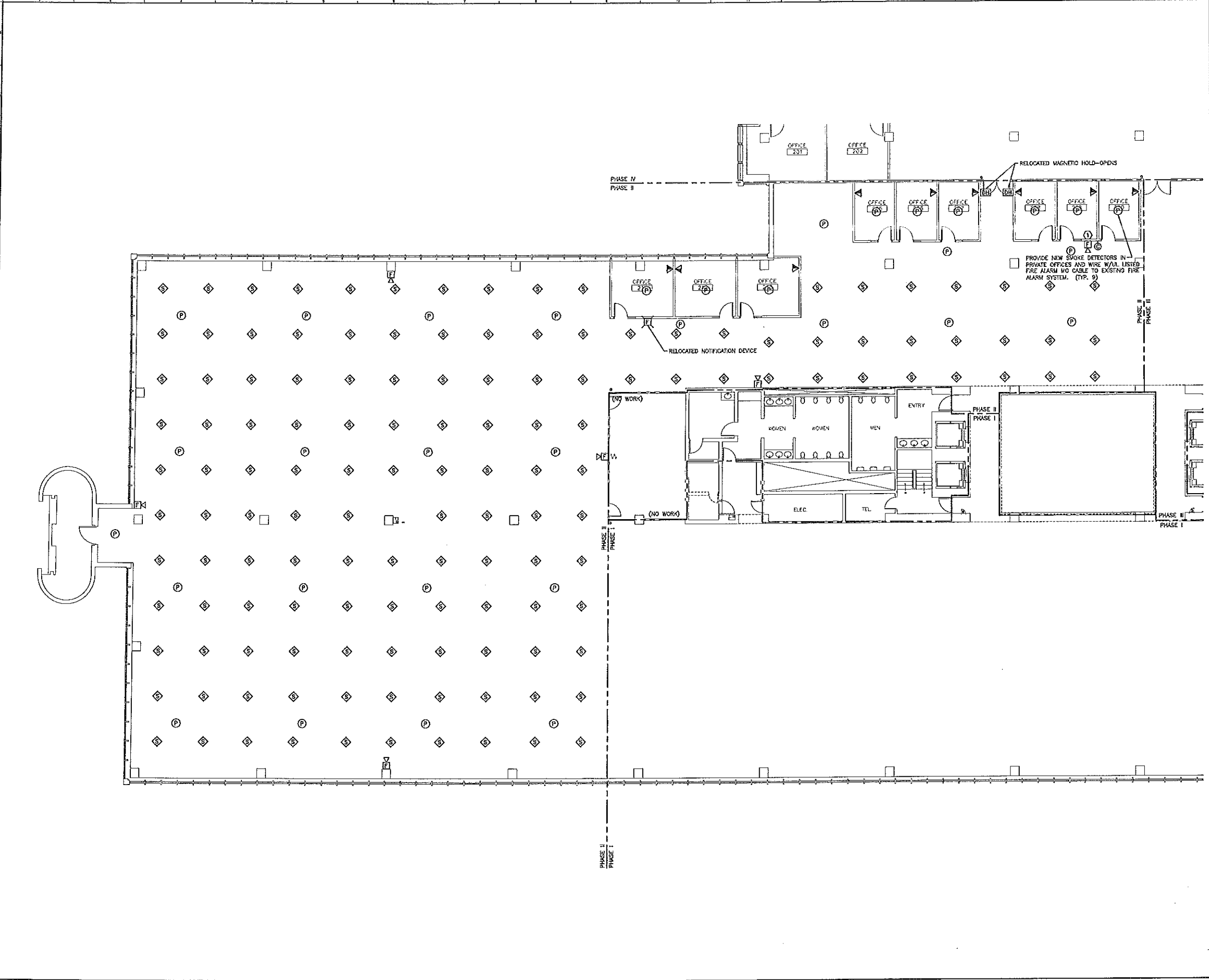
**UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME.**

**PHASE I
SYSTEMS PLAN**

SHEET TITLE:	1/8"=1'-0"	DATE:	1-28-04
SCALE:	JLH	GRAPHIC SCALE:	0'
PROJECT MANAGER:	CEB/BOG		
JOB CAP/DRAWN:	DJT		
A/E OF RECORD:		SHEET No.	1
SWRT CAD FILE:	EY101-03100-0		
PROJECT No.	03100-01		

A1 FLOOR PLAN
1/8"=1'-0"

