

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 100385  
**PERMIT ISSUED**

Please Read Application And Notes, If Any, Attached

This is to certify that TRANSPORT LEASING CORP / M H Sanborn Inc  
has permission to Change of use from warehousing to church and warehousing **JUN 7 2010**  
AT 58 CITY LINE DRIVE CBL 214A A002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. CAPT. K. Gauthier  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*James P. ...* 6/7/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0383	Issue Date:	CBL: 214A A002001
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Location of Construction: 58 CITY LINE DRIVE	Owner Name: TRANSPORT LEASING CORP	Owner Address: 35 BRADLEY DR.	Phone:
Business Name:	Contractor Name: M H Sanborn Inc	Contractor Address: 4 Canterbury Lane North Reading	Phone 2076509506
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-4

Past Use: Commercial - warehousing	Proposed Use: Commercial - Assembly - To change the use from warehousing to East Point Christian Church (15,920 sq ft) and warehousing	Permit Fee: \$2,345.00	Cost of Work: \$225,000.00	CEO District: 3
Proposed Project Description: Change of use from warehousing to church and warehousing		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: A-3/5-2 Type: 3B IBC-2003 Signature: [Signature] Date: 6/7/10	
		Signature: [Signature]	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 04/20/2010	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 12 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #10-79900004 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM Date: 4/21/10	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**PERMIT ISSUED**

JUN 7 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0383	<b>Date Applied For:</b> 04/20/2010	<b>CBL:</b> 214A A002001
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<b>Location of Construction:</b> 58 CITY LINE DRIVE	<b>Owner Name:</b> TRANSPORT LEASING CORP	<b>Owner Address:</b> 35 BRADLEY DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> M H Sanborn Inc	<b>Contractor Address:</b> 4 Canterbury Lane North Reading	<b>Phone</b> (207) 650-9506
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Commercial - Assembly - To change the use from warehousing to East Point Christian Church (15,920 sq ft) and warehousing (4800)	<b>Proposed Project Description:</b> Change of use from warehousing to church and warehousing
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 04/21/2010  
**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.
- 3) This property shall remain a warehouse (4,800 sq ft) and a church (15,920 sq ft). Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 06/07/2010  
**Note:** **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) The tenant fit up work including but not limited to the stage and sound booth shall be applied for and approved separately.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 04/21/2010  
**Note:** **Ok to Issue:**

- 1) All construction shall comply with NFPA 1 and 101.
- 2) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP labeled "FIRE ALARM RECORDS". Records cabinet, FACP, annunciator(s), and pull stations shall be keyed alike.
- 3) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 4) Fire department connection type and location shall be approved in writing by fire prevention bureau.
- 5) As-built documents shall be submitted in pdf to the Building Inspections Office upon completion of job.
- 6) The sprinkler system shall be installed in accordance with NFPA 13.
- 7) Must have a two hour fire separation between the Assembly and Industrial Occupancy.
- 8) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 9) The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
- 10) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.

<b>Location of Construction:</b> 58 CITY LINE DRIVE	<b>Owner Name:</b> TRANSPORT LEASING CORP	<b>Owner Address:</b> 35 BRADLEY DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> M H Sanborn Inc	<b>Contractor Address:</b> 4 Canterbury Lane North Reading	<b>Phone</b> (207) 650-9506
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

- 11 Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 12 Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 13 Fire alarm system requires a wireless master box connection per city ordinance. Masterbox design and installation shall be as approved by City Electrical Division.
- 14 Fire extinguishers required. Installation per NFPA 10
- 15 Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 16 Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
- 17 A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
- 18 A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
- 19 Application requires State Fire Marshal approval.

**Comments:**

5/11/2010-jmb: Left vmsg for Mark S. For details on construction of interior ramp and stairs, exterior stairs and 3 entry canopies, platform construction, the new window u-factors range from .45 to .63. Follow up on the cost of work estimate basis, and the design cert to meet IBC 2003 even though the building was constructed in 1991. Mark called, he will work on some details, the construction details will be delayed as Bill W. is out of town. Also discussed the foyer area, this will be used for social gatherings after the service, therefore is assembly area. At 2801 sf it can hold over 550 and will need a second egress. Looked at changing the door swing and exit signage for exit travel through offices to the side entrance.

5/12/2010-jmb: Scott Furr (tenant) called to inquire about the required details for the platform which is about 600-700 sf. He will submit construction plans. It will be about 22" AFF and have no storage or electrical underneath.

5/13/2010-jmb: Met with Ben W. Today to review the foyer egress and calculation of the occupant load. The second egress can be the door into the office area to the side entrance. This door swing will need to be changed to the direction of travel, panic hardware and exit signage installed throughout. Received email from Mark S. with plans for the concrete steps and rails, spoke to Mark S. About wood (combustible) canopies and HC ramp on exterior of type 3B construction. The canopy is a supported roof open on 3 sides, allowed to be wood frame as type 3 allows combustible roof systems.

5/18/2010-jmb: Received revised plans from Mark S. For the interior ramp and stair construction, received full scale plans from Steve B. For the exterior ramp construction. Still need the structural plans for the canopies and design cert for the current code.

5/19/2010-jmb: Spoke to Mark S. For confirmation of the stair profile, to be carpeted to ease the nose to the riser, will add an intermediate handrail at the stairs.

5/19/2010-jmb: I emailed Scott F. The following based on the review of the stage plans: The platform has to be designed for a uniform load of 125 psf. Since this is not an engineered plan can you please be specific the quantity of dimensional lumber at the bearing points. Essentially there are several 6' x 9'-4" decks being built.

Please specify how the joists are supported at the rims

Please note & revise, the platform does not need guard protection, but the stairs will need handrails

Scott F. called, we reviewed the stage/platform details, this really needs to be a stamped plan as part of this larger project and needs to meet loading codes. He will get plans and may apply for a separate permit. Cost of work will be charged either way.



<b>Location of Construction:</b> 58 CITY LINE DRIVE	<b>Owner Name:</b> TRANSPORT LEASING CORP	<b>Owner Address:</b> 35 BRADLEY DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> M H Sanborn Inc	<b>Contractor Address:</b> 4 Canterbury Lane North Reading	<b>Phone</b> (207) 650-9506
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

5/19/2010-jmb: Received email from Scott F. with drawings for the platform, I emailed back: One issue is that per Mark Sanborn, the work under this permit does not include fit up that the church will do. This can be applied for as a separate permit with or with Mark's approval added to this application. The scope of work and associated costs will need to be addressed.

5/21/2010-jmb: Received email from Alan B. With pdfs of structural plans, could not print a readable copy.

5/25/2010-jmb: Mark S. Submitted the full scale structural drawings, ok to issue pending planning/drc approval

6/7/2010-jmb: Received DRC approval

4/20/2010-mes: Lannie did not get a copy of a required site plan for the permit - I called Mark Sanborn for a copy of the site plan showing parking - I also reminded him that a site plan review was required thru planning.

4/21/2010-mes: I received a copy of the parking plan thru planning who has a submitted site plan review. - WAIT FOR PLANNING SIGN OFF

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Underground electrical or plumbing inspection prior to pouring concrete**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**  
**NOTE: There is a \$75.00 fee per inspection at this point**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**





# General Building Permit Application

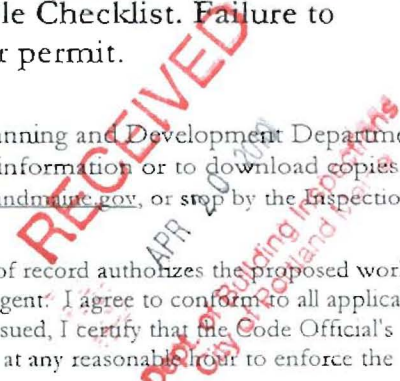
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>52, 54 &amp; 58 CITY LINE DRIVE, PORTLAND ME</u>		
Total Square Footage of Proposed Structure/Area <u>EXISTING 20,720 SF</u>	Square Footage of Lot <u>85153</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>214A-A002-001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>M.H. SANBORN INC</u> Address <u>4 CANTERBURY LANE</u> City, State & Zip <u>NORTH READING, MA 01864</u>	Telephone: <u>207-650-9506</u>
Lessee/DBA (If Applicable) <u>EAST POINT CHRISTIAN CHURCH</u>	Owner (if different from Applicant) Name <u>TRANSPORT LEASING CORP</u> Address <u>35 BRADLEY DRIVE</u> City, State & Zip <u>WESTBROOK</u>	Cost Of Work: \$ <u>225,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>church</u> If vacant, what was the previous use? <u>S-2 - EAST Point Christian church</u>	Proposed Specific use: <u>ASSEMBLY AND WAREHOUSE</u>	Number of Residential Units <u>N/A</u>
Is property part of a subdivision? <u>NO</u>	Project description: <u>CHANGE 15,920 SF FROM S-2 TO A-3 WAREHOUSE</u>	If yes, please name warehouse to church <u>2250 75 Total \$2325</u>
Contractor's name: <u>M H SANBORN INC</u>		
Address: <u>4 CANTERBURY LN,</u>		
City, State & Zip: <u>NORTH READING, MA 01864</u> Telephone: <u>207-650-9506</u>		
Who should we contact when the permit is ready: <u>MARK SANBORN</u> Telephone: <u>207-650-9506</u>		
Mailing address: <u>35 BRADLEY DRIVE, WESTBROOK, ME 04092</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature: M H Sl Date: 4/15/2010

This is not a permit; you may not commence ANY work until the permit is issued

# Separate Fire Permit Required

## Fire Department requirements;

The following shall be submitted on a separate sheet:

- (applicant)*  
*(architect)*  
*M.H. Sanborn, Inc, 4 Canterbury Lane, MA; William E. White, PE, RA*  
*16 Applegate Lane*  
*Falmouth ME 04105*
- Name, address and phone number of applicant **and** the project architect. *A-3 & S-2*
  - Proposed use of structure (NFPA and IBC classification) *15,920 existing to change of use*
  - Square footage of proposed structure (total and per story). *spinklers*
  - Existing and proposed fire protection of structure. *spinklers*
  - Separate plans shall be submitted for
    - a) Suppression system *by system installer*
    - b) Detection System *by system installer*
  - A separate Life Safety Plan must include:
    - ✓ a) Fire resistance ratings of all means of egress *done*
    - ✓ b) Travel distance from most remote point to exit discharge *need*
    - ✓ c) Location of any required fire extinguishers *spinkler - NA*
    - ✓ d) Location of emergency lighting *need by installer*
    - ✓ e) Location of exit signs " " "
    - ✓ f) NFPA 101 code summary
  - Elevators shall be sized to fit an 80" x 24" stretcher. *NA*

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



## **Jeanie Bourke - 54 City Line Drive, East Point Christian Church - Building Permit**

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**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 6/4/2010 4:11 PM  
**Subject:** 54 City Line Drive, East Point Christian Church - Building Permit

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Hi all, this project meets minimum DRC site plan requirements for the issuance of the building permit. Please contact me with any questions.

Thanks.

Phil



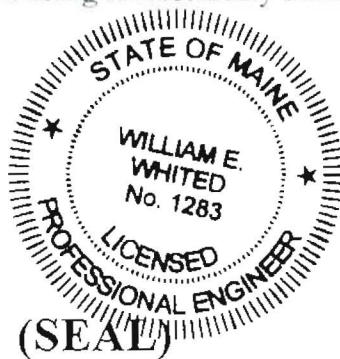
# Accessibility Building Code Certificate

Designer: William E. Whited

Address of Project: 5B CityLine Drive, Portland ME

Nature of Project: Change of Use from warehouse  
to church

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: William E. Whited

Title: N/A

Firm: N/A

Address: 16 Applegate Lane  
Falmouth ME 04105

Phone: 207 781 9838

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)





# Certificate of Design

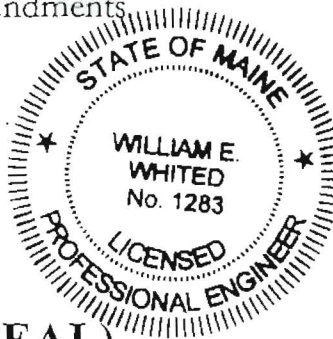
Date: 14 April 2010

From: William E. Whited

These plans and / or specifications covering construction work on:

52, 54 & 58 CityLine Drive, Portland, ME  
Change of Use for an existing building.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: William E. Whited

Title: N/A

Firm: N/A

Address: 16 Applegate Lane  
Falmouth ME 04105

Phone: 207 781 9838

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design Application

From Designer:

William E. White, PE, RA

Date:

14 April 2010

Job Name:

East Point Christian Church Change of Use

Address of Construction:

58 City Line Drive, Portland, ME

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year BOCA 1991 Use Group Classification (s) A-3 & S-2

Type of Construction III

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? Y Supervisory alarm system? Y

Is the Structure mixed use? Y If yes, separated or non separated or non separated (section 302.3) Separated

Geotechnical/Soils report required? (See Section 1802.2) N

### Structural Design Calculations

NA Submitted for all structural members (106.1 - 106.11)

NA Live load reduction  
" Roof live loads (1603.1.2, 1607.11)  
42 Roof snow loads (1603.7.3, 1608)  
60 Ground snow load,  $P_g$  (1608.2)  
42 If  $P_g > 10$  psf, flat-roof snow load  $S$   
0.9 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
1.1 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
1.0 Roof thermal factor,  $C_t$  (1608.4)  
NA Sloped roof snowload,  $P_s$  (1608.4)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>A-3</u>	<u>Slab on grade</u>
<u>S-2</u>	<u>" " "</u>

II ~~III~~ Seismic design category (1616.3)  
Ordinary steel moment frames Basic seismic force resisting system (1617.6.2)  
3/2, 3 Response modification coefficient,  $R$ , and deflection amplification factor  $C_d$  (1617.6.2)  
1617.5.1 Analysis procedure (1616.6, 1617.5)  
14.0 k Design base shear (1617.4, 1617.5.1)

### Wind loads (1603.1.4, 1609)

NA Design option utilized (1609.1.1, 1609.6)  
" Basic wind speed (1809.3)  
" Building category and wind importance Factor,  $I_w$ , table 1604.5, 1609.5)  
" Wind exposure category (1609.4)  
" Internal pressure coefficient (ASCE 7)  
" Component and cladding pressures (1609.1.1, 1609.6.2.2)  
" Main force wind pressures (7603.1.1, 1609.6.2.1)

### Flood loads (1803.1.6, 1612)

NA Flood Hazard area (1612.3)  
70.50 Elevation of structure

### Earth design data (1603.1.5, 1614-1623)

NA Design option utilized (1614.1)  
" Seismic use group ("Category")  
" Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)  
" Site class (1615.1.5)

### Other loads

NA Concentrated loads (1607.4)  
NA Partition loads (1607.5)  
NA Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

**MARGE SCHMUCKAL – ZONING ADMINISTRATOR**  
**APRIL 21, 2010**

This is a change of use from a warehouse to a warehouse and place of religious assembly. The property is located in a B-4 Zone. By my calculation there is a change of use for approximately 9,526 square feet of area. This use has a large storage area which resembles a warehouse use. There is also an existing area of bathrooms and offices which will remain with the addition of another set of bathrooms.

