

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 090302

Please Read
Application And
Notes, If Any,
Attached

This is to certify that TRANSPORT LEASING CORP. M H Samshas permission to Re-fixture the HPS fixtures w/ T-8's & demolish in the existing officesAT 94 JOHNSON RD CE 214A A004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid out or other work is done-in. 2. NO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. D. J. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

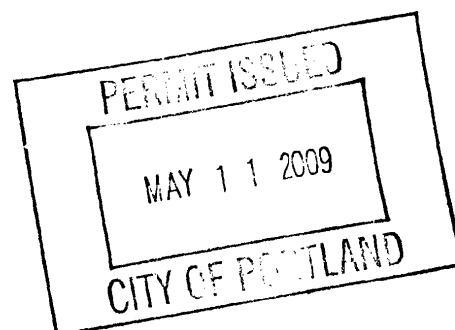
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0302		Issue Date:		CBL: 214A A004001	
Location of Construction: 94 JOHNSON RD		Owner Name: TRANSPORT LEASING CORP		Owner Address: 35 BRADLEY DR	
Business Name:		Contractor Name: M H Sanborn Inc		Contractor Address: 4 Canterbury Lane North Reading	
Lessee/Buyer's Name		Phone:		Phone 2076509506	
Past Use: Commercial - Industrial Building		Proposed Use: Commercial - Industrial Building - Re-fixture the HPS fixtures w/ new T-8's & demolishing in the existing offices		Permit Fee: \$150.00	
Proposed Project Description: Re-fixture the HPS fixtures w/ new T-8's & demolishing in the existing offices		Cost of Work: \$12,500.00		CEO District: 3	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>Industrial</i> Type: <i>Demo - Interior</i> <i>IBC 2003</i>	
		Signature: <i>KG</i>		Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____ Date: _____			
Permit Taken By: Ldobson		Date Applied For: 04/10/2009		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/11/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/11/09</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

5/11/09

Date

Signature of Inspections Official

Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
09-0302	04/10/2009	214A A004001

Location of Construction: 94 JOHNSON RD	Owner Name: TRANSPORT LEASING CORP	Owner Address: 35 BRADLEY DR	Phone:
Business Name:	Contractor Name: M H Sanborn Inc	Contractor Address: 4 Canterbury Lane North Reading	Phone (207) 650-9506
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Industrial Building - Re-fixtue the HPS fixtures w/ new T-8's & demolishing in the existing offices	Proposed Project Description: Re-fixtue the HPS fixtures w/ new T-8's & demolishing in the existing offices
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 05/11/2009**Note:****Ok to Issue:** ☒

- 1) This permit authorizes demolition work only of an existing use.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 05/11/2009**Note:****Ok to Issue:** ☒

- 1) This approves interior demolition only, no structural work allowed. No other construction activities allowed, including plumbing, electrical and heating
- 2) Demolition permit only. No other construction activities allowed.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 04/23/2009**Note:****Ok to Issue:** ☒



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>16 JOHNSON ROAD, PORTLAND, ME</u>			
Total Square Footage of Proposed Structure/Area <u>NO ADDITIONAL SF</u>		Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>214</u> Block# <u>AA</u> Lot# <u>4</u>		Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>TRANSPORT LEASING CORP</u> Address <u>35 BRADLEY DRIVE</u> City, State & Zip <u>WESTBROOK, ME 04092</u>	
Telephone: <u>207-856-6045</u>			
Lessee/DBA (If Applicable)		Owner (if different from Applicant) Name <u>SAME</u> Address <u>TRANSPORT LEASING CORP</u> City, State & Zip	Cost Of Work: \$ <u>12,500</u> C of O Fee: \$ Total Fee: \$
Current legal use (i.e. single family) <u>INDUSTRIAL BLDG</u> Number of Residential Units If vacant, what was the previous use? <u>SAME</u> Proposed Specific use: <u>SAME NO CHANGE</u> Is property part of a subdivision? If yes, please name Project description: <u>WE ARE ONLY REFIXTURING THE HPS FIXTURES WITH NEW T-8'S AND DEMOLISHING SOME EXISTING OFFICES</u>			
Contractor's name: <u>MIT SANBORN INC</u>			
Address: <u>4 CANTERBURY LANE</u>			
City, State & Zip <u>N. READING, MA 01864</u>		Telephone: <u>207-650-9506</u>	
Who should we contact when the permit is ready: <u>MARK SANBORN</u>		Telephone: <u>207-650-9506</u>	
Mailing address: <u>SAME AS 4 CANTERBURY LANE N. READING MA</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