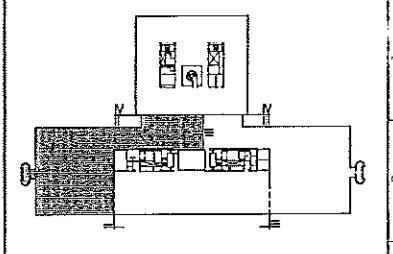
EY101



- NOTE:**
- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 - RELOCATE SMOKE DETECTORS AT LOCATIONS SHOWN. PROVIDE NEW WIRING FOR SMOKE DETECTORS. NEW WIRING TO BE UL LISTED FIRE ALARM W/ CABLE. EXISTING PLENUM RATED CABLE TO BE REMOVED.
 - REWIRE EXISTING FIRE ALARM NOTIFICATION DEVICES SHOWN ON DRAWINGS. NEW WIRING TO BE UL LISTED FIRE ALARM W/ CABLE.
 - TEST FIRE ALARM SYSTEM AFTER COMPLETION OF EACH PHASE TO VERIFY PROPER SYSTEM OPERATION.
 - RE-INSTALL WHITE NOISE SYSTEM SPEAKERS AT LOCATIONS SHOWN ON DRAWINGS.
 - FOR ALL VOICE/DATA OUTLETS SHOWN PROVIDE EMPTY OUTLET BOX AND 3/4" CONDUIT (W/PULL STRING) TO ABOVE AN ACCESSIBLE CEILING.

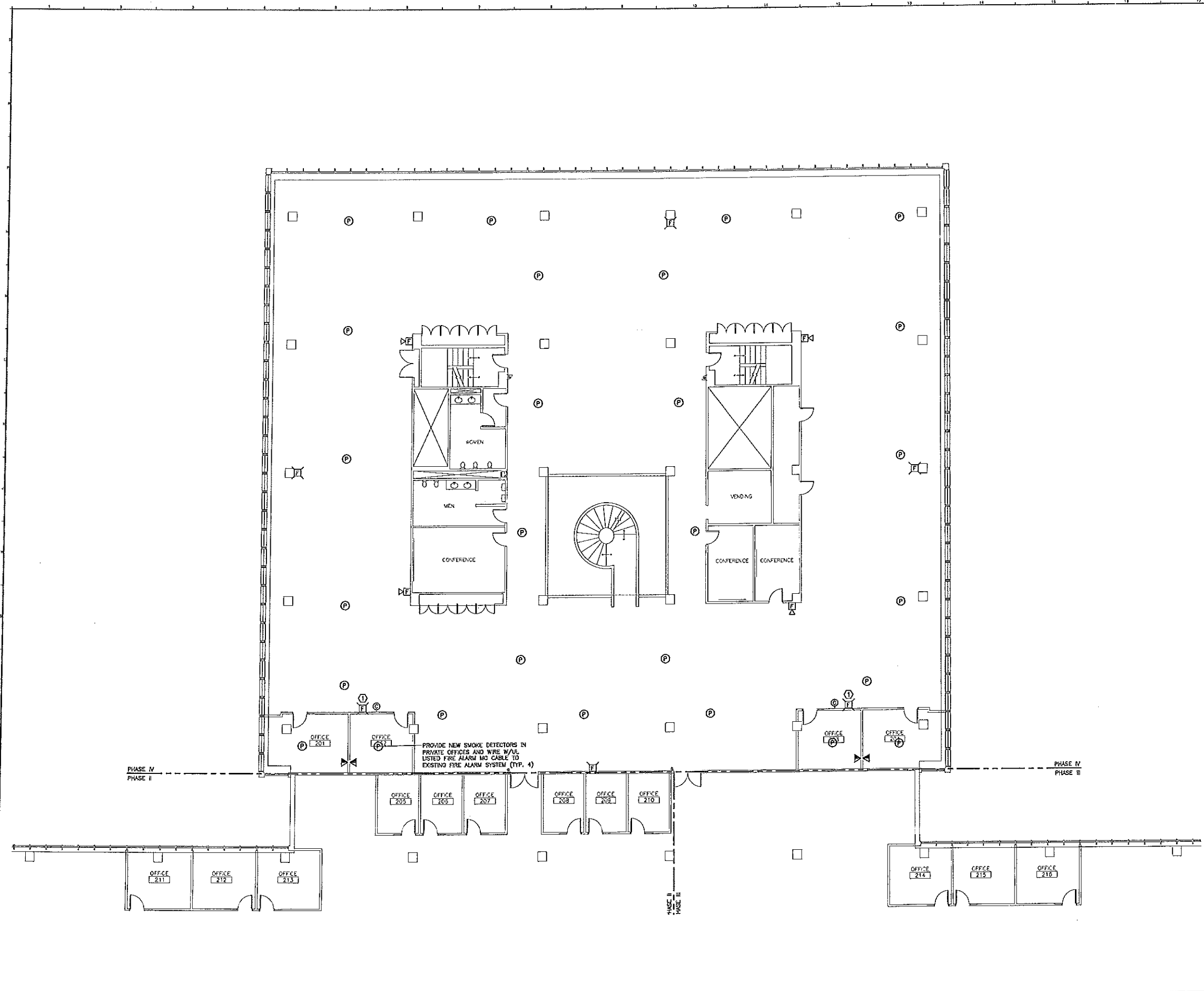
KEYED NOTE:

① RELOCATED FIRE ALARM NOTIFICATION DEVICE AND CLOCK. SEE SHEET ED102 FOR EXISTING LOCATION.



F18 KEY PLAN	
NOT TO SCALE	
0	ISSUED FOR CONSTRUCTION 1-28-04
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ISSUED FOR CONSTRUCTION 1-28-04	
CURRENT ISSUE STATUS:	
PROJECT NORTH	STATE OF MAINE PROFESSIONAL ENGINEER REGISTRATION NO. 6536
SM RT	ARCHITECTURE ENGINEERING PLANNING
SHEET 144 Fore Street/P.O. Box 118 Portland, Maine 04104 Tel. (207) 772-5546 Fax. (207) 772-5279	
UNIMPROVIDENT HO-1 2nd FLOOR OFFICE RENOVATIONS PORTLAND, ME.	
PHASE II SYSTEMS PLAN	
SHEET TITLE:	1-28-04
SCALE: 1/8"=1'-0"	DATE:
PROJECT MANAGER: JUH	GRAPHIC SCALE: 0"
JOB CAP/DRAMAN: CEB/B/CG	
A/E OF RECORD: DJT	SHEET No.
SWRT CAD FILE: EY102-03102-03	EY102
PROJECT No. 03102-01	

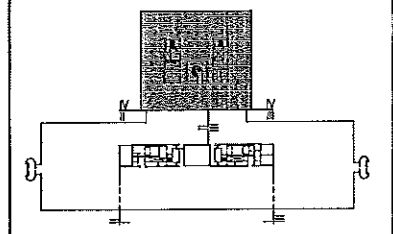
A1 FLOOR PLAN
1/8"=1'-0"



- NOTE:**
- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
 - RELOCATE SMOKE DETECTORS AT LOCATIONS SHOWN. PROVIDE NEW WIRING FOR SMOKE DETECTORS. NEW WIRING TO BE UL LISTED FIRE ALARM MC CABLE. EXISTING PLENUM RATED CABLE TO BE REMOVED.
 - REWIRE EXISTING FIRE ALARM NOTIFICATION DEVICES SHOWN ON DRAWINGS. NEW WIRING TO BE UL LISTED FIRE ALARM MC CABLE.
 - TEST FIRE ALARM SYSTEM AFTER COMPLETION OF EACH PHASE TO VERIFY PROPER SYSTEM OPERATION.
 - RE-INSTALL WHITE NOISE SYSTEM SPEAKERS AT LOCATIONS SHOWN ON DRAWINGS.
 - FOR ALL VOICE/DATA OUTLETS SHOWN PROVIDE EMPTY OUTLET BOX AND 3/4" CONDUIT (W/PULL STRING) TO ABOVE AN ACCESSIBLE CEILING.

KEYED NOTE:

① RELOCATED FIRE ALARM NOTIFICATION DEVICE AND CLOCK. SEE SHEET E0104 FOR EXISTING LOCATION.



F18 KEY PLAN

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REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
1-28-04

CURRENT ISSUE STATUS:

PROJECT NORTH

STATE OF MAINE
DATE: 1-28-04
DANIEL TIBBETTS
NO. 6338
PROFESSIONAL ENGINEER

SMRT ARCHITECTURE ENGINEERING PLANNING

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144 Fore Street, Box 118
Portland, Maine 04104
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Fax. (207) 772-5770

UNUMPROVIDENT HO-1
2nd FLOOR OFFICE RENOVATIONS
PORTLAND, ME

PHASE IV
SYSTEMS PLAN

SHEET TITLE:		DATE:
SCALE:	1/8"=1'-0"	1-28-04
PROJECT MANAGER:	JLH	GRAPHIC SCALE:
JOB CAP/DRAWN:	CER/BGG	
A/E OF RECORD:	DJT	SHEET No.
SMRT CAD FILE:	EY104-03100-01	EY104
PROJECT No.	03100-01	

A1 FLOOR PLAN
1/8"=1'-0"