

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070237

PERMIT ISSUED

MAR 22 2007

This is to certify that TRANSPORT LEASING COMPANY / Center Line Construction,has permission to Renovations to existing officeAT 94 JOHNSON RD214A A006001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4
 YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____
 Department Name

Jeanie Bonfke 3/22/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0237	Issue Date:	CBL: 214A A006001
-----------------------	-------------	----------------------

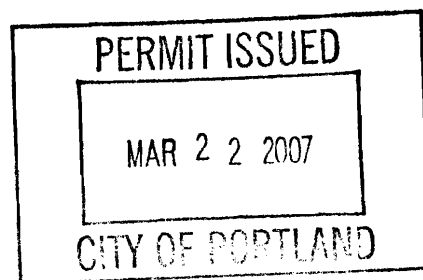
Location of Construction: 94 JOHNSON RD	Owner Name: TRANSPORT LEASING CORP	Owner Address: 9 JOHNSON ST B7	Phone:
Business Name:	Contractor Name: Center Line Construction, Inc.	Contractor Address: P.O. Box 1264 Portland	Phone: 2072336487
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B4

Past Use: Commercial - Time Warner Offices	Proposed Use: Commercial - Time Warner Offices - Renovations to existing offices	Permit Fee: \$500.00	Cost of Work: \$47,129.00	CEO District: 3
Proposed Project Description: Renovations to existing offices (first floor)		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2B DBL-2003 Signature: [Signature] Date: 3/22/07	

Signature: [Signature]		Signature: [Signature]	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: ldobson	Date Applied For: 03/07/2007	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>all interior work</i> <input type="checkbox"/> Flood Zone <i>work</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 3/19/07 <i>APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>APM</i>
---	---	---	---



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>94 JOHNSON RD, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure <u>EXISTING</u>		Square Footage of Lot <u>91.077</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>214A A 6-7-B</u>	Owner: <u>TRANSPORT LINES INC CORP.</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>TIME WARNER CABLE 118 JOHNSON ROAD PORTLAND, ME 04102</u>	Applicant name, address & telephone: <u>CENTER LINE CONST. INC P.O. BOX 1264</u>	Cost Of Work: \$ <u>47,129</u> Fee: \$ <u>500</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>COMMERCIAL - CABLE TV OFFICE</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>REPAIRS OF EXISTING OFFICE</u>		
Contractor's name, address & telephone: <u>CENTER LINE CONST. INC P.O. BOX 1264, PORTLAND, ME 04104</u>		
Who should we contact when the permit is ready: <u>DICK MILLER</u> Mailing address: _____ Phone: <u>870-4883 (PACU)</u>		

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAR - 7 2007

RECEIVED
442290

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 3/7/07

This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0237	Date Applied For: 03/07/2007	CBL: 214A A006001
------------------------------	--	-----------------------------

Location of Construction: 94 JOHNSON RD	Owner Name: TRANSPORT LEASING CORP	Owner Address: 9 JOHNSON ST B7	Phone:
Business Name:	Contractor Name: Center Line Construction, Inc.	Contractor Address: P.O. Box 1264 Portland	Phone (207) 233-6487
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Time Warner Offices - Renovations to existing offices (first floor)	Proposed Project Description: Renovations to existing offices (First Floor)
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/09/2007

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

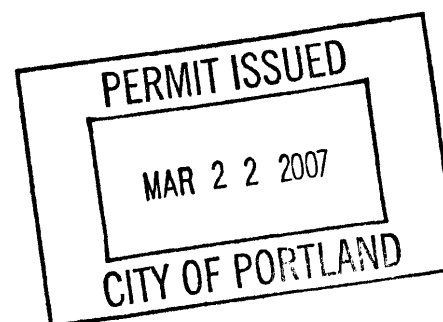
Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 03/22/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.

Dept: Fire **Status:** Approved **Reviewer:** Cptn Greg Cass **Approval Date:** 03/12/2007

Note: **Ok to Issue:**



Batir, LLC

30 Revere Street
Waterbury, CT 06708
(203) 573-9665
Fax (203) 573-8747
DAVISCAPLAN@aol.com

Batir, LLC
30 Revere Street
Waterbury, CT 06708

March 12, 2007

Mr. Dick Miller
Center Line Construction
PO Box 1264
Portland, ME 04104

Fax (207) 741-0291 (Copy)
Originals sent by First Class Mail
3 pages

Re: **Time Warner Cable of Maine**
118 Johnston Road
Portland, ME

Dear Mr. Miller:

Enclosed please find my "Certificate of Design" along with an "Accesibility Building Code Certificate" for your use. They may be used for pages 4 and 5 of your permit application.

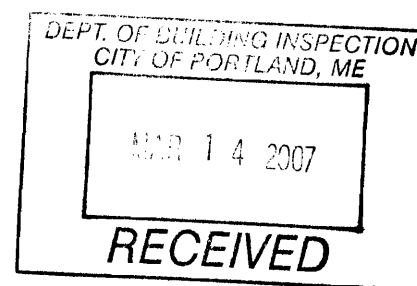
Thank you.