The B-4 Zone allows places of religious assembly as a permitted use under 14-229(b)3.

I have determined the number of parking spaces for the place of assembly and the offices to be 36 parking spaces. Added to that for the remaining 4800 square feet of warehousing is a requirement of 5 more parking spaces for a grand total of 41 required parking spaces. I counted 77 parking spaces on site which is more than zoning requires.

The impervious surface ratio is a maximum of 80%. The applicant gives data that the impervious surface ratio on site is 73% which meets the requirements of the ordinance.

Separate permits shall be required for any new signage through the Inspection Services office.

Marge Schmuckal



Applicant: East Point Christian Church Date: 4/20/10

Address: 58 City Lane Drive

C-B-L: 214A-A-002

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Trying to get under a moratorium - #10-0383

Zone Location - B-4

Interior or corner lot -

Proposed Use/Work - 15,920# - change of use to church & warehousing

Sewage Disposal - City 14-229(b)3 - places of religious assembly

Lot Street Frontage - 60' min 9526# ch of use

Front Yard - 20' min - 20' + shown

Rear Yard - 20' min - 20' + shown

Side Yard - 10' min - 20' + shown

Projections -

Width of Lot - 60' min ~ 190' given

Height - 65' MAX - 430' given

Lot Area - 10,000# min - 85,153# given

Lot Coverage/Impervious Surface - 80% MAX - 73% given place of assembly

Area per Family - N/A

Off-street Parking - 1 pkg spc for each 125# of assembly area  
41' x 84' = 3444 ÷ 125 = 27.55 areas or 28 pkg for assembly

Loading Bays -

3156 ÷ 400 = 7.89 or 8 pkg req

total 36 pkg spaces req  
I counted 77 pkg spaces

Site Plan - #10-79900006

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 12 - Zone X

3675 for warehouse  
41 total for Bldg  
77 pkg spaces provided

Separate permits for new synage

6000# ÷ 125 = 48 pkg on whole area



Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Lee Urban- Director of Planning and Development  
Marge Schmuckal, Zoning Administrator

### Meeting Information

DATE: 2/18/10 <sup>52-58</sup> <sup>214A-A-2</sup>

LOCATION: 9 Johnson Rd. City Line Dr

PEOPLE PRESENT: Marge - Barbara - Scott Furr  
MARK Samborn

ZONE: B-4 Zone Eastpoint Christian Church in Sebago Now

DISCUSSION: MARK had AS-built -  
DHL WAS in there previously -  
TAkeout most of overhead doors -  
Scott had floor plans showing A proposal of what they would like  
≈ 15,920 sq ft Area change of use  
Places of Assembly/churches Allowed  
required Planning Board review -  
Joint use - will also be requested with time Warner  
Barbara Discussed possible changes to Site plan Ordinance  
shooty for July, 2010 for occupancy -  
Steve Bushey will be handling  
Board will look at lighting - Need cut-offs,

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at [www.portlandmaine.gov](http://www.portlandmaine.gov).



# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details *existing building*
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout. *by P.E. retained by installers*
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review *by P.E. retained by installer*
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are also required if original plans are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

*Existing*  
*walls R = 14*  
*Roof R = 19*  
*Floor - NA, slab on grade*



***William E. Whited***

*Professional Engineer, Registered Architect*

*16 Applegate Lane, Falmouth, Maine  
(207) 781 9838*

11 April, 2010

City of Portland  
Building Inspection Division  
Planning and Development Department  
389 Congress Street  
Portland, Maine 04101

Re: East Point Christian Church / DHL Building  
52, 54 & 58 City Line Road, Portland, Maine

Dear Sir/Madam:

The owner of this property is Transport Leasing Corp., the applicant is M. H. Sanborn, Inc., 4 Canterbury Lane, North Reading, MA. M. H. Sanborn is a principal in Transport Leasing Corp. I am the project engineer and architect for the permitting of this building and have prepared the schematic drawing for its construction. Mr. Sanborn's telephone number is 207 856 6045, his cell telephone number is 207 650 9506. My telephone number is 207 781 9838.

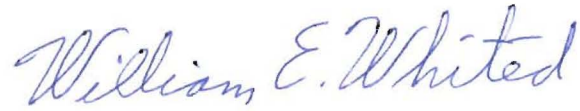
The proposed use of the existing building is A-3 Assembly and S-2 Storage. Total square footage is 20,720 square feet, all on one floor. The proposed change of use is 15,920 ? square feet to be A-3 use and 4,800 square feet to continue as S-2 use.

Existing building is fully sprinkled to conform to NFPA 13 requirements and any new spaces will be also sprinkled to the NFPA 13 standard. The system will be monitored by a 24 hour a day security service.

Separate plans of the suppression system, detection system, location of fire extinguishers, emergency lighting, exit sign, strobe and audio alarm systems are required to be prepared by a licensed professional engineer retained by the installing contractor.

The Code Compliance Plan submitted with this letter indicates the travel distance from the most remote point to exit discharge. It also indicates the fire resistance of all means of egress.

Sincerely,

A handwritten signature in blue ink that reads "William E. Whited". The signature is written in a cursive style with a large, stylized "W" and "E".

William E. Whited

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

**Applications**

**Doing Business**

**Maps**

**Tax Relief**

**Tax Roll**

**Q & A**

browse city services a-z

browse facts and links a-z

CBL 214A A002001  
 Land Use Type TRANSPORTATION  
 Property Location ~~74 JOHNSON RD~~  
 Owner Information TRANSPORT LEASING CORP  
 35 BRADLEY DR  
 WESTBROOK ME 04092

Book and Page  
 Legal Description 214A-A-2  
~~JOHNSON RD 74-170~~  
 85153 SF  
 Acres 1.955

*now called*

*52-58 City Line Drive*

**Current Assessed Valuation:**

<b>TAX ACCT NO.</b>	29056	<b>OWNER OF RECORD AS OF APRIL 2009</b>
		TRANSPORT LEASING CORP
<b>LAND VALUE</b>	\$416,700.00	35 BRADLEY DR
<b>BUILDING VALUE</b>	\$638,500.00	WESTBROOK ME 04092
<b>NET TAXABLE - REAL ESTATE</b>	\$1,055,200.00	
<b>TAX AMOUNT</b>	\$18,719.26	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**Building Information:**



Best viewed at 800x600, with Internet Explorer

Card 1 of 1

Year Built 1982  
 Style/Structure Type PREFAB WAREHOUSE  
 # Units 1  
 Building Num/Name 1 - AIRBORNE EXPRESS  
 Square Feet 15920

[View Sketch](#) [View Map](#) [View Picture](#)



**Exterior/Interior Information:**

Card 1

Levels 01/01  
 Size 13520  
 Use WAREHOUSE  
 Height 20  
 Walls METAL-LIGHT  
 Heating UNIT HEAT  
 A/C NONE

Card 1

Levels 01/01  
 Size 2400  
 Use MULTI-USE OFFICE  
 Height 20  
 Walls METAL-LIGHT  
 Heating HEAT PUMP  
 A/C CENTRAL

**Other Features:**

Card 1

Structure OVERHEAD DOOR - WD/MT  
 Size 8X8

Card 1

Structure OVERHEAD DOOR - WD/MT  
 Size 8X10

Card 1

Structure DOCK LEVELERS  
 Size 1X8



**Card 1**  
**Structure** OVERHEAD DOOR - WD/MT  
**Size** 10X12

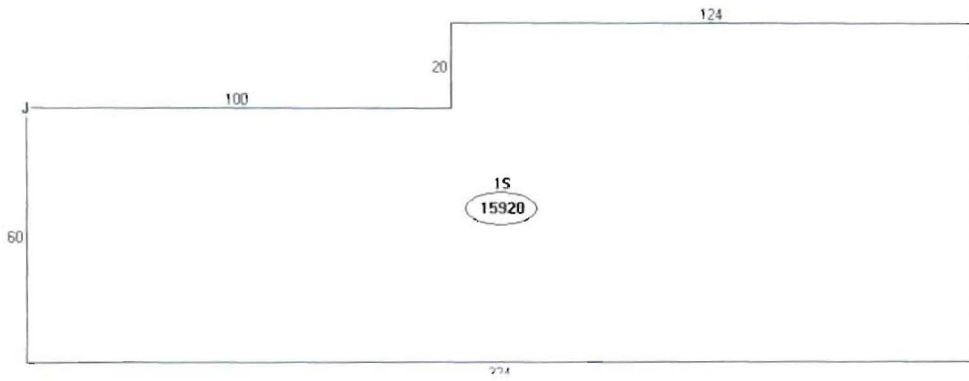
**Card 1**  
**Structure** CENTRAL AIR  
**Size** 16X40

**Card 1**  
**Structure** SPRINKLER - WET  
**Size** 15920X1

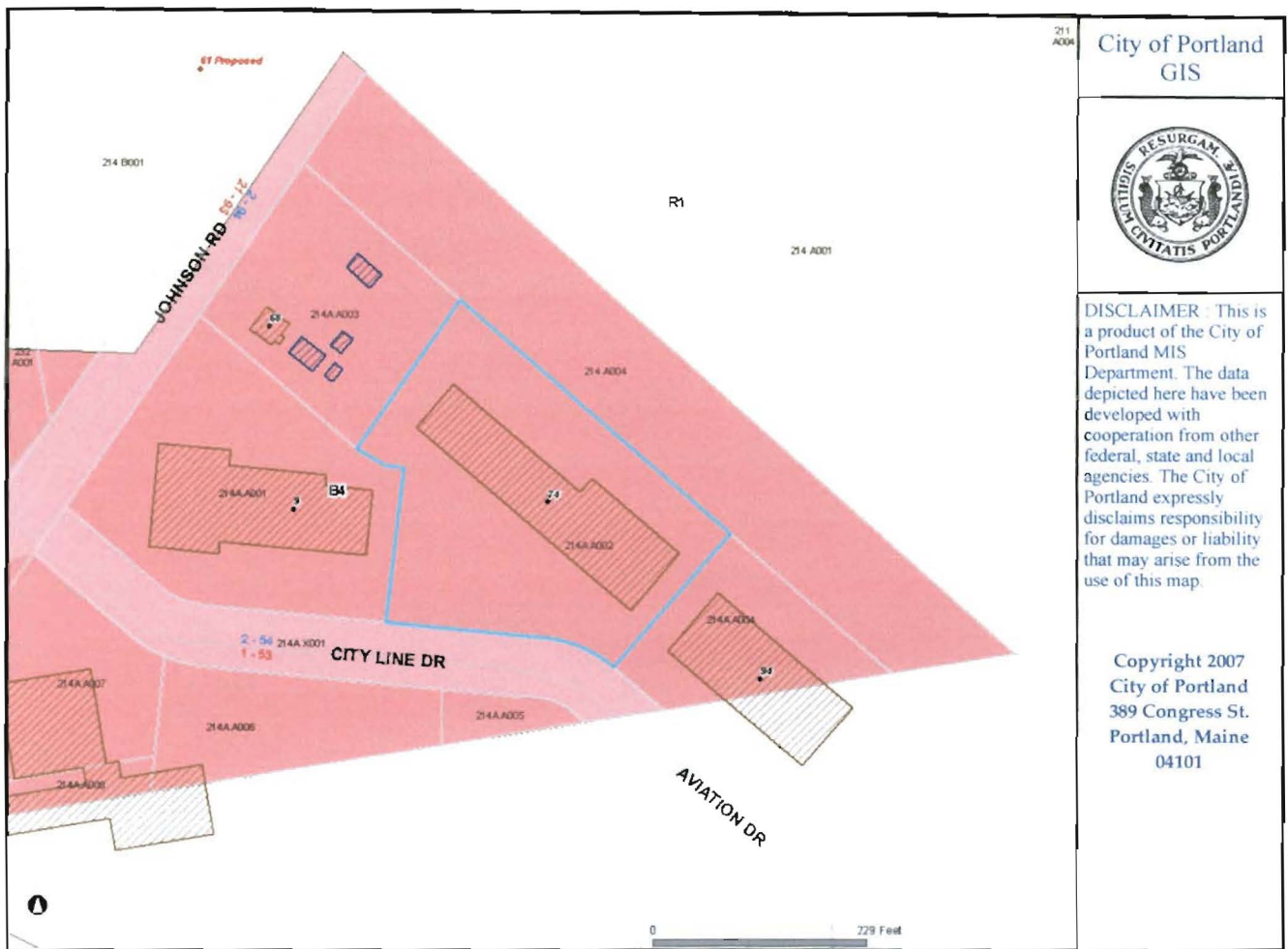
***Outbuildings/Yard Improvements:***

**Card 1**  
**Year Built** 1992  
**Structure** ASPHALT PARKING  
**Size** 10000  
**Units** 1  
**Grade** C  
**Condition** 3

[New Search!](#)



Descriptor/Area
A: 045 13520 sqft
B: 082 2400 sqft
C: OVERHEAD DR-WOOD/MTL 64 sqft
D: OVERHEAD DR-WOOD/MTL 80 sqft
E: CENTRAL AIR CONDITIONING 640 sqft
F: SPRINKLER SYS WET 15920 sqft
G: OVERHEAD DR-WOOD/MTL 120 sqft
H: DOCK LEVELERS 8 sqft
I: 1S 15920 sqft
J: PA1 10000 sqft



211  
A004  
City of Portland  
GIS



DISCLAIMER - This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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City of Portland  
389 Congress St.  
Portland, Maine  
04101



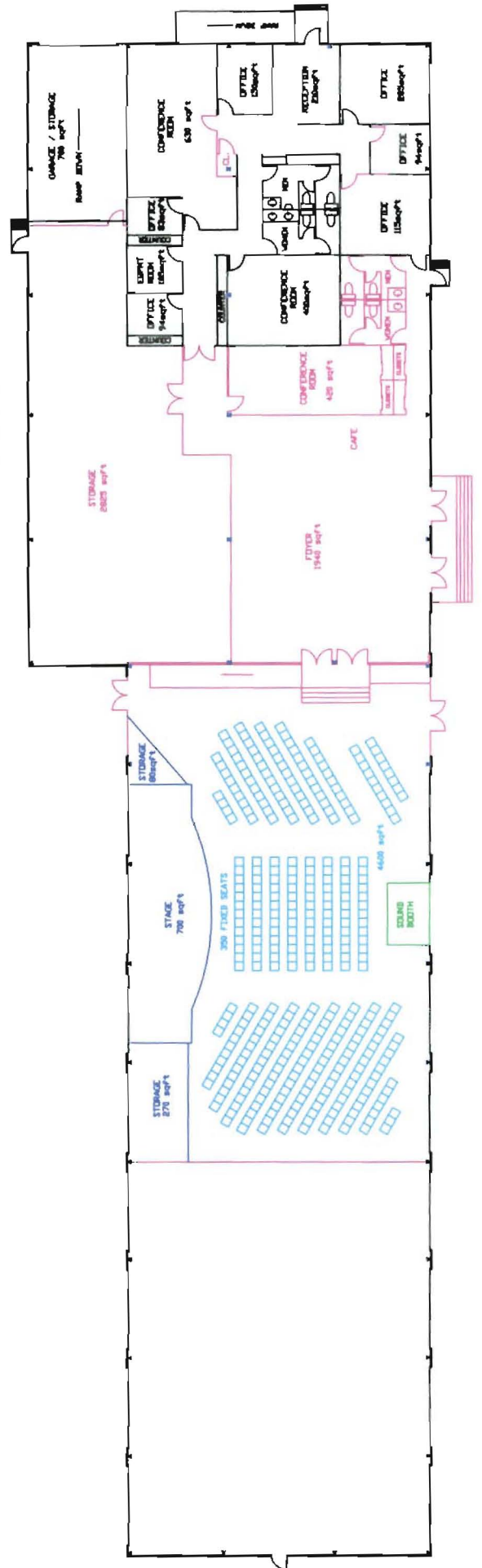
# EASTPOINT CHRISTIAN CHURCH

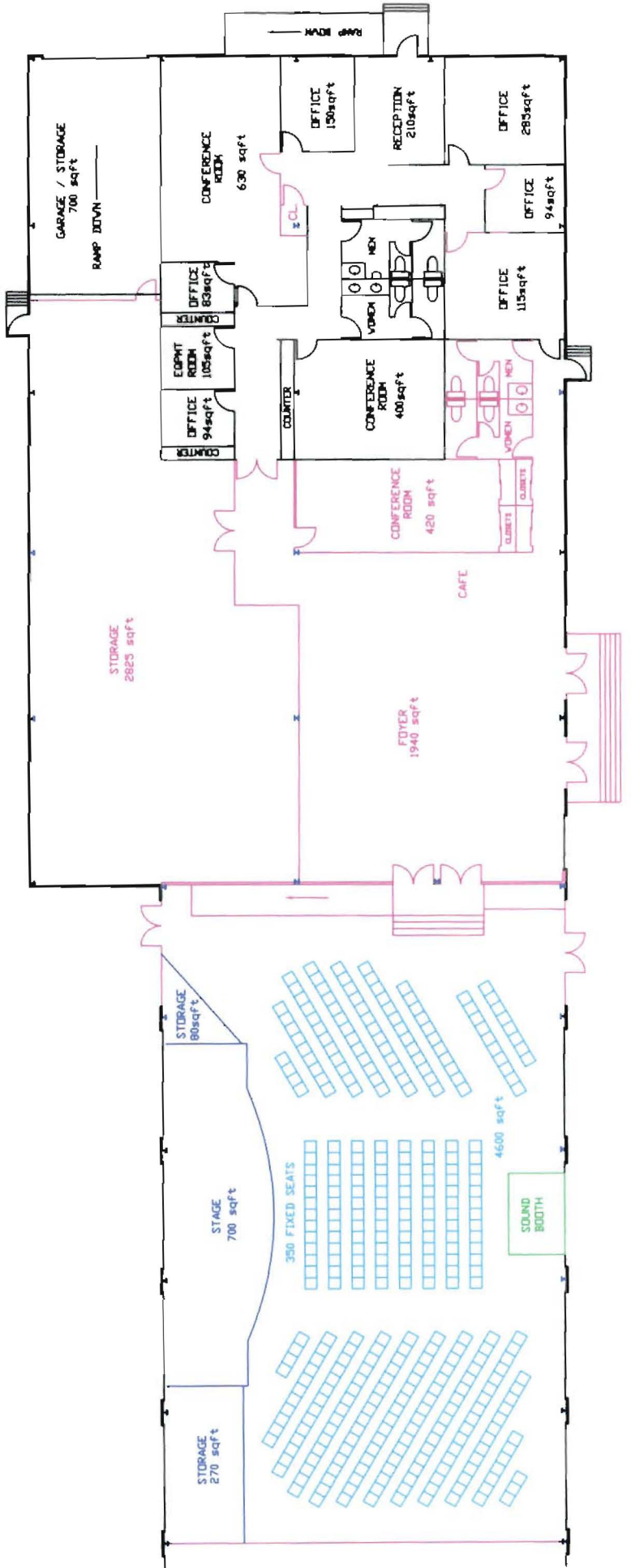
Preliminary Design for Property at:

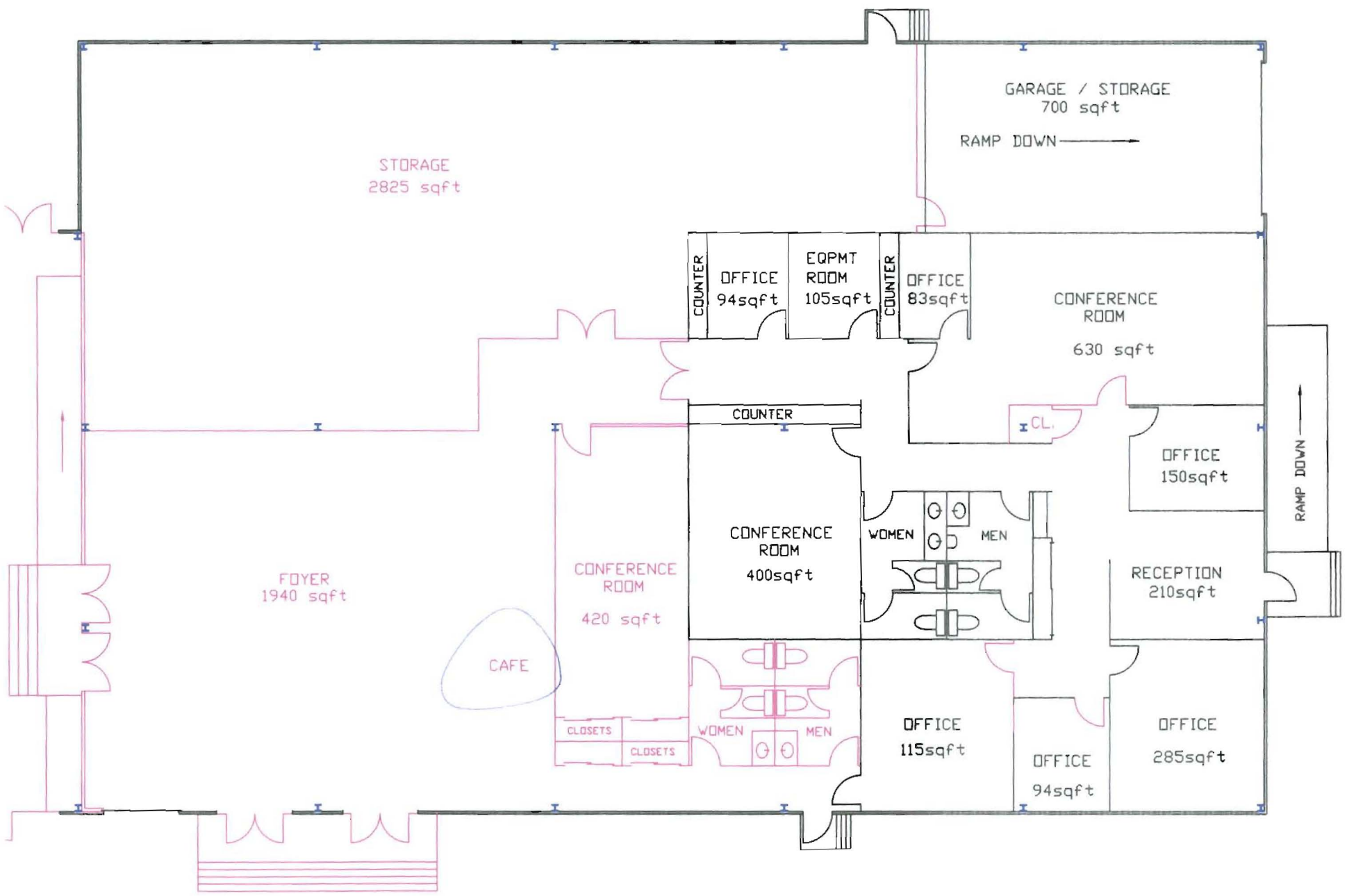
~~9 Johnson Road, Portland, ME~~  
Now Called 58 City Line Drive

2/18/10

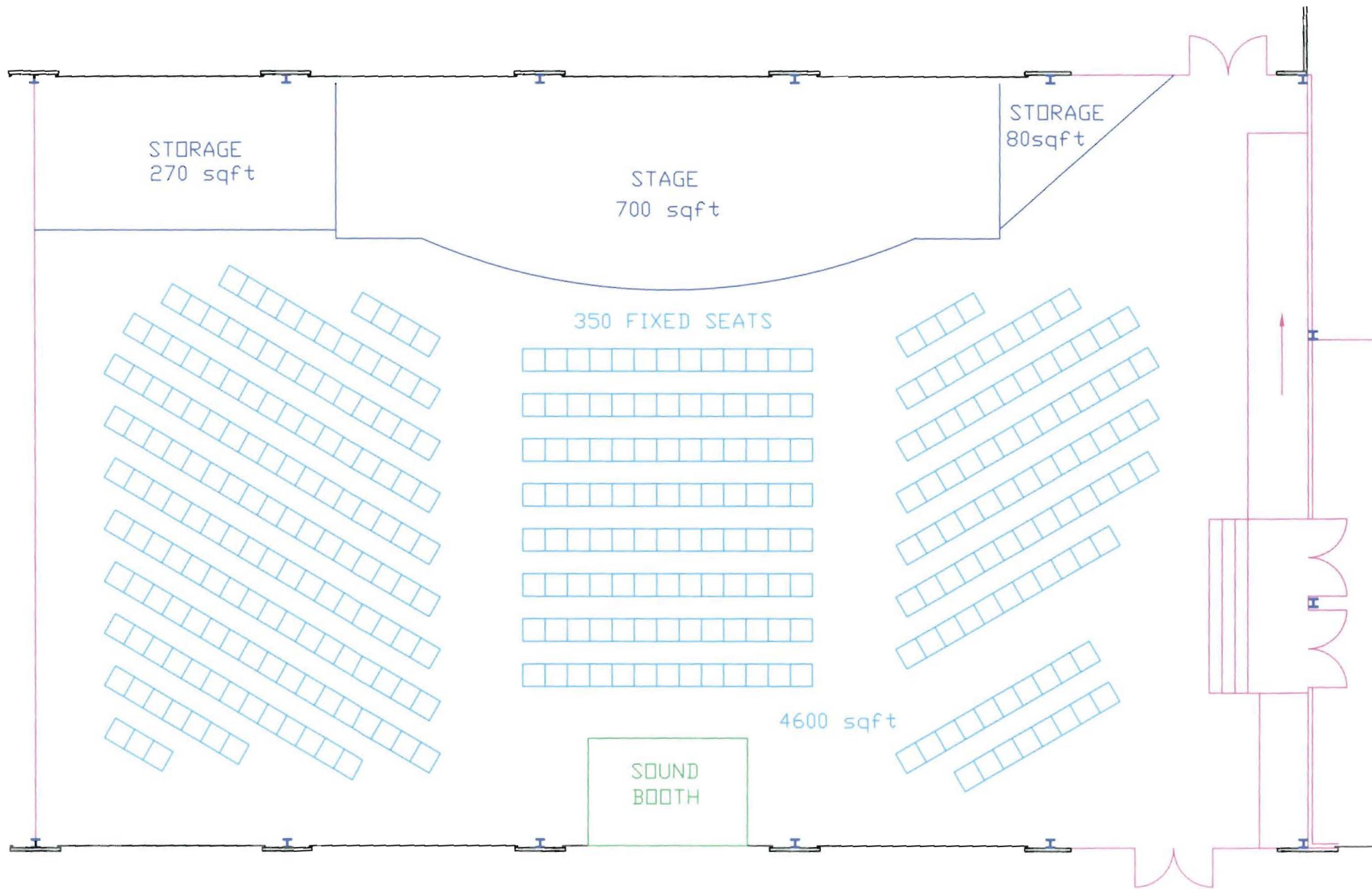
#15,920











**From:** "Mark Sanborn" <mark@abcorental.com>  
**To:** <jmb@portlandmaine.gov>  
**Date:** 5/12/2010 10:51 AM  
**Subject:** FW: Updated plans for East Pointe Christian Church  
**Attachments:** scan 589.pdf; scan 588.pdf

Jeanne,

Here is the cross section of the exterior ramp.

I will get you the cross section of the exterior stairs next.

Mark Sanborn

Transport Leasing Corp.

From: Steve Bushey [mailto:SBushey@DelucaHoffman.com]  
Sent: Wednesday, May 05, 2010 3:03 PM  
To: Mark Sanborn; mark@abcorental.com  
Subject: Updated plans for East Pointe Christian Church

Mark,

The attached plans call out the ADA ramp detail that I have added to the detail sheet. Trust this meets your needs.

Stephen Bushey PE

Senior Engineer

DeLuca-Hoffman Associates, Inc.

778 Main Street, Suite 8

South Portland, Maine 04106

207-775-1121

Fax 207-879-0896

sbushey@delucahoffman.com

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MAY 12 2010  
Dept. of Building Inspections  
City of Portland Maine

**From:** "Mark Sanborn" <msanborn34@hotmail.com>  
**To:** "Jeanie Bourke" <JMB@portlandmaine.gov>  
**Date:** 5/13/2010 10:50 AM  
**Subject:** FW: 18' Wide step with rail  
**Attachments:** 18-4-84 Landscape (1).pdf

Jeanie,

Attached is the shop drawing for the pre-engineered precast steps to be used from American Concrete in Auburn.

Would you please call me at the office regarding our to do list.

Thanks in advance,

Mark Sanborn

From: Lacey Barcelou [mailto:lacey@americanconcrete.com]  
Sent: Thursday, May 13, 2010 9:18 AM  
To: msanborn34@hotmail.com  
Cc: richard@americanconcrete.com  
Subject: FW: 18' Wide step with rail

Forwarding this e-mail again per Richards request. Please let either Richard or myself know if you receive it.

Lacey A. Barcelou

American Concrete Industries

1022 Minot Avenue

Auburn, ME 04210

207-784-1388

Fax: 207-783-4039

NAWIC: National Association of Women in Construction

Maine Chapter 276 Vice President

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City of Portland Maine

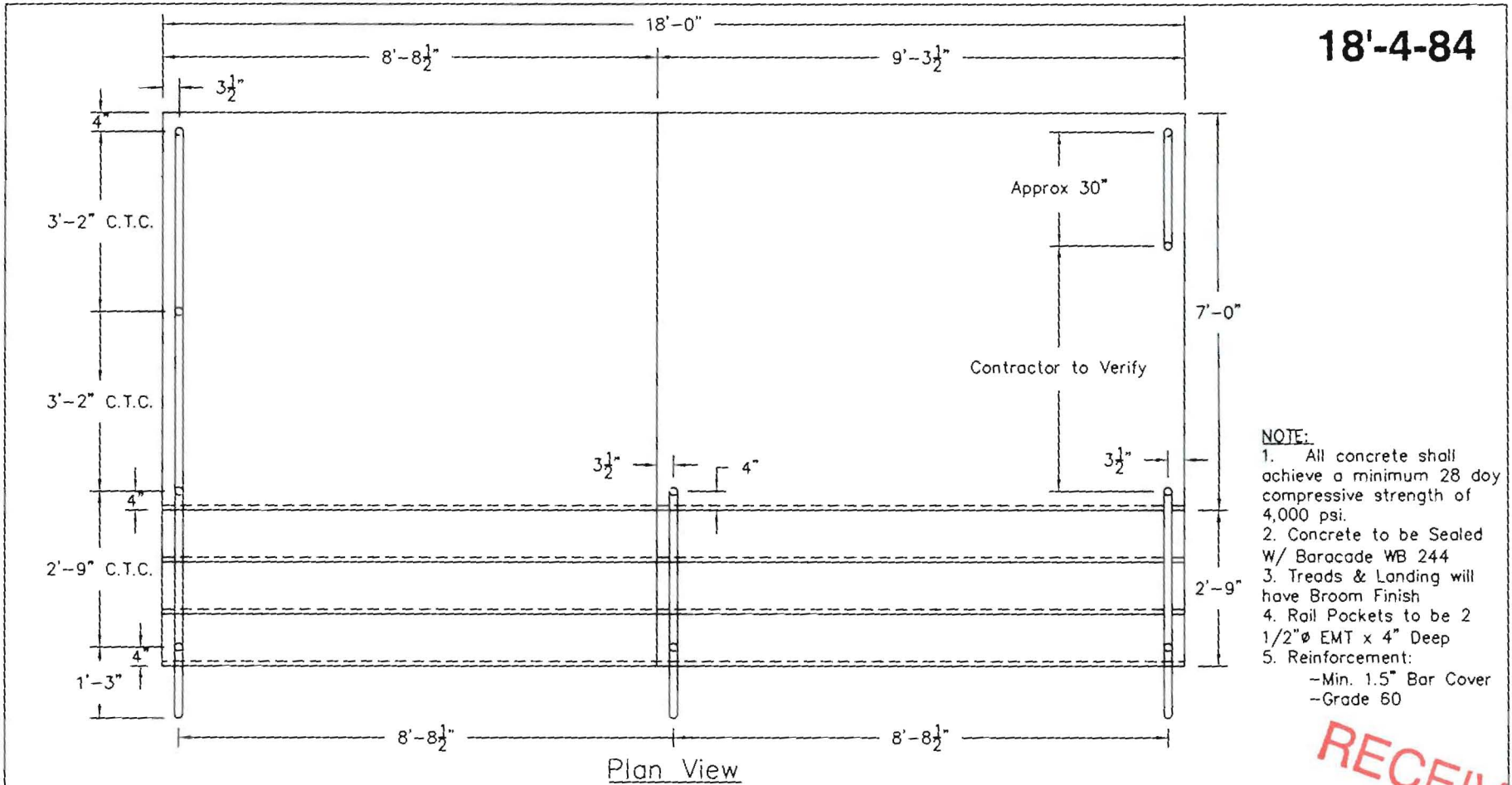
American Concrete Industries

Bongor 800-432-7843  
207-947-8334

Auburn 800-638-9000  
207-784-1388

3/8" = 1'-0"  
4/2/10

18-4-84



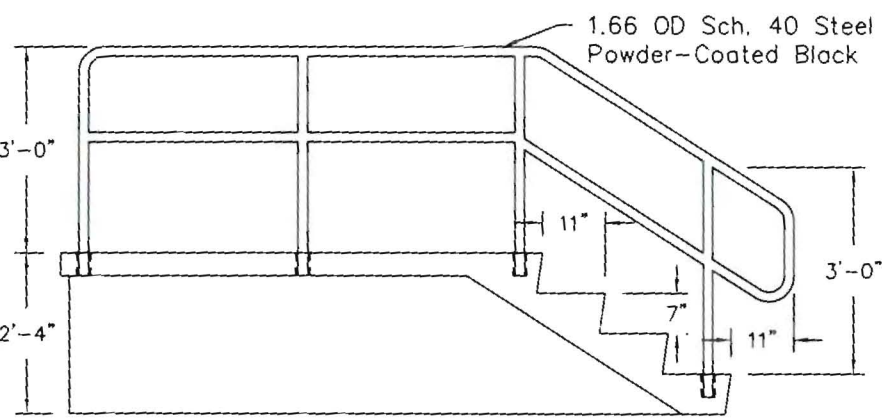
18'-4-84

- NOTE:
1. All concrete shall achieve a minimum 28 day compressive strength of 4,000 psi.
  2. Concrete to be Sealed W/ Baracade WB 244
  3. Treads & Landing will have Broom Finish
  4. Rail Pockets to be 2 1/2" Ø EMT x 4" Deep
  5. Reinforcement:
    - Min. 1.5" Bar Cover
    - Grade 60

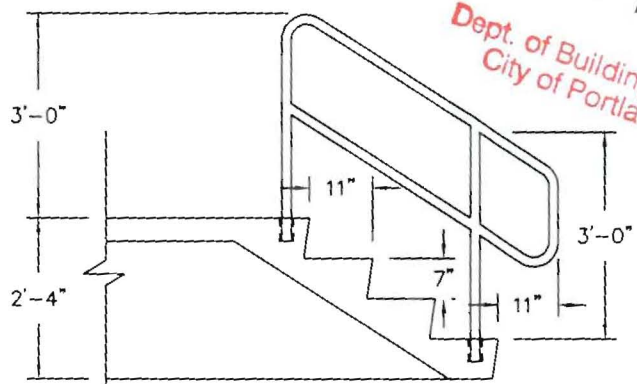
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City of Portland Maine



Left Rail



Center & Right Rail



350 seats  
Assembly  $\frac{50}{100}$

Foyer  
Assembly  
social gatherings

Area  $\rightarrow$

$\downarrow$   
 $\downarrow$   
 $\rightarrow$

760 per  
 $175 = \frac{1}{2} \text{ of } 350$   
\$85-00.

**From:** "Mark Sanborn" <msanborn34@hotmail.com>  
**To:** "Bill Whited" <wwhited2@maine.rr.com>  
**CC:** <JMB@portlandmaine.gov>, <James.A.Graves@maine.gov>  
**Date:** 5/20/2010 2:52 PM  
**Subject:** RE: East Point Church  
**Attachments:** East Point Church 5-18-10 SFM.doc

Bill,

Thanks for the quick turnaround on these .pdfs.

Jim and Jeanie,

If possible, please let me know if you are missing anything else. I will hop right on it. I will insure a horn strobe is added in the large storage room and remove the exit sign leading people back through the office area per your letter dated. Do you need another drawing from Eastern or are we okay?

Per the state's fire code requirements, we added a center rail at the foyer to worship area stairway, changed Door 16 swing and extended the landing platform.

Regards,

Mark Sanborn

From: Bill Whited [mailto:wwhited2@maine.rr.com]  
Sent: Thursday, May 20, 2010 2:13 PM  
To: msanborn34@hotmail.com  
Cc: JMB@portlandmaine.gov; James A.Graves@maine.gov  
Subject: East Point Church

Hi, all

Seven drawings PDF

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City of Portland Maine



JOHN ELIAS BALDACCI  
GOVERNOR

STATE OF MAINE  
Department of Public Safety  
Office of State Fire Marshal  
52 State House Station  
Augusta, ME 04333-0052

ANNE H. JORDAN  
COMMISSIONER

JOHN C. DEAN  
STATE FIRE MARSHAL

Mr. Mark Sanborn  
35 Bradley Drive  
Westbrook, Maine 04092

May 18, 2010

**RE: East Point Church**

Mr. Sanborn

Your drawings have been reviewed under the Federal ADA, Maine State Human Rights and NFPA 101 Life Safety Code, 2006 Edition and all referenced publications; please provide detailed information on the following items:

- #1 – Please provide a handrail in the center of the stairway that leads to the main sanctuary.
- #2 – Please provide the required clear space at the beginning of the ADA ramp that leads to the main sanctuary.
- #3 – Please add a horn strobe in the large storage room.
- #4 – Please remove the exit sign that directs people to exit through the office.
- #5 – Please change the door swing on door #16

Should you have any questions do not hesitate to contact me.

Respectfully,

James A. Graves  
Fire Inspector II, Plans Examiner  
Maine State Fire Marshals Office  
52 State House Station  
Augusta, Maine 04333-0052  
207-626-3884 Office  
207-287-6251 Fax

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City of Portland Maine

PREVENTION \* MITIGATION/ SUPPRESSION \* LAW ENFORCEMENT

OFFICES LOCATED AT: 500 CIVIC CENTER DRIVE, AUGUSTA, MAINE 04330  
(207) 626-3870 ADMINISTRATION/ INVESTIGATIONS (207) 287-3659 TOD  
(207) 626-3880 INSPECTIONS/ PLANS REVIEW

(207) 287-6251 FAX

**DeLuca-Hoffman Associates, Inc.**  
 Consulting Engineers  
 778 Main Street, Suite 8  
 South Portland, Maine 04106  
 (207) 775-1121  
 Fax (207) 879-0896

**LETTER OF TRANSMITTAL**

DATE May 13, 2010	JOB NO.
ATTENTION Jeanne Bourke	
RE East Point Christian Church	
Change of Use	
52 City Line Drive	

**TO: City of Portland**  
**Buildings Division**  
**3<sup>rd</sup> floor**  
**City Hall, Congress Street**

We are sending you  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop Drawings     Prints     Plans     Samples     Specifications  
 Copy of Letter     Change Order     \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1			Site Plans

THESE ARE TRANSMITTED as checked below.

- For Approval                                     Approved as Submitted                     Resubmit \_\_\_\_\_ Copies for Approval  
 For Your Use                                       Approved as noted                         Submit \_\_\_\_\_ copies for distribution  
 As requested                                       Returned for corrections                 Return \_\_\_\_\_ corrected prints  
 For review and comment                       \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_                       PRINTS RETURNED AFTER LOAN TO US

REMARKS: Jeanne,

Per Mark Sanborn's request please find the attached drawings for your review, pertaining to the change of use at 52 City Line Drive, Transport Leasing Corp. is the applicant.

If you require any other additional information, please contact our office.

COPY TO:



SIGNED: Steve Busby

*If enclosures are not as noted, kindly notify us at once.*



## Jeanie Bourke - Stage/Platform Sketches for Eastpoint Christian Church

---

**From:** "SCOTT FURR" <sgfurr@gmail.com>  
**To:** <jmb@portlandmaine.gov>  
**Date:** 5/17/2010 3:29 PM  
**Subject:** Stage/Platform Sketches for Eastpoint Christian Church  
**Attachments:** Sheet 1 of 7.pdf; Sheet 2 of 7.pdf; Sheet 3 of 7.pdf; Sheet 4 of 7.pdf; Sheet 5 of 7.pdf; Sheet 6 of 7.pdf; Sheet 7 of 7.pdf

Jeanie-

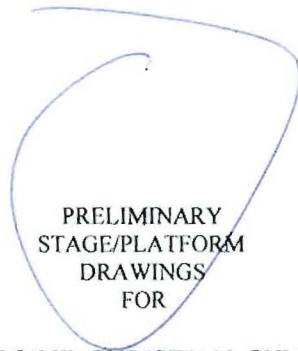
We spoke last week on the phone about the stage/platform for Eastpoint Christian Church. Attached you will find sketches of the stage. All material sizes shown in the drawing are for typical framing lumber.

Currently the stage height is designed for 28inches, but it may change to 35inches if the church decides it is too low. If the height increase is added in, the new height will not change the overall design of the stage. Please let me know if this will work for our purposes.

Best regards,  
-Scott Furr  
Relocation Coordinator  
Eastpoint Christian Church  
Cell- 730-2758

Shall Be  
a separate  
permit

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City of Portland Maine

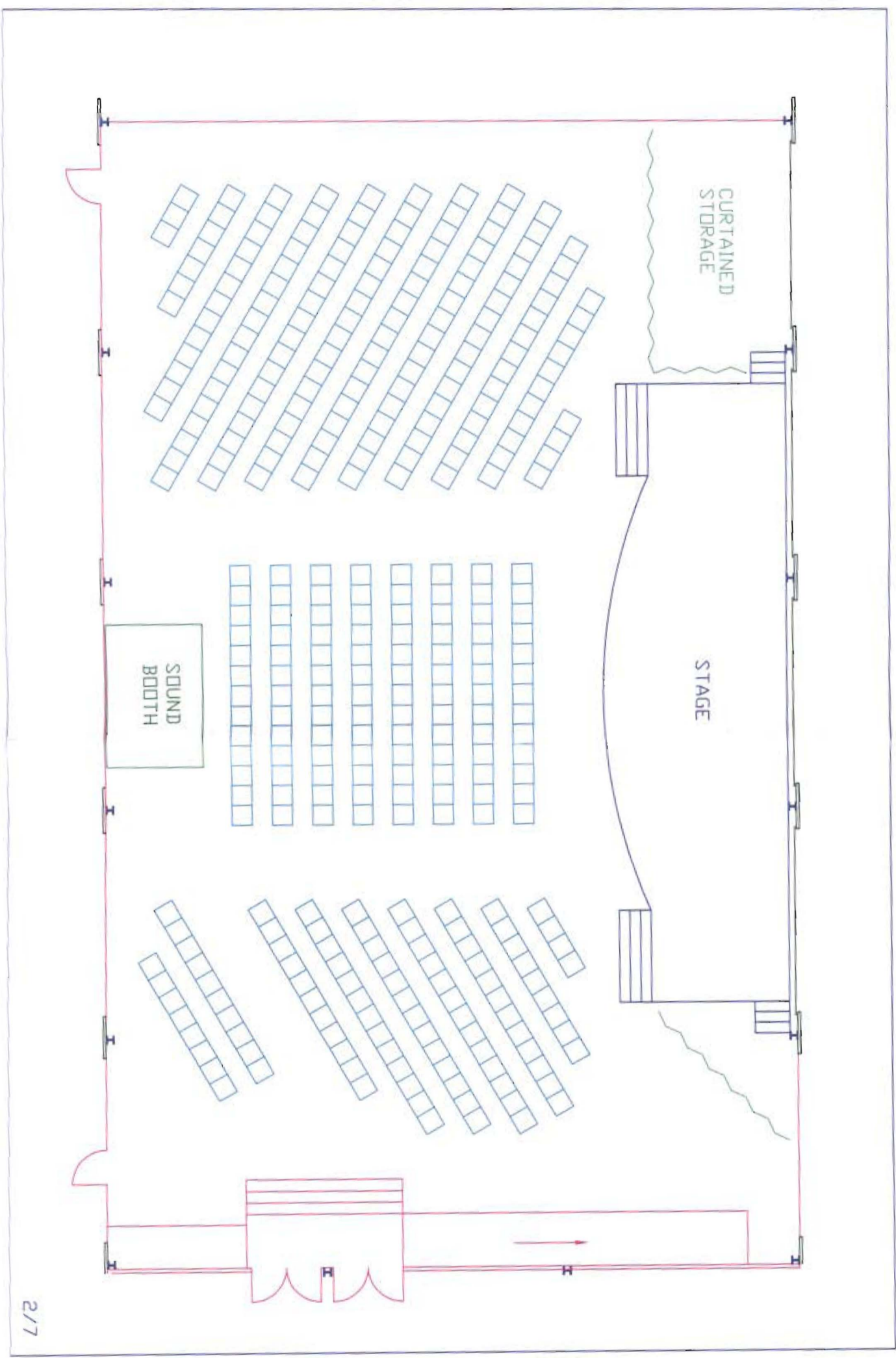


PRELIMINARY  
STAGE/PLATFORM  
DRAWINGS  
FOR

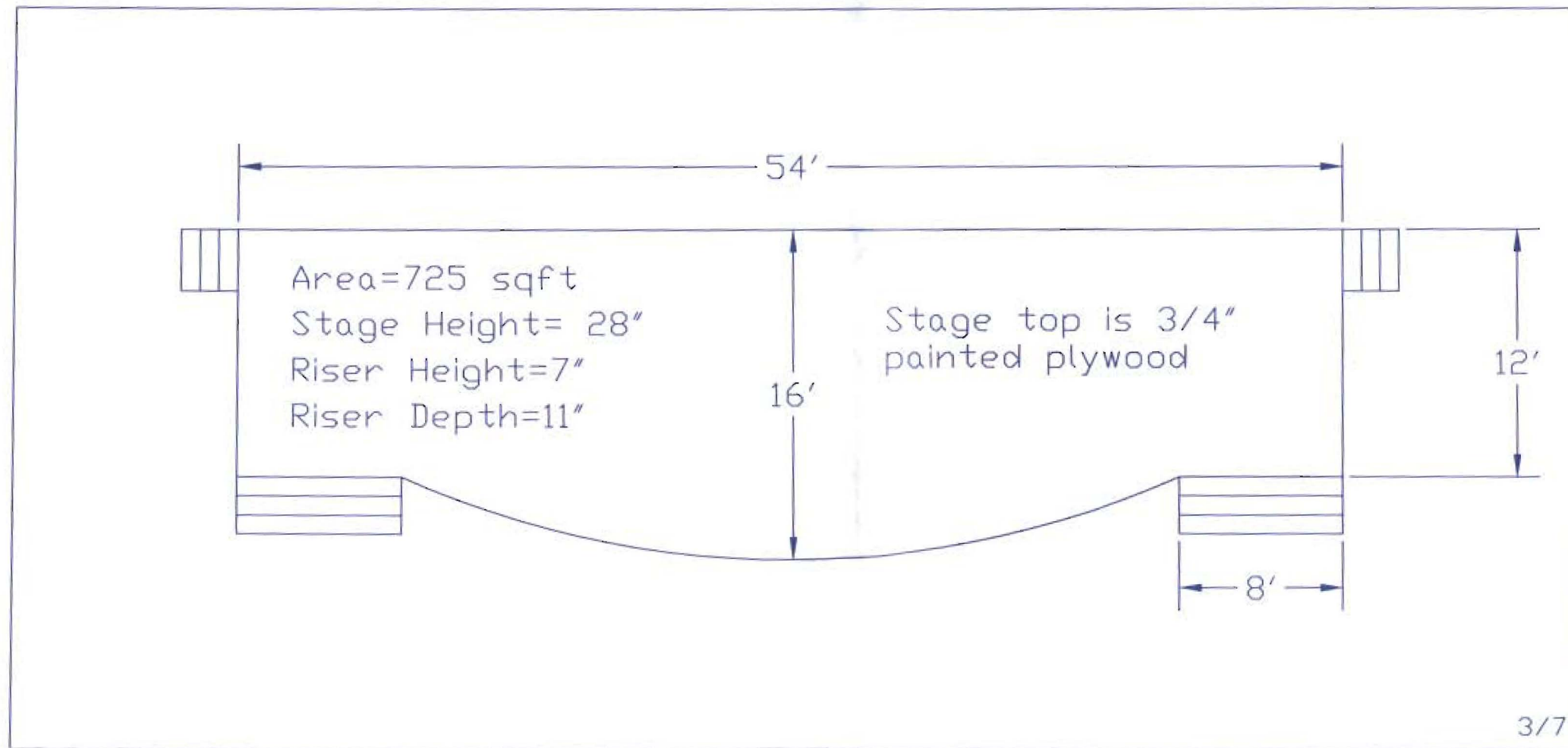
EASTPOINT CHRISTIAN CHURCH

At future location of:  
(Suite B) located at Building 5, located on Lot 4  
54 & 58 City Line Drive, Portland, Maine

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**City of Portland Maine**

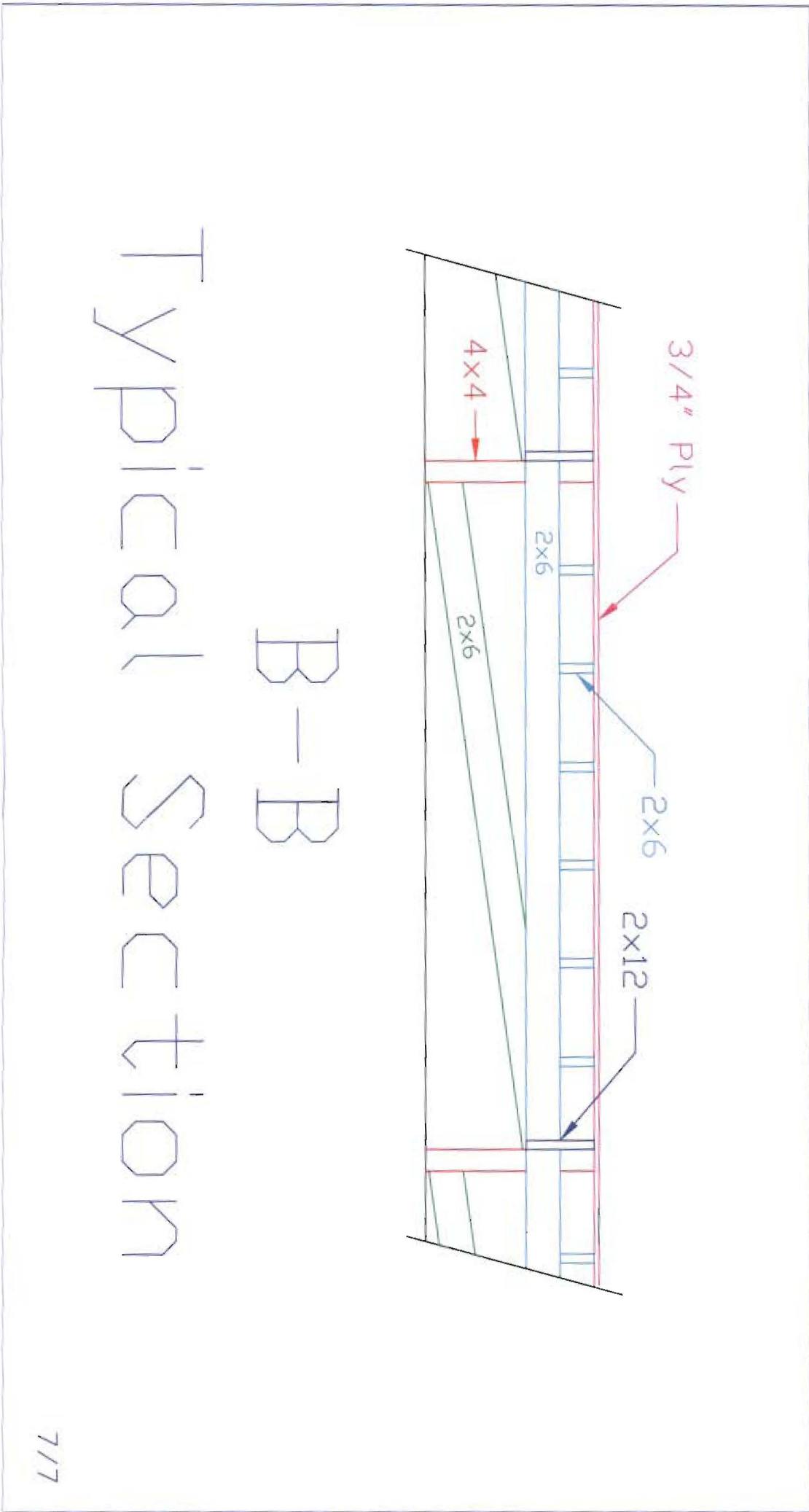


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MAY 17 2009

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PK 9.10g

BEGIN CURB

4' CRUSHED STONE DRIP EDGE

END CURB

SAWCUT EXISTING PAVEMENT (TYP)

4' WHITE PAVEMENT MARKINGS (TYP.) COORDINATE WITH OWNER

PROPOSED LANDSCAPE BITUMINOUS CURB TYPE MOLD 1 (TYP)

NEW PAVEM SECTION

8

5

11

RESERVED R.O.W.

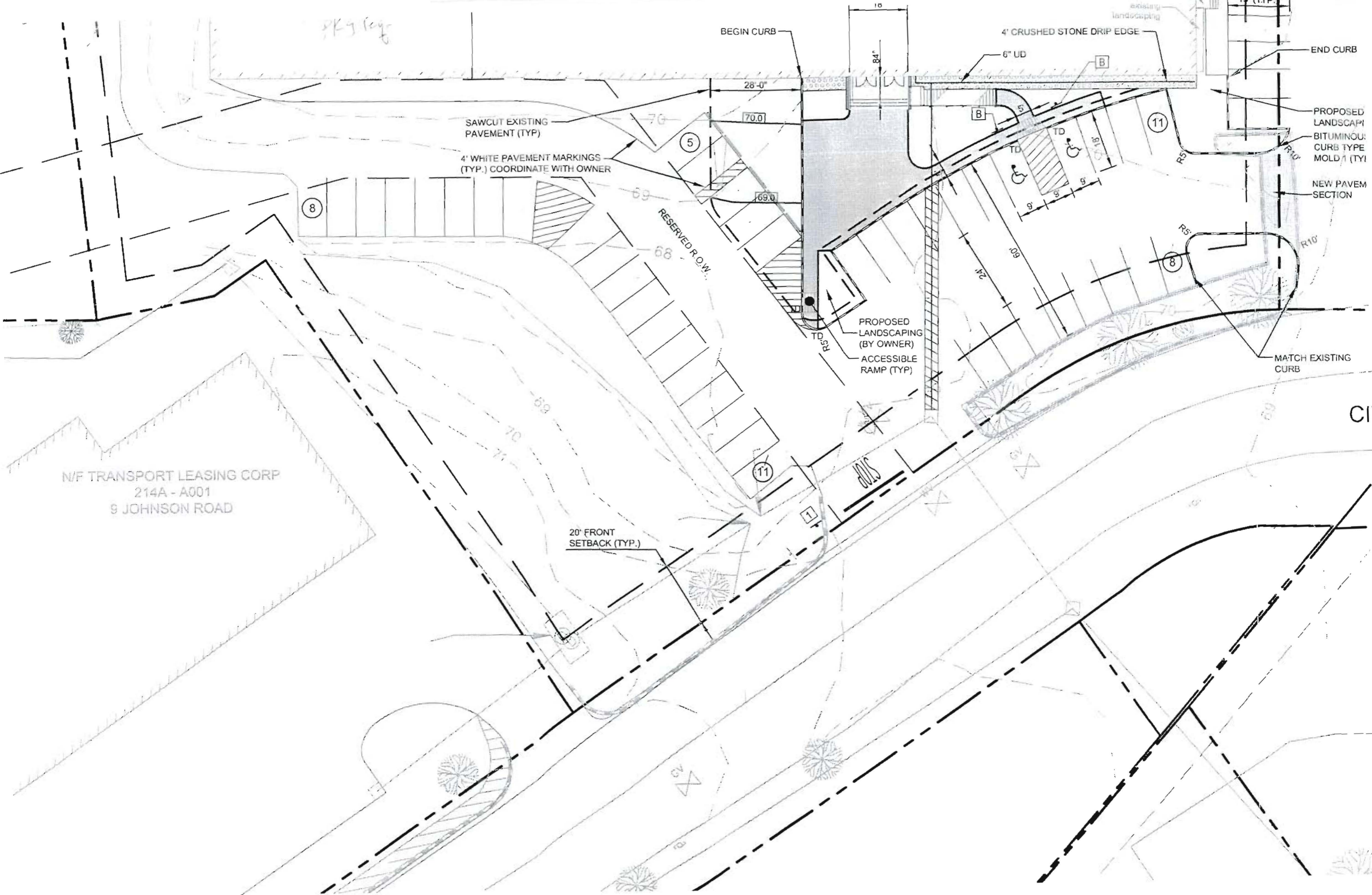
PROPOSED LANDSCAPING (BY OWNER)  
ACCESSIBLE RAMP (TYP)

MATCH EXISTING CURB

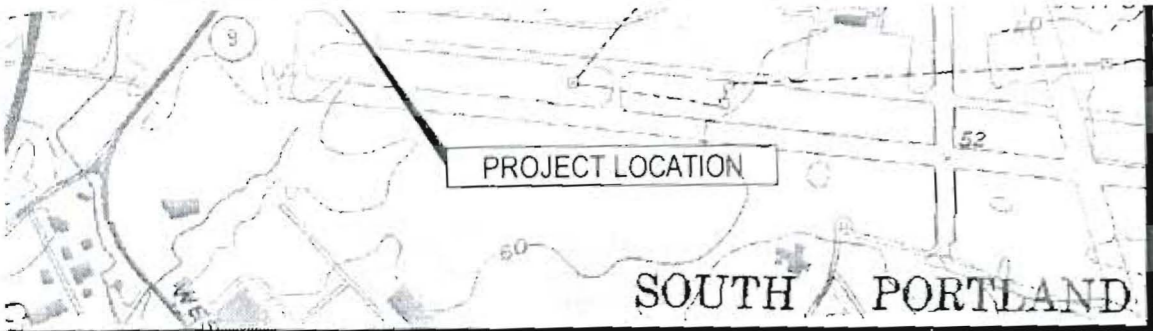
N/F TRANSPORT LEASING CORP  
214A - A001  
9 JOHNSON ROAD

20' FRONT SETBACK (TYP.)

CI

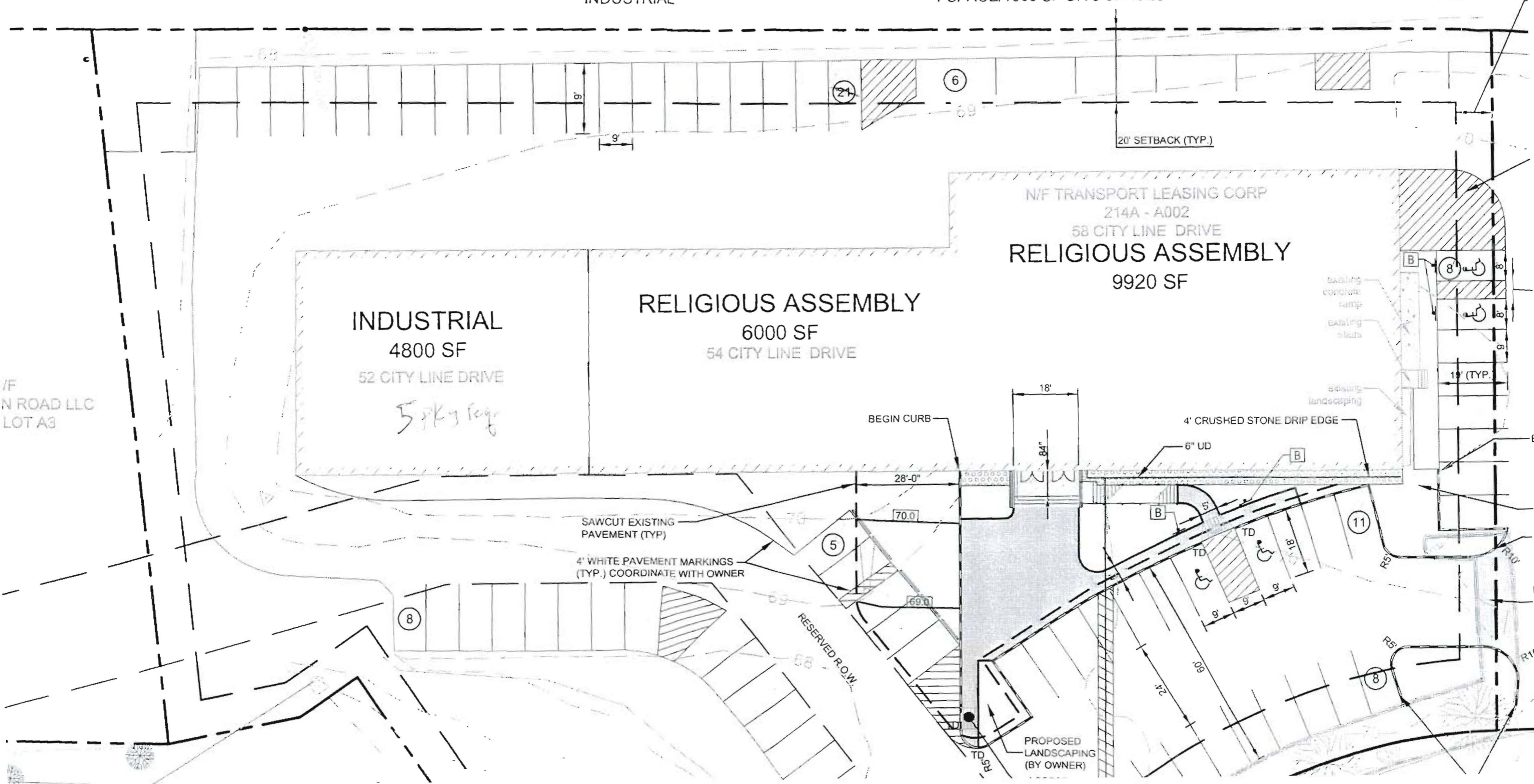






LOCATION MAP - NTS

MINIMUM LOT WIDTH	50 FT.	190'±
MAXIMUM HEIGHT	65 FT.	<30 FT.
MAXIMUM IMPERVIOUS SURFACE RATIO	80%	73%
MAXIMUM FLOOR AREA RATIO	0.65	0.24
<b>PARKING REQUIREMENTS</b>		
PLACES OF ASSEMBLY	1 SPACE/125 SF OF ASSEMBLY AREA OR 62 SPACES	97 SPACES
INDUSTRIAL	1 SPACE/1000 SF OR 5 SPACES	5 SPACES



1/8  
N ROAD LLC  
LOT A3

**INDUSTRIAL**  
4800 SF  
52 CITY LINE DRIVE

*5 pkgs Reg*

**RELIGIOUS ASSEMBLY**  
6000 SF  
54 CITY LINE DRIVE

N/F TRANSPORT LEASING CORP  
214A - A002  
58 CITY LINE DRIVE  
**RELIGIOUS ASSEMBLY**  
9920 SF

SAWCUT EXISTING PAVEMENT (TYP.)  
4' WHITE PAVEMENT MARKINGS (TYP.) COORDINATE WITH OWNER

RESERVED R.O.W.

PROPOSED LANDSCAPING (BY OWNER)

20' SETBACK (TYP.)

BEGIN CURB

4' CRUSHED STONE DRIP EDGE

existing concrete ramp  
existing stairs

existing landscaping

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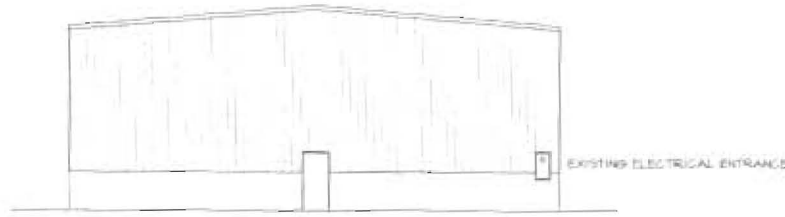
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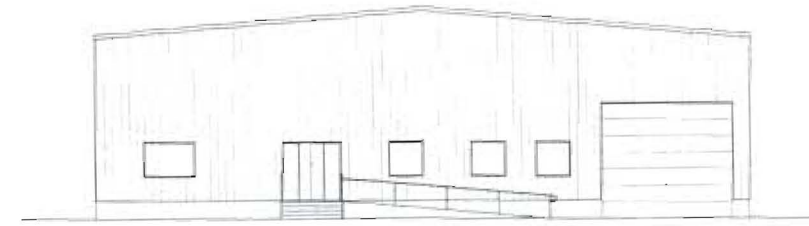
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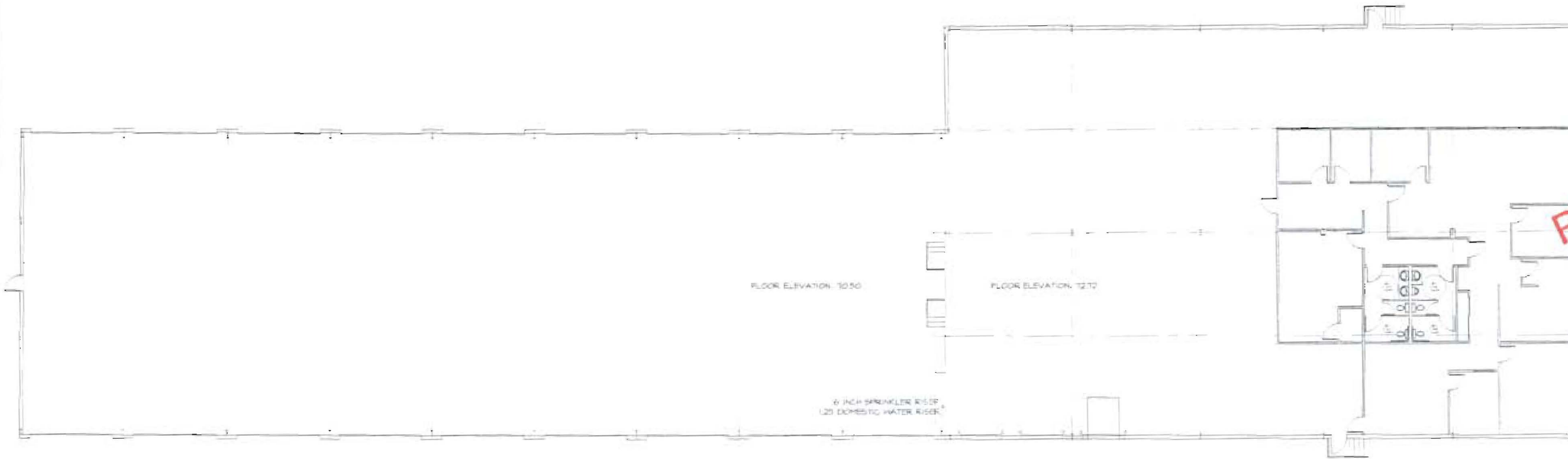
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NORTH EXISTING ELEVATION - 3/32" = 1'-0"

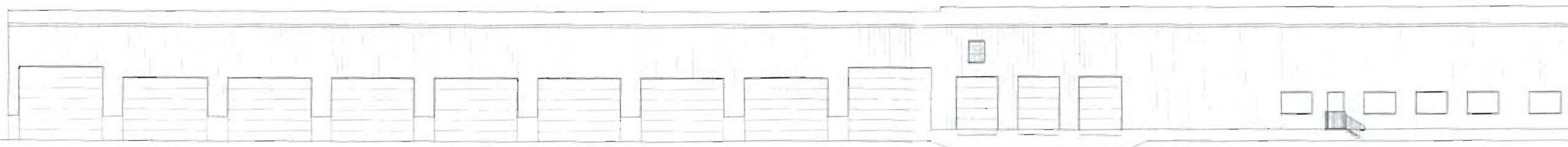


SOUTH EXISTING ELEVATION - 3/32" = 1'-0"

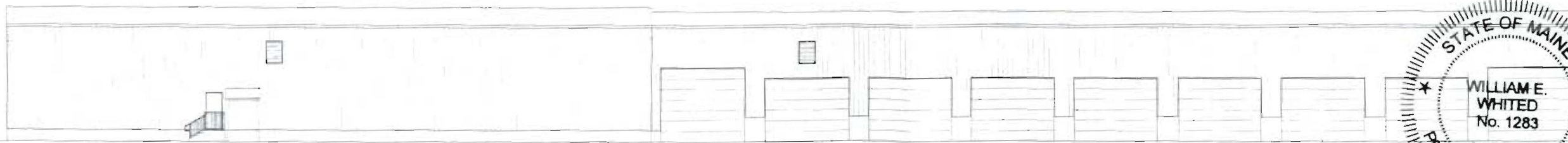


EXISTING FLOOR PLAN - 3/32" = 1'-0"

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 City of Portland Maine



WEST EXISTING ELEVATION - 3/32" = 1'-0"



EAST EXISTING ELEVATION - 3/32" = 1'-0"

REFERENCES  
 DAYLARK CONSTRUCTION INC  
 FARMOUTH MAINE  
 AIRBORNE EXPRESS TERMINAL  
 PORTLAND MAINE  
 DATED: 04 MARCH 1992  
 EXISTING BUILDING IS FULLY SPRINKLERED  
 PER NFPA STANDARD 13  
 EXISTING BUILDING IS PRE-ENGINEERED METAL

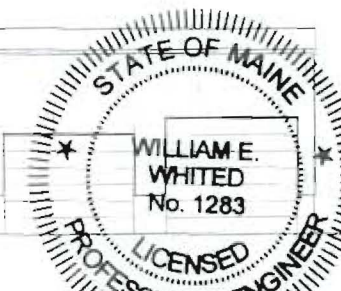
OWNER  
 TRANSPORT LEASING CORP  
 35 BRADLEY DRIVE  
 WESTBROOK, MAINE 04092

LEASEE  
 EAST POINT  
 CHRISTIAN CHURCH

LOCATION  
 56 CITY LINE DRIVE  
 PORTLAND, MAINE 04103

EXISTING BUILDING  
 FLOOR PLAN & ELEVATIONS

10 MARCH 2010  
 WILLIAM WHITED P.E. NO. 1283

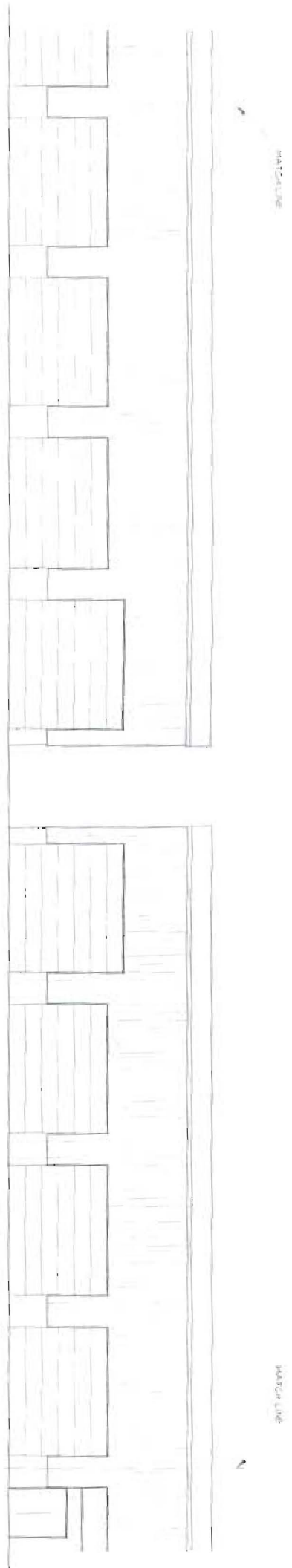


*William E. Whited*  
 12 April 2010



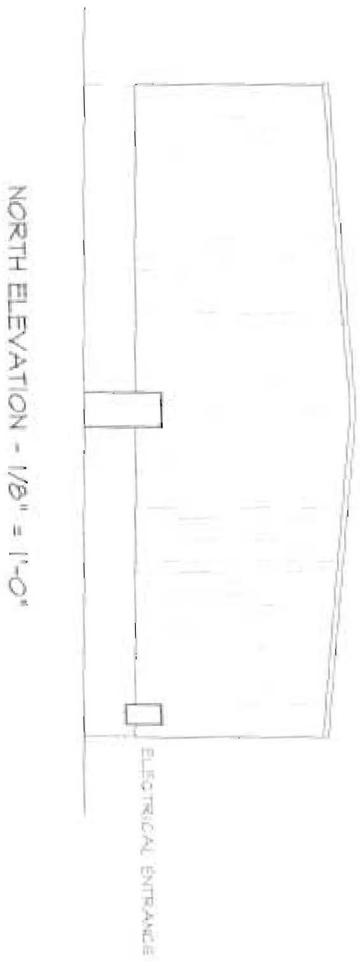




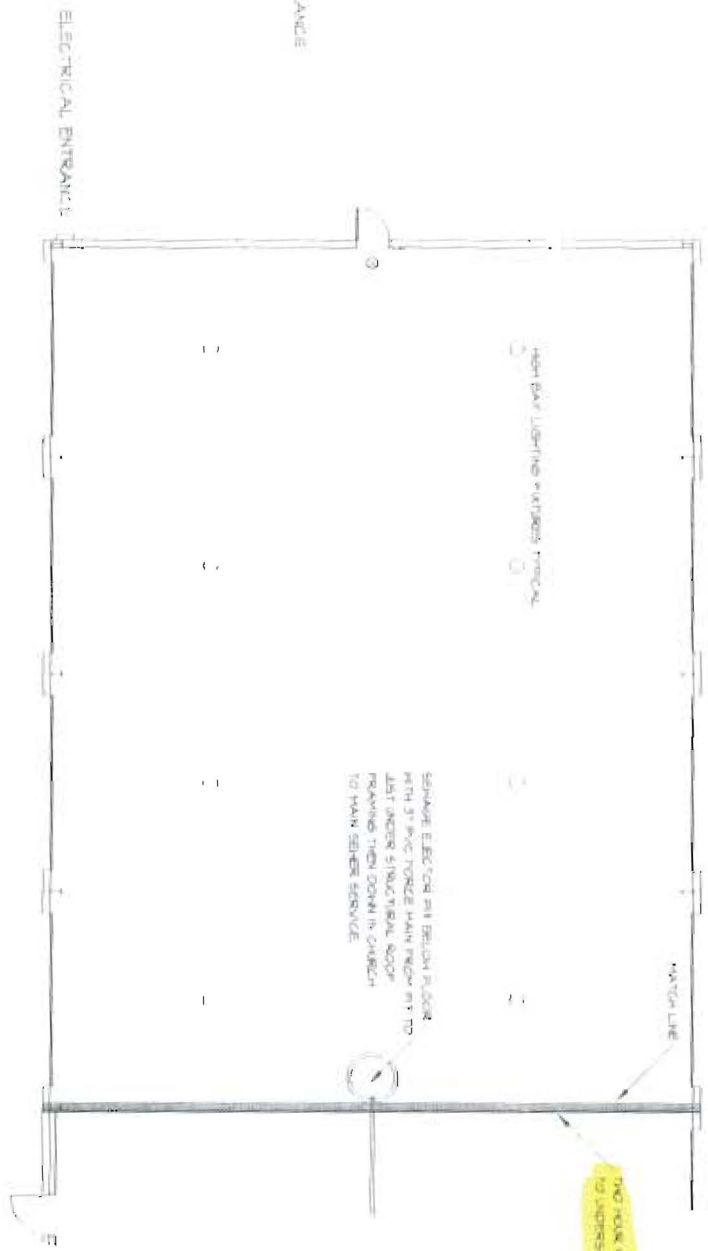


EAST ELEVATION - 1/8" = 1'-0"

WEST ELEVATION - 1/8" = 1'-0"



NORTH ELEVATION - 1/8" = 1'-0"



WAREHOUSE FLOOR PLAN - 1/8" = 1'-0"

OWNER:  
TRANSPORT LEASING CORP.  
35 BRADLEY DRIVE  
WESTBOROUGH, MAINE 04092

LEASER:  
TRANSPORT LEASING CORP.  
WAREHOUSE TENANT

LOCATION:  
58 CITY LINE DRIVE  
ORLAND MAINE 04052

DATE:  
24 MARCH 2010

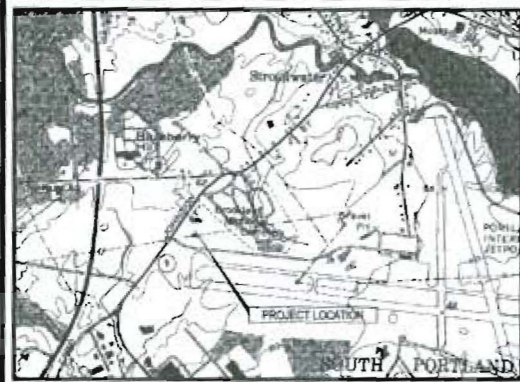
PROJECT NO.  
WILLIAM WHITTED PE NO. 289

SHEET 1 OF 1

STATE OF MAINE  
WILLIAM WHITTED  
No. 12893  
LICENSED PROFESSIONAL ENGINEER

FLOOR PLAN & ELEVATIONS

20 April 2010



LOCATION MAP - NTS

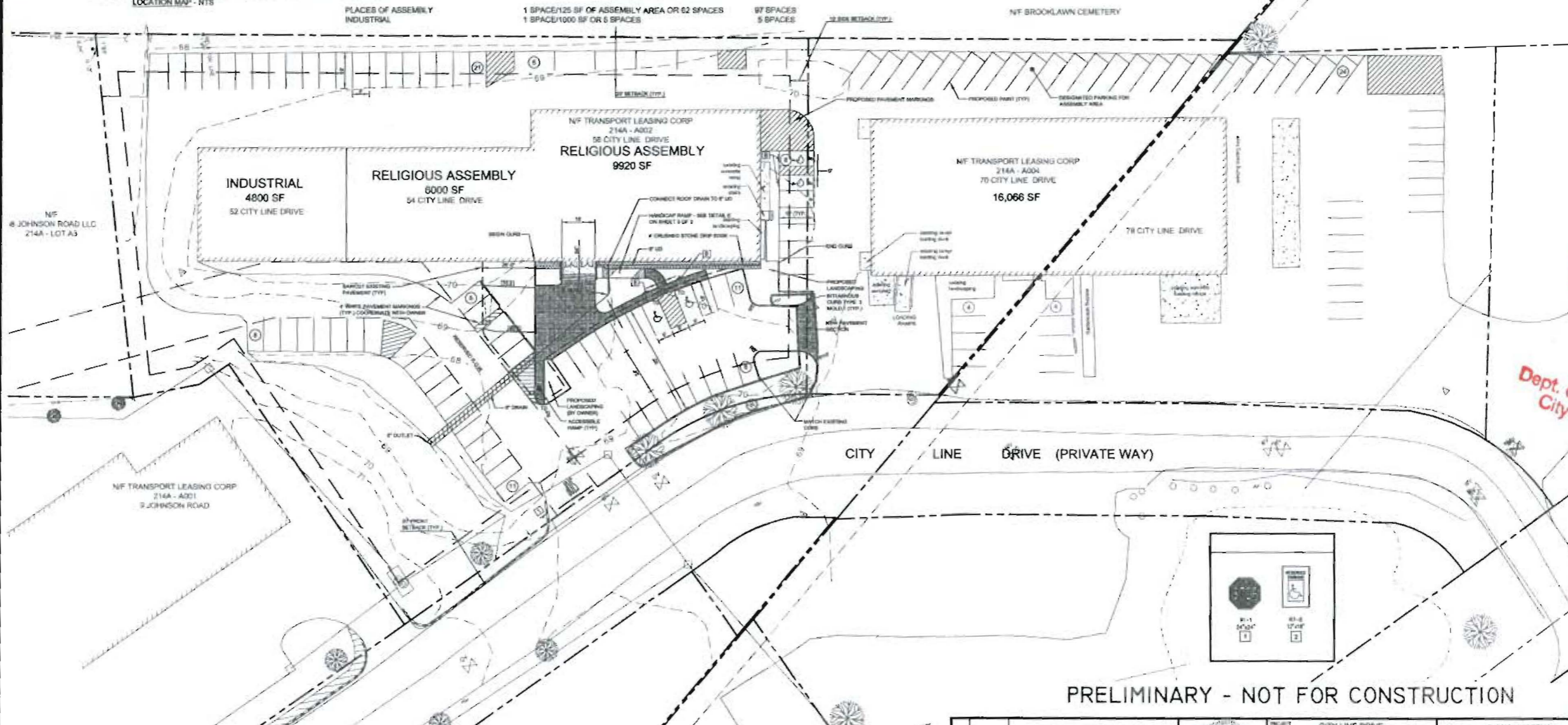
**ZONING DATA**  
 ZONE: B-4 COMMERCIAL CORRIDOR ZONE  
 PERMIT USES INCLUDE: PLACES OF RELIGIOUS ASSEMBLY

DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	10,000 SF	85,153 SF
MINIMUM STREET FRONTAGE	50 FT.	244.70'
MINIMUM FRONT YARD	20 FT.	73'
MINIMUM REAR YARD	20 FT.	38'
MINIMUM SIDE YARD	10 FT.	25'
MINIMUM LOT WIDTH	50 FT.	180'
MAXIMUM HEIGHT	35 FT.	<30 FT.
MAXIMUM IMPERVIOUS SURFACE RATIO	80%	73%
MAXIMUM FLOOR AREA RATIO	0.85	0.28

**PARKING REQUIREMENTS**

PLACES OF ASSEMBLY	INDUSTRIAL	1 SPACE/125 SF OF ASSEMBLY AREA OR 62 SPACES	1 SPACE/1000 SF OR 6 SPACES	97 SPACES	5 SPACES
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**LEGEND**



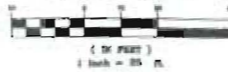
PRELIMINARY - NOT FOR CONSTRUCTION

**PLAN REFERENCES:**

AMENDED FINAL PLAT FOR JOHNSON ROAD SUBDIVISION - BY WILLIAM F WHITED, INC. DATED OCTOBER 21, 1999. CCRD PLAN BOOK 199 PAGE 530 RECORDED NOVEMBER 15, 1999.



**GRAPHIC SCALE:**

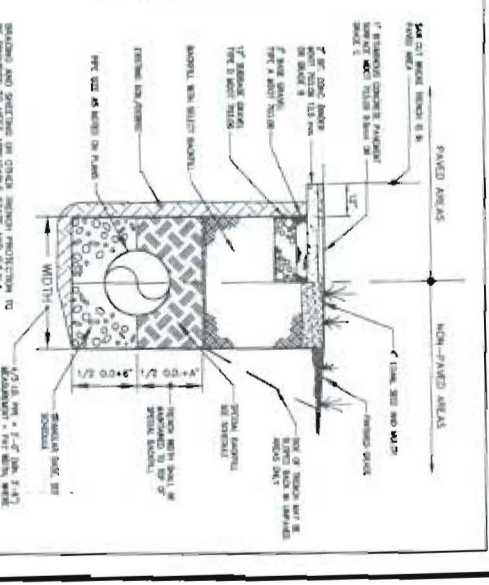
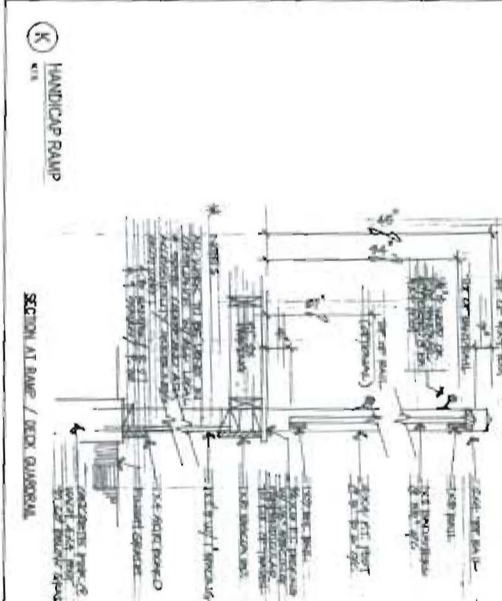
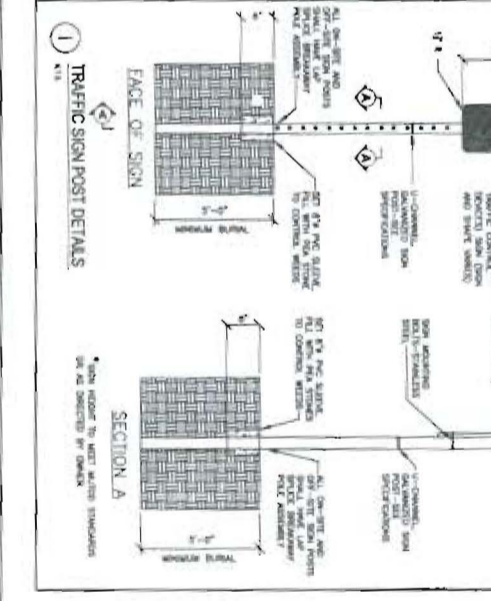
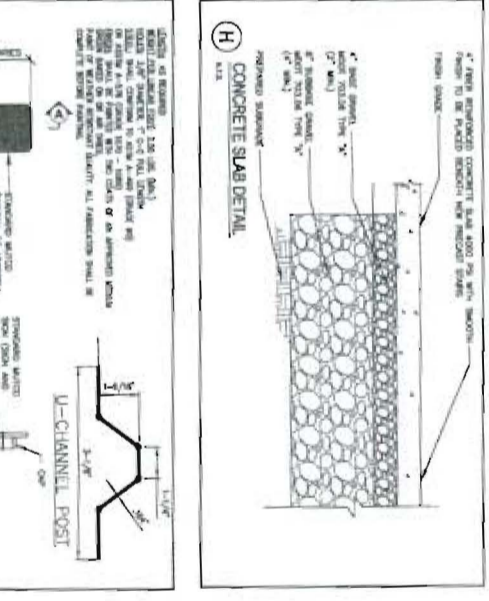
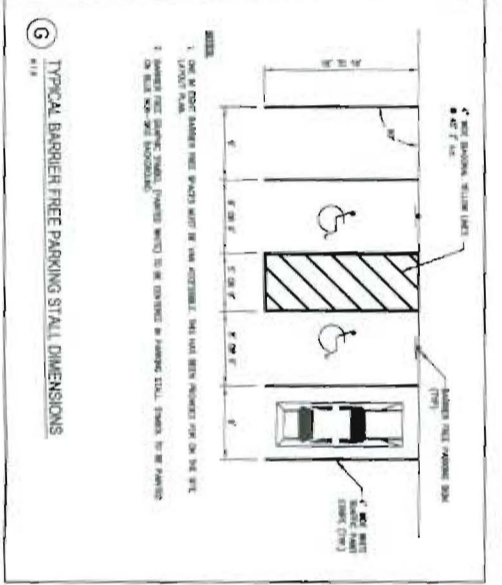
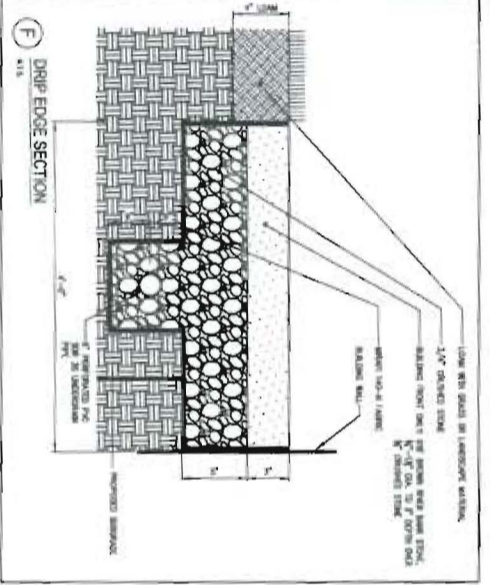
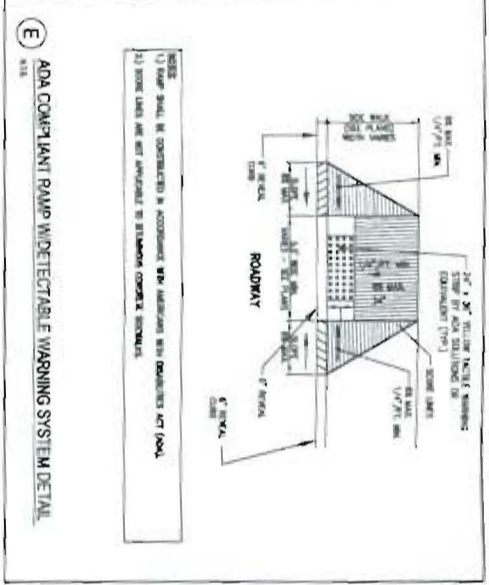
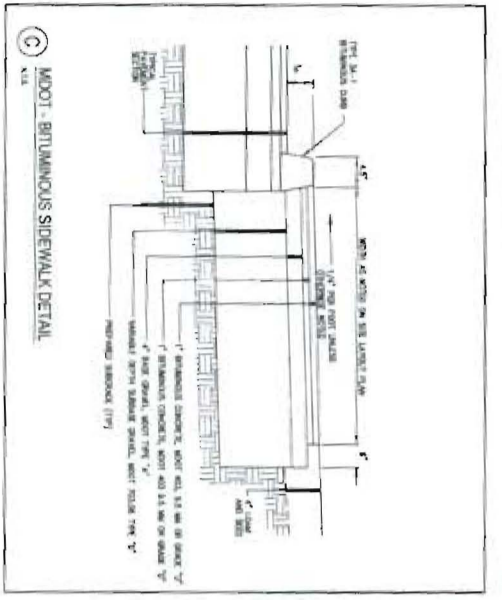
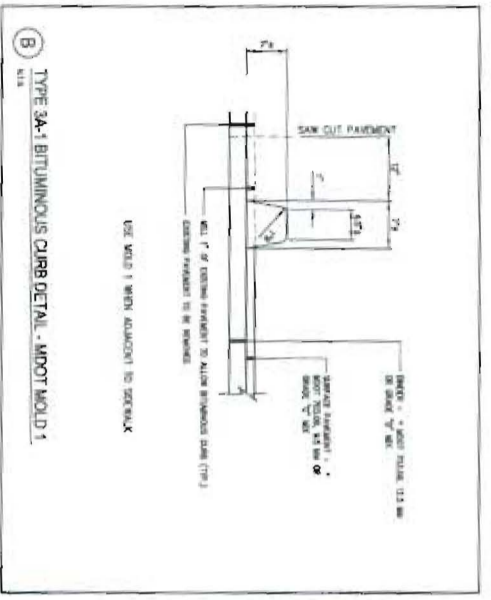
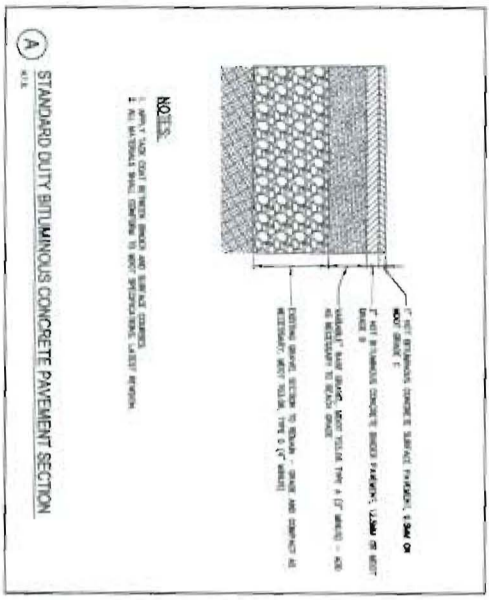


		PROJECT: CITY LINE DRIVE EAST POINT CHRISTIAN CHURCH #54 & #56 CITY LINE DRIVE	
SHEET TITLE: <b>OVERALL SITE LAYOUT PLAN</b>		DRAWN: [Name] DESIGNED: [Name] CHECKED: [Name] FILE NAME: [Name]	DATE: [Date] SCALE: 1" = 20' JOB NO.: [Number] SHEET: 1 of 3
REVISIONS: 1. [Date] [Description] 2. [Date] [Description]	PROJECT ENGINEER: [Name] LIC. # [Number]	PROJECT LOCATION: TRANSPORT LEASING CORP. 35 BRADLEY DRIVE WESTBROOK, ME 04092	

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 MAY 12 2010  
 Dept. of Building Inspections  
 City of Portland Maine

C:\Users\jglover\Desktop\Projects\Maine\2010\10\05\100001\100001.dwg, 2010.10.05 11:21:07 PM, 0.00ms





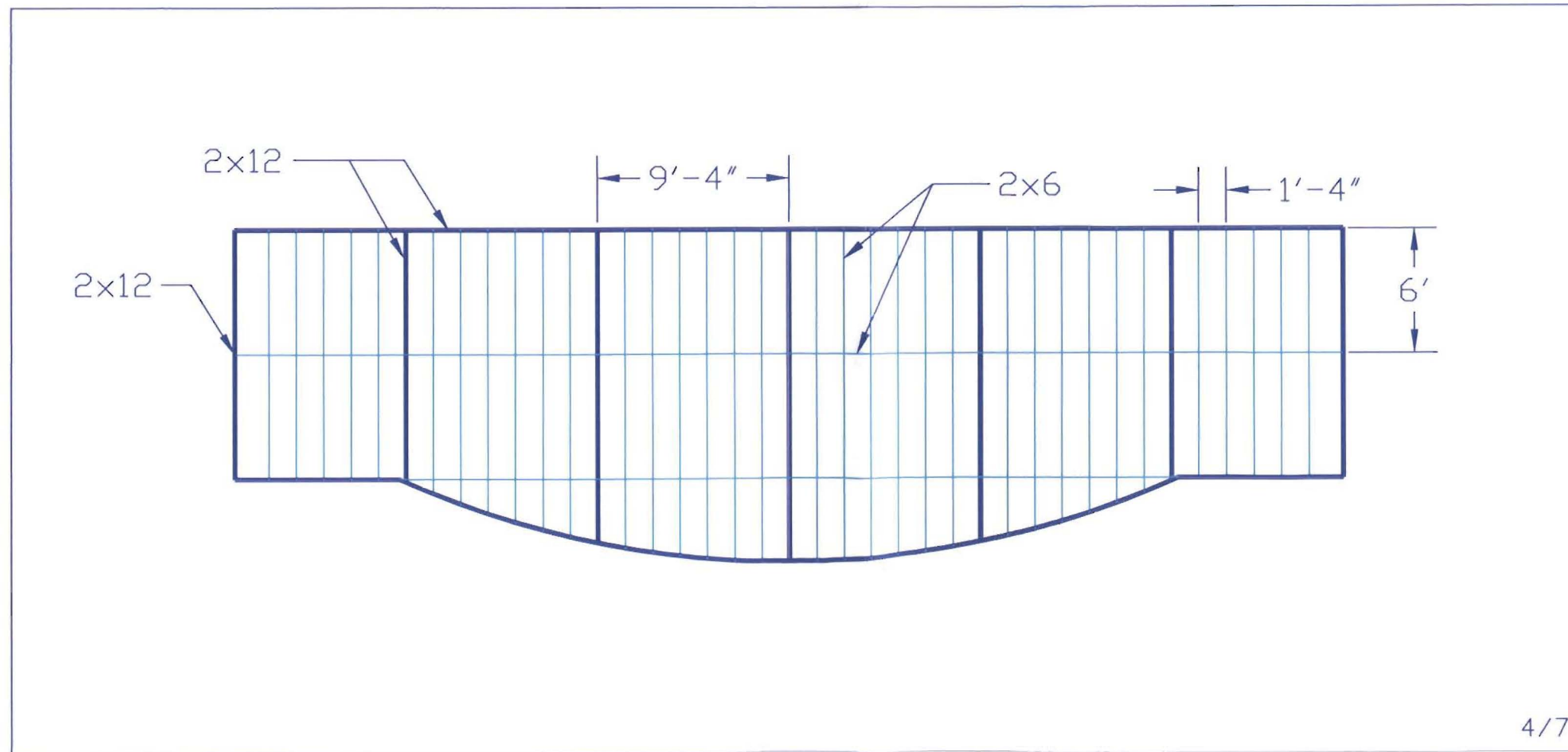
NO.	DATE	DESCRIPTION
1	12/15/09	ISSUED FOR PERMITS
2	01/20/10	REVISED TO ADD DETAIL K
3	02/10/10	REVISED TO ADD DETAIL J

PROJECT: CITY LINE DRIVE  
 EAST POINT CHRISTIAN CHURCH  
 654 & 658 CITY LINE DRIVE  
 WESTBROOK, MAINE

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 02/10/10  
 SHEET: 3 OF 3

RECEIVED  
 MAY 12 2010  
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 City of Portland Maine