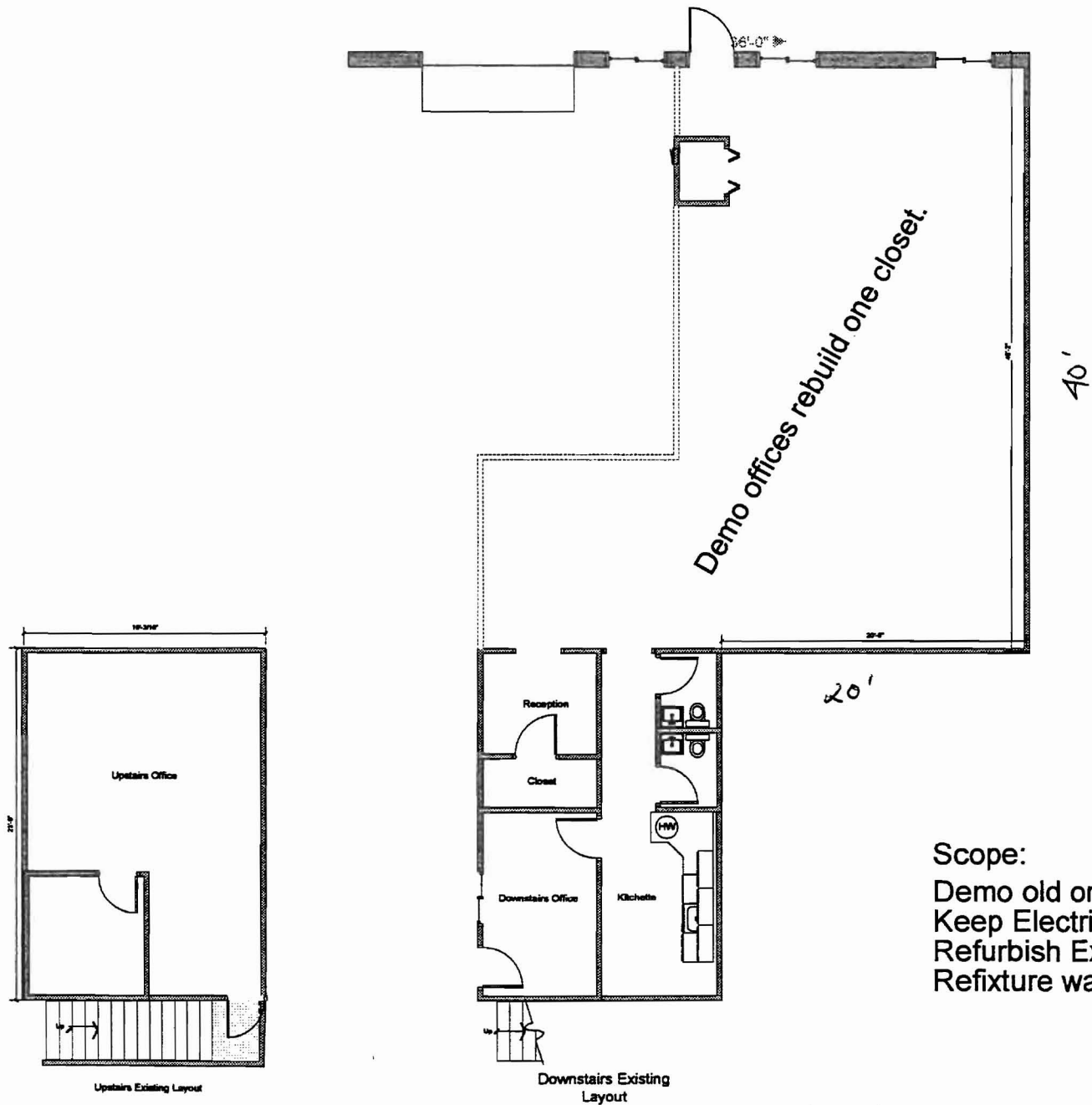
Date: 4-10-09

This is not a permit; you may not commence ANY work until the permit is issue

Transport Leasing Corp. – 16 Johnson Road Portland, ME 4-2-09

Proposed Renovation of space vacated by Velocity

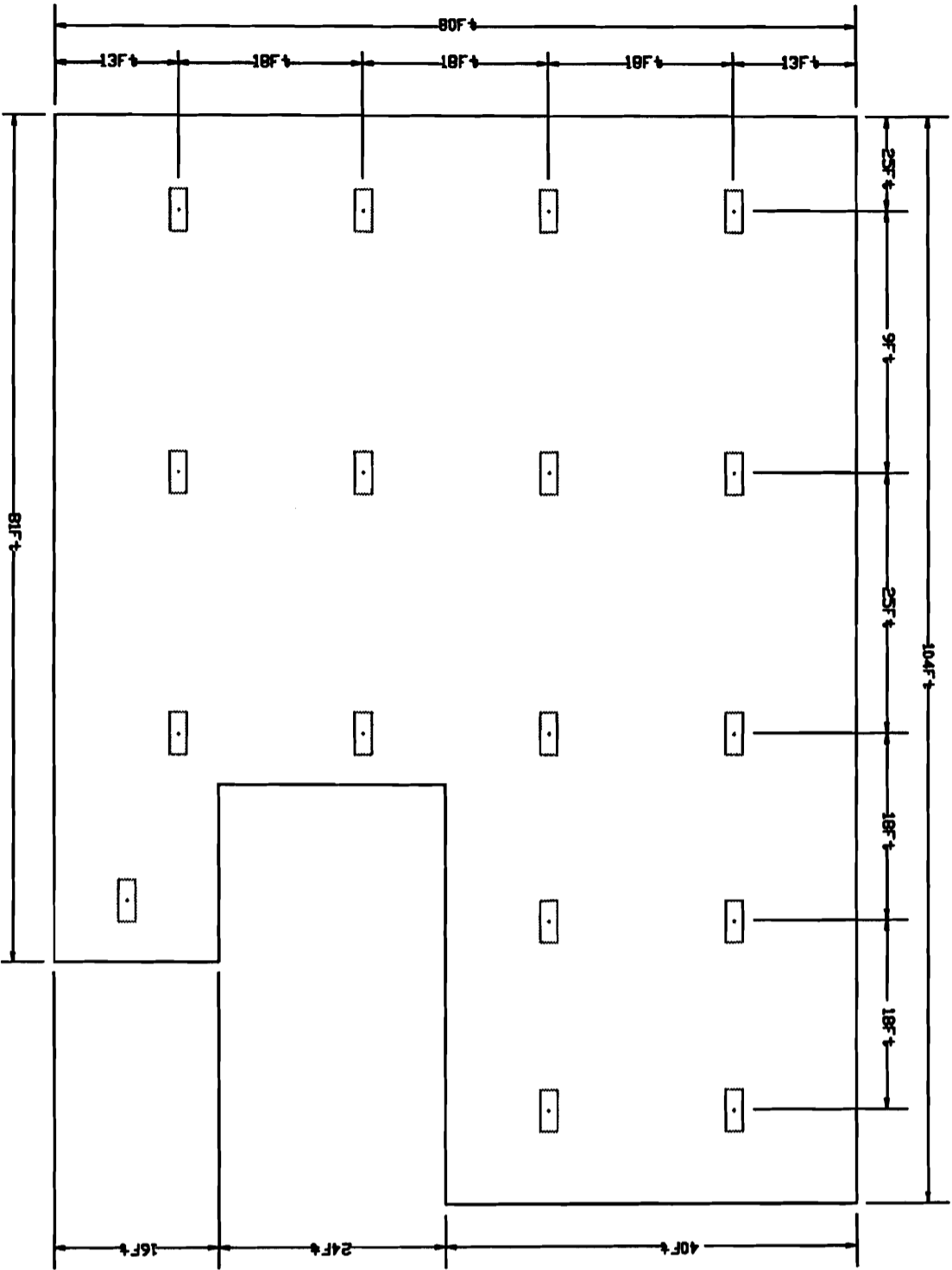
Drawn by: Mark Sanborn 207-650-9506



Scope:
Demo old one story offices.
Keep Electrical Panel in same location. Part of new closet wall.
Refurbish Existing two story offices shown below.
Refixture warehouse with new energy efficient T8 fixtures.

2x4 Non bearing
Steel Studs.

APR 10 2009



Luminaire Schedule			Luminaire	LLF
Label	Description			
A	DAY-SHEDITE F75-428-14V-1/4-EDM		3000	1.000
B	DAY-SHEDITE F75-428-14V-2/2-EDM		3000	1.000

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Hour/Min
4-LAMP_Veriglobe	Blended	FC	21.63	26.4	8.3	2.61
6-LAMP_Veriglobe	Blended	FC	30.74	47.5	12.1	2.52
						3.50

JETPORT PLAZA

APCC LIGHTING SOLUTIONS, LLC
3001 HWY. 10 - 80/70/60
FIXTURES ARE POINT-TO-POINT MOUNTED AT 10FT AFT
REFLECTANCES 80%/70%/60%
WORK PLANE 30' AFT