Sincerely,


Davis Caplan
Batir, LLC

CC: S.P.A.C.E.

Fax (603) 883-7052

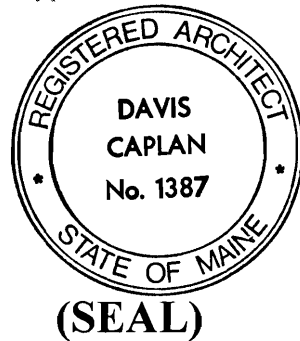





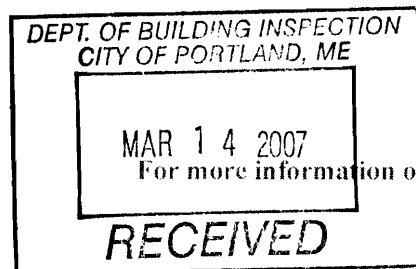
Accessibility Building Code Certificate

Designer: DAVIS CAPLAN
Address of Project: TIME WARNER CABLE - FIRST FLOOR
118 JOHNSON ROAD, PORTLAND, ME 04102
Nature of Project: INTERIOR TENANT FIT-UP
NO STRUCTURAL MODIFICATIONS
EXISTING BUILDING

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 
Title: ARCHITECT
Firm: EATIR, LLC
Address: 30 REVERE STREET
WATERBURY, CT 06708
Phone: 203-573-9665



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

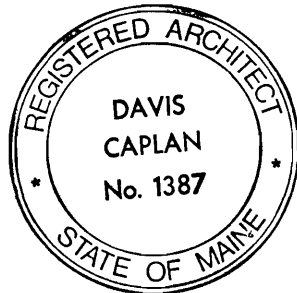
Date: MARCH 12, 2007

From: DAVIS CAPLAN

These plans and / or specifications covering construction work on:

FIRST FLOOR TENANT FIT-UP FOR TIME WARNER CABLE
118 JOHNSON ROAD, PORTLAND, ME 04102

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

Signature: [Handwritten Signature]

Title: ARCHITECT

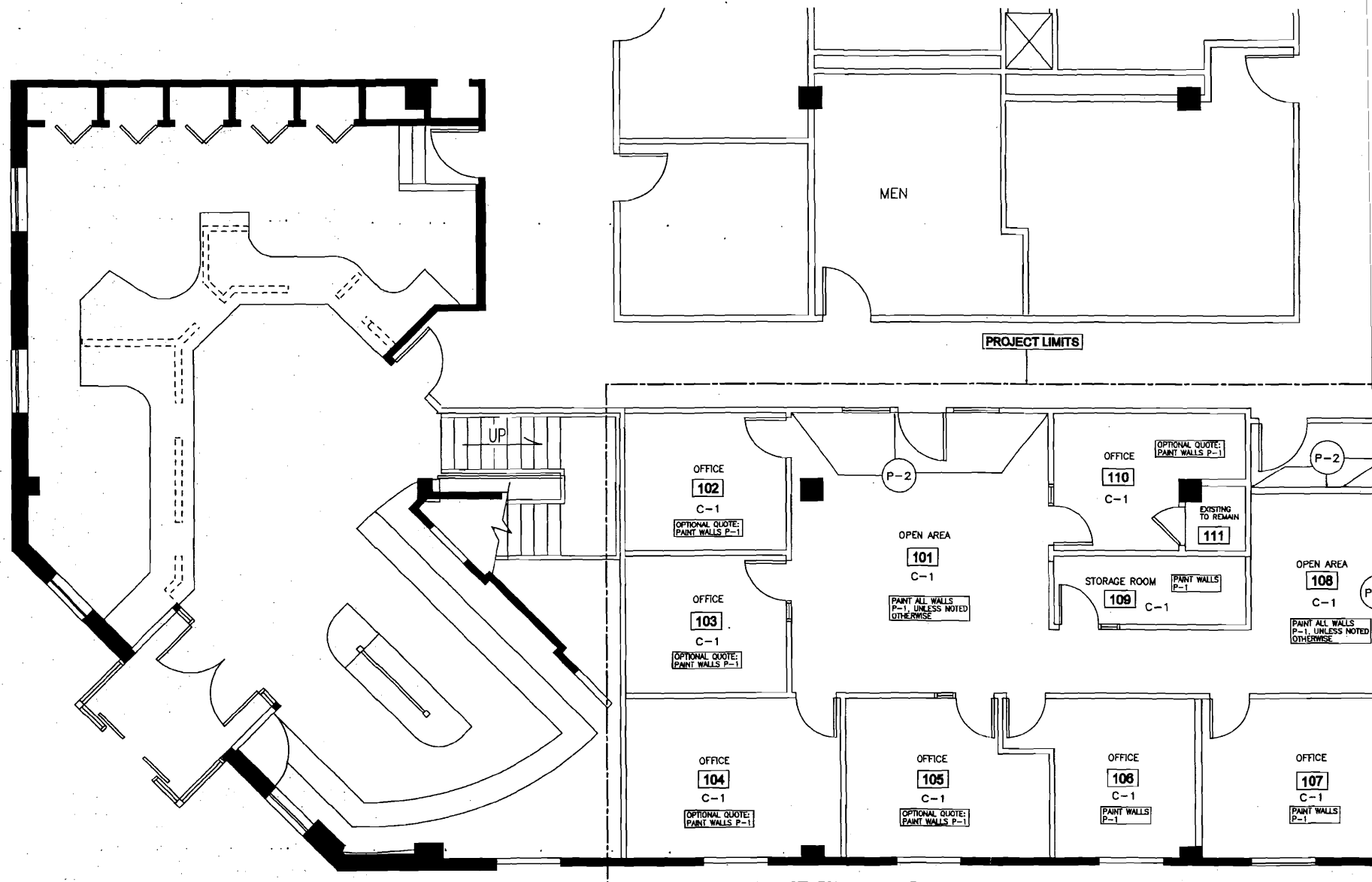
Firm: BATIR, LLC

Address: 30 REVERE STREET

WATERBURY, CT 06708

Phone: 203-573-9665

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



FINISH SPECIFICATIONS

- C-1 Carpet -
Manuf.: Shaw Commercial
Pattern: UNICA
Color: 97974 Sojo
- WB-1 Wallbase 4" Cove -
1/8" Thickness
Manuf.: Johnsonite
Color: 32 Pebble
- P-1 General Wall Paint -
Manuf.: Benjamin Moors
Color: OC-26 Silver Satin
Finish: Regal Aquavelvet
- P-2 Accent Wall Paint -
Manuf.: Benjamin Moors
Color: 2107-40 Driftwood
Finish: Regal Aquavelvet
- P-3 Accent Wall Paint -
Manuf.: Benjamin Moors
Color: 2118-40 Sea Life
Finish: Regal Aquavelvet

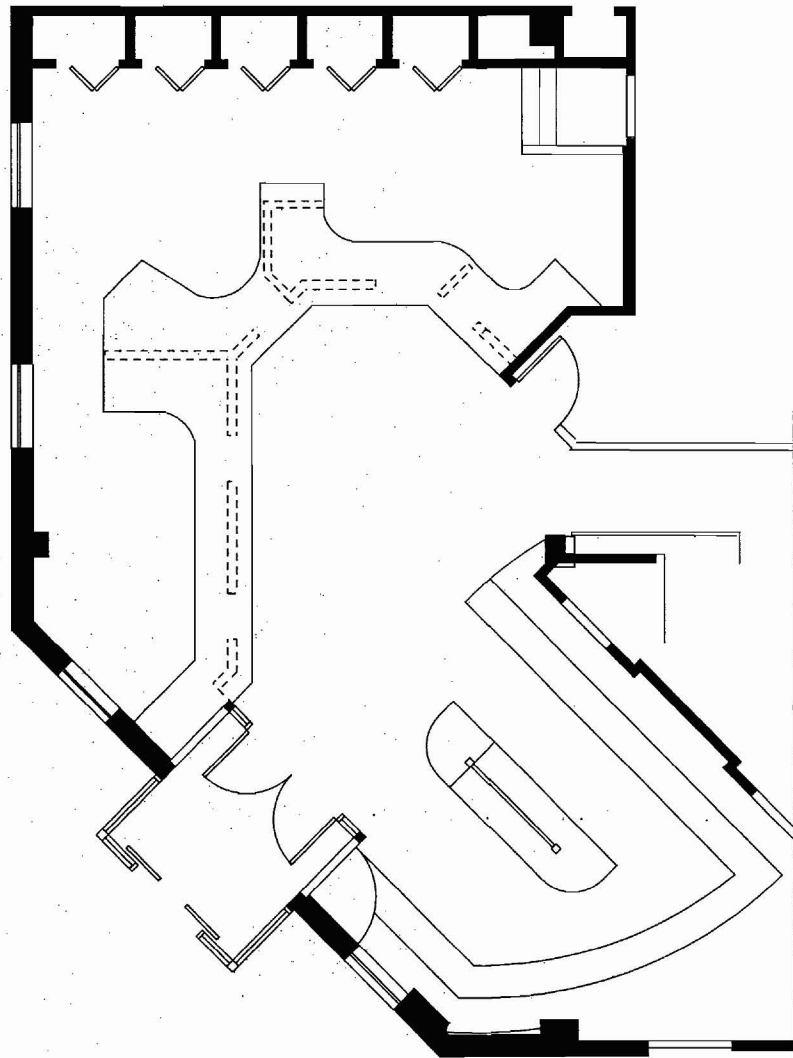
NOTE:
PAINT DOOR FRAMES THE
SAME COLOR AS THE WALL
PAINT IT IS LOCATED ON WITH
ALKYD DULAMEL FINISH.

FLOOR COVERINGS

- The scope of work includes the following:
 - Preparation of existing surfaces to accept new floor coverings
 - All carpet per the specification.
 - All wall base per specifications on this drawing.
- The contractor shall provide all materials and labor to complete the installation.
- Substitutions: The contractor shall not deviate or alter the product specifications called for on this drawing, without the express permission of the project architect.

PAINTING

- The scope of painting includes the following items:
 - All new walls to receive 1 coat of primer and 2 coats of the specified finish color.
 - All existing gypsum board surfaces to be re-painted as noted on plan.
 - All metal door frames to be painted per the specifications and noted on plan.
 - All walls not shown to be painted an accent color; shall be painted in P-1.



LEGEND

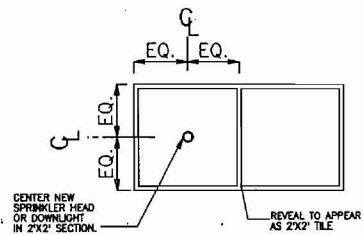
- NEW 2' X 2' INDIRECT LIGHT FIXTURE: TO REPLACE EXISTING 2' X 2' ACRYLIC LENS FIXTURE; SAME LOCATION
MANUF.: LITHONIA LIGHTING
MODEL: 2RTS
2 LAMPS: T5 - 3500K LAMP
- NEW 2' X 4' INDIRECT LIGHT FIXTURE: TO REPLACE EXISTING 2' X 4' ACRYLIC LENS FIXTURE; SAME LOCATION
MANUF.: LITHONIA LIGHTING
MODEL: 2RTS
2 LAMPS: PREMIUM T5 - 3500K LAMP
- NEW 2' X 4' INDIRECT LIGHT FIXTURE: MANUF.: LITHONIA LIGHTING
MODEL: 2RTS
2 LAMPS: PREMIUM T5 - 3500K LAMP
- EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURE WITH ACRYLIC PRISMATIC LENS TO REMAIN
- NEW 2' X 4' ACOUSTICAL CEILING TILE & GRID, TO MATCH EXISTING;
MANUF.: ARMSTRONG
PATTERN NAME: SECOND LOOK II
PATTERN NO.:
GRID: 15/16" PRELUDE
COLOR: WHITE
- EXISTING FAN IN NEW LOCATION

LIGHT FIXTURES:

- ALL NEW FIXTURES SHALL BE PROVIDED COMPLETE INCLUDING LAMPS TRANSFORMERS, BALLASTS, SUPPORTS, HANGARS AND BRACKETS, CANPES, SOCKETS, REFLECTORS, DIFFUSING MATERIAL, LOUVERS, END CAPS, COUPLING PLATES, ETC.
- ALL FIXTURES SHALL BE WIRED AND ASSEMBLED AND SHALL BEAR AN UNDERWRITERS LABORATORY LABEL. FIXTURES SHALL BE RIGIDLY SUPPORTED AS RECOMMENDED BY THE MANUFACTURER. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL MEANS NECESSARY TO SUPPORT THE LIGHTING SYSTEM; FIXTURES SHALL BE SUPPORTED INDEPENDANT OF THE CEILING GRID.
- CONTRACTOR TO SUBMIT CONFIRMING SPECIFICATION SHEETS/SUBMITALS ON ALL NEW LIGHT FIXTURES SPECIFIED.

SWITCHING

- PROVIDE A SINGLE SWITCH FOR EACH INDIVIDUAL ROOM, AS REQUIRED. (NEW SPACES ONLY)



2'X4' SECOND LOOK II CEILING TILE

NOT TO SCALE

SPRINKLERS

- EXISTING SPRINKLER HEAD TO REMAIN AND BE CENTERED IN NEW CEILING TILE 2' X 2' SECTION. SEE DETAIL THIS DRAWING.
- E EXISTING SPRINKLER HEAD IN TO BE RELOCATED; CENTER IN NEW CEILING TILE 2' X 2' SECTION. SEE DETAIL THIS DRAWING.
- R EXISTING SPRINKLER HEAD IN NEW LOCATION; CENTER IN NEW CEILING TILE 2' X 2' SECTION. SEE DETAIL THIS DRAWING.
- N NEW SPRINKLER HEAD TO MATCH BUILDING STANDARD; CENTER IN NEW CEILING TILE 2' X 2' SECTION. SEE DETAIL THIS DRAWING.

SPRINKLER NOTE

- THE CONTRACTOR SHALL ADJUST, MOVE OR ADD NEW ADDITIONAL SPRINKLER HEADS IF REQUIRED. SHOULD IT BE REQUIRED, THE CONTRACTOR SHALL PROVIDE AN ENGINEERED AND CERTIFIED PLAN SHOWING ALL CHANGES TO BE MADE TO THE EXISTING SPRINKLER SYSTEM.
- TWO EXISTING HEADS TO BE RELOCATED SHALL BE ADJUSTED IN HEIGHT TO ACCOMMODATE REGULAR STYLE NEW CEILING TILES.

HVAC/MECHANICAL WORK

- CONTRACTOR SHALL VISIT THE SITE AND SHALL BE CONDITIONS INCLUDING ALL EQUIPMENT THAT SERVE

SCOPE OF WORK

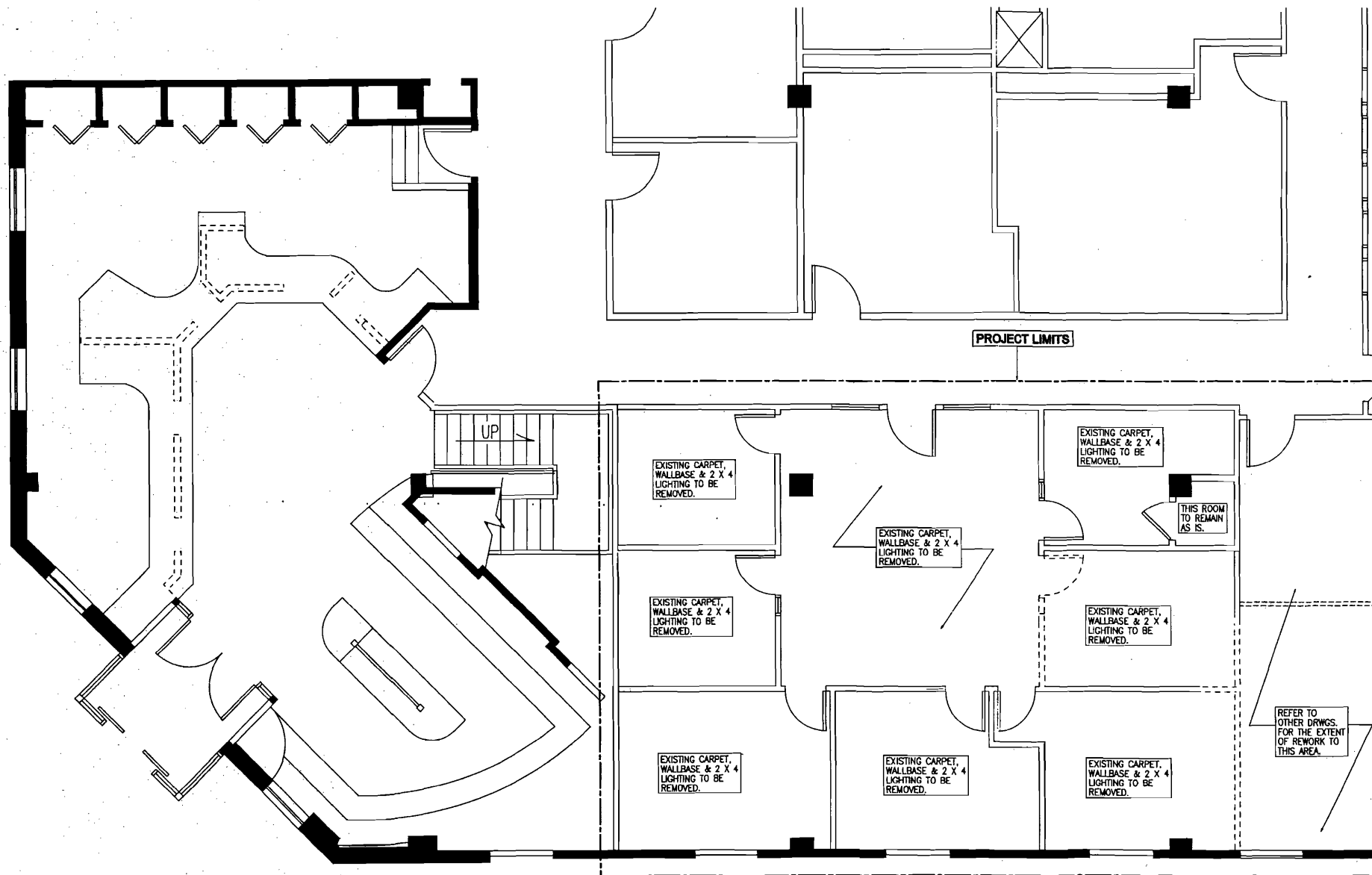
- IT IS INTENDED THAT THE BASE BUILDING MECHANICAL AND AIR CONDITIONING (HVAC) BE UTILIZED TO THE
- THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE OF ALL EXISTING HVAC EQUIPMENT AND RELATED C

THE SCOPE OF THE WORK AND THE DESIGN THE FOLLOWING:

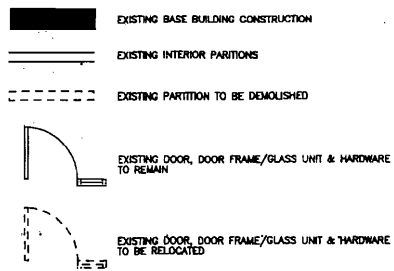
RE-WORKING/RE-ADJUSTMENT OF EXISTING NEW DUCTWORK
RE-USE OF ALL CONTROLS NEW CONTROLS
RELOCATION OF EXISTING THERMOSTATS NEW THERMOSTATS
SPECIFICATIONS FOR VENTILATION FANS
RE-USE AND/OR REPLACEMENT OF ALL DIFFUSERS
SPECIFICATIONS FOR SUPPLEMENTAL COOLING SYSTEM.

THE MECHANICAL DESIGN SHALL COORDINATE THE OF THE SYSTEM WITH THE LIGHTING LOCATIONS SH ALL WORK SHALL BE COORDINATED WITH THE GENI UPON COMPLETION OF THE WORK THE MECHANICAL THE THERMOSTAT CONTROL SHALL BE LOCATED PER WARNER CABLE OF NAME PROJECT ENGINEER, THE NON-TAMPER TRANSPARENT ENCLOSURE.

EXISTING SUPPLY AND/OR RETURN NEW LOCATIONS FOR HVAC SUPPLY



DEMOLITION LEGEND

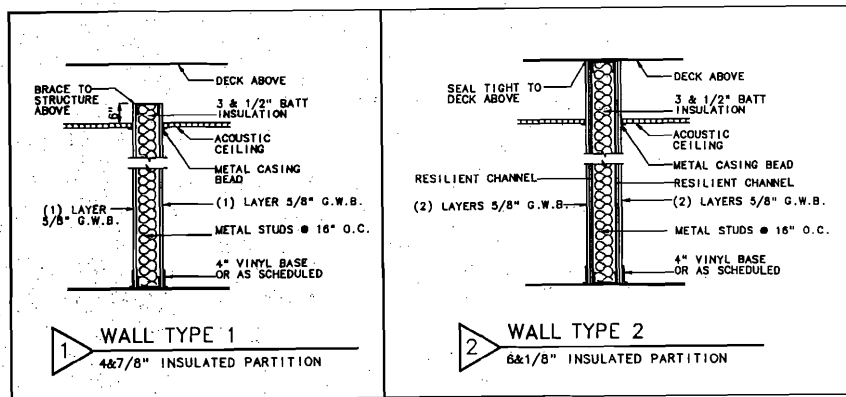
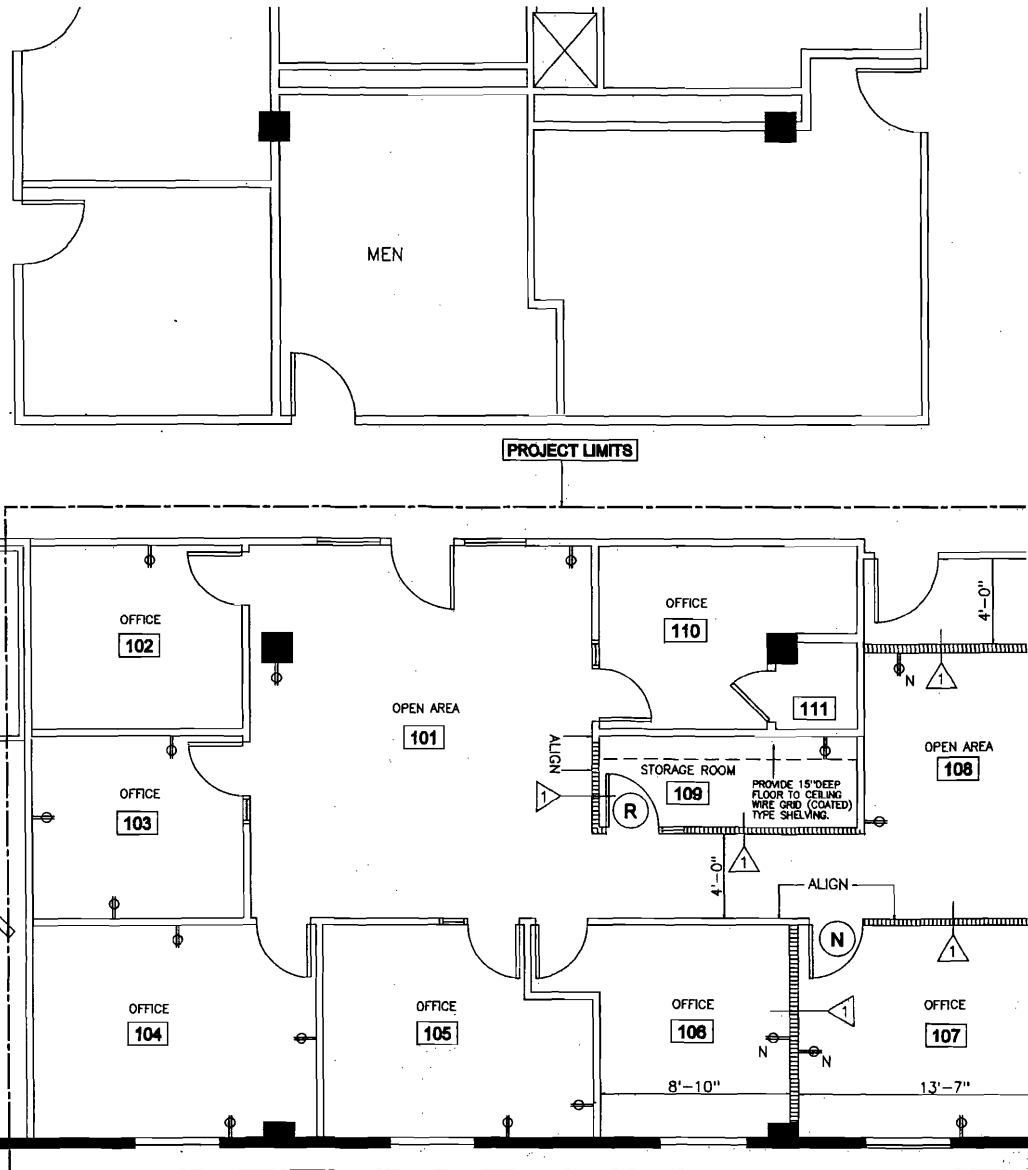
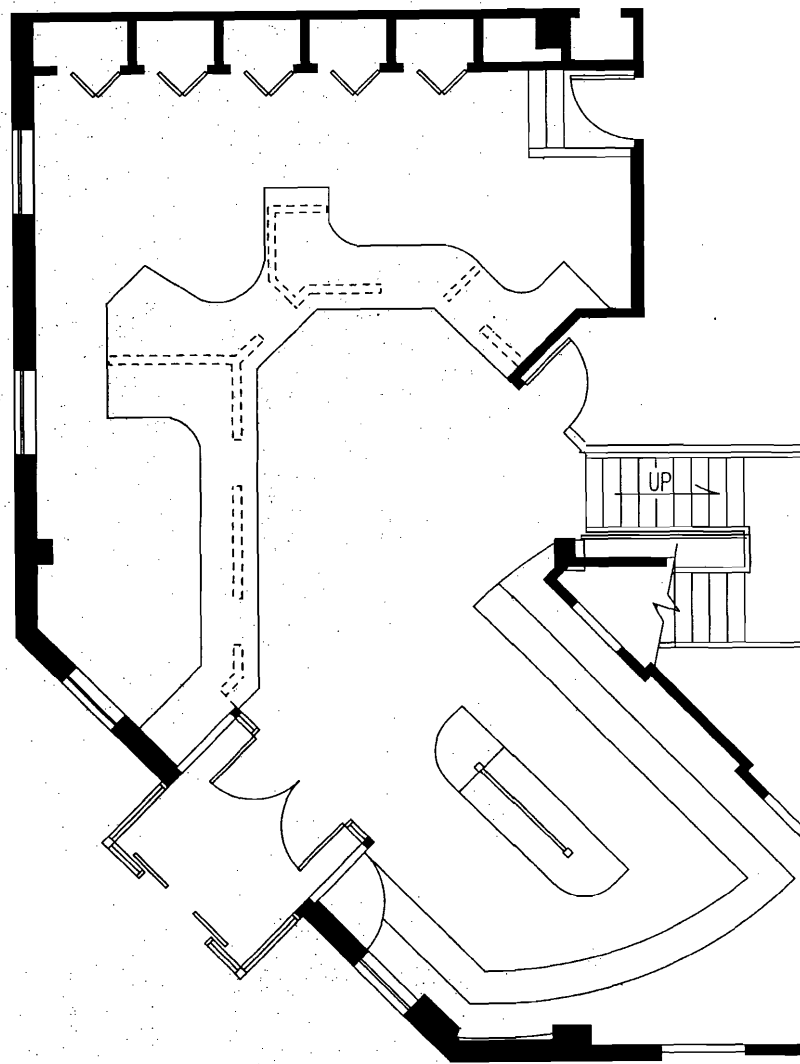


DEMOLITION INFORMATION

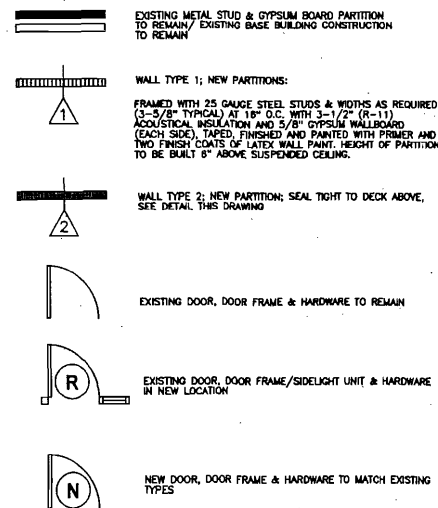
- A. WORK INCLUDED: DEMOLITION, REMOVAL AND PATCHING INCLUDING:
- PROTECTION OF EXISTING WORK TO REMAIN
 - TEMPORARY PARTITIONS AND BARRICADES
 - REMOVAL OF ITEMS SHOWN
 - REMOVAL, STORAGE, PROTECTION AND INSTALLATION OF ITEMS TO BE REUSED
 - REMOVAL OF EXISTING ITEMS NECESSARY TO PROVIDE FOR NEW CONSTRUCTION
 - RELOCATION OF INDICATED ITEMS
 - DEBRIS REMOVAL
 - PATCHING AS NECESSARY TO MATCH EXISTING

B. GENERAL PROVISIONS

1. FOR ALL ELECTRICAL OUTLETS TO BE REMOVED; ALL WIRING SHALL BE TERMINATED TO THE BASE BUILDING ELECTRICAL PANEL.
2. EXISTING FLOORING TO BE REMAIN. PATCH AS REQUIRED.
3. FIELD CONDITIONS: TAKE INTO CONSIDERATION AS NECESSARY WORK ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS ON THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DESCRIBED. ACCEPT THE SITE OF THE WORK AS IT EXISTS AND CLEAN OBSTRUCTIONS TO THE WORK SHOWN.
4. EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREABOUTS. TAKE INTO ACCOUNT ALL SUCH EXISTING CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THE CONTRACT DOCUMENTS AND INCLUDE WHATEVER IS NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DESCRIBED OR REASONABLY REQUIRED OR IMPLIED TO ATTAIN THE COMPLETED CONDITION CONTEMPLATED BY THE CONTRACT.
5. CHECK DRAWINGS CAREFULLY AND THOROUGHLY INVESTIGATE EXISTING CONDITIONS.
6. INCLUDE THE RE-WORKING OF ADJUTING SURFACES AS REQUIRED TO MAKE NEW WORK JOIN AND MATCH EXISTING SURFACES TO REMAIN.
7. WHERE OPENINGS ARE CUT AND OVERSIZE OR IN IMPROPER LOCATION, THE EXCESS REMOVED MATERIAL SHALL BE REPLACED WITH NEW AT NO ADDITIONAL COST TO THE OWNER.
8. ITEMS OF EXISTING WORK INDICATED TO REMAIN UPON COMPLETION OF CONTRACT, BUT WHICH REQUIRE REMOVAL TO COMPLETE THE WORK, SHALL BE CAREFULLY REMOVED AND REPLACED UPON COMPLETION. THE REPLACE WORK SHALL MATCH ITS CONDITION AT THE START OF THE WORK.
9. PATCHING: UNLESS OTHERWISE SHOWN, PATCH AND FINISH SURFACES AS NECESSARY TO MATCH EXISTING AND IN ACCORDANCE WITH THE REQUIREMENTS TO THE VARIOUS SPECIFICATIONS SECTIONS.
10. DUST BARRIERS: ERECT TEMPORARY DUST BARRIERS OF PLYWOOD OR OTHER ACCEPTABLE MATERIAL WHICH WILL POSITIVELY PREVENT PASSAGE OF DEBRIS AND DUST. SEAL ENTIRE PERIMETER AND ALL JOINTS.
11. PROTECTION OF PERSONNEL: ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS AS MAY BE REQUIRED TO PREVENT PERSONNEL FROM THEMSELVES IN THE WAY OF INJURY.
12. EXISTING WORK TO REMAIN: PROVIDE SUCH FORMS OF PROTECTION AS MAY BE REQUIRED TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT TO REMAIN.
13. CLEAN UP: UPON COMPLETION OF DEMOLITION WORK THE PROJECT BE BROOM CLEAN.
14. SCHEDULING FOR DEBRIS REMOVAL: CONTRACTOR SHALL COORDINATE THE SCHEDULING OF ACTIVITY (INCLUDING DEBRIS REMOVAL, DUMPSTER LOC, DUMPSTER REMOVAL TIMES) WITH THE PROJECT OWNER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DE AND TIPPING FEES INCLUDING ALL REQUIRED PERMITS.



CONSTRUCTION LEGEND



CONSTRUCTION INFORMATION

GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL APPLICABLE FEES.
2. THE CONTRACTOR SHALL PROVIDE A DUMPSTER FOR THE CONTAINMENT OF ALL DEBRIS RELATED TO THIS PROJECT AND SHALL REMOVE DEBRIS FROM THE SITE DAILY.
3. ALL DEBRIS AND TRASH GENERATED IN THE EXECUTION OF THE WORK SHALL BE DISPOSED LEGALLY.
4. DELIVERY OF MATERIALS SHALL BE COORDINATED WITH THE PROJECT OWNER.
5. ALL WORK TO BE PROVIDED BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
6. ALL ITEMS/PRODUCTS ASSOCIATED WITH THE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING ALL FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM S.P.A.C.E. BEFORE PROCEEDING WITH WORK IN QUESTION.
8. ALL REQUESTS FOR SUBSTITUTIONS SHALL BE SUBMITTED IN WRITING.
9. THE CONTRACTOR SHALL CALL FOR TIMELY INSPECTIONS OF THE WORK.

DIMENSIONS:

1. ALL DIMENSIONS ARE FROM FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
2. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
3. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.

CLEANING OF SPACE

1. THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT AREA AND SHALL UTILIZE THE SERVICES OF A PROFESSIONAL CLEANING CREW UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE PROJECT OWNER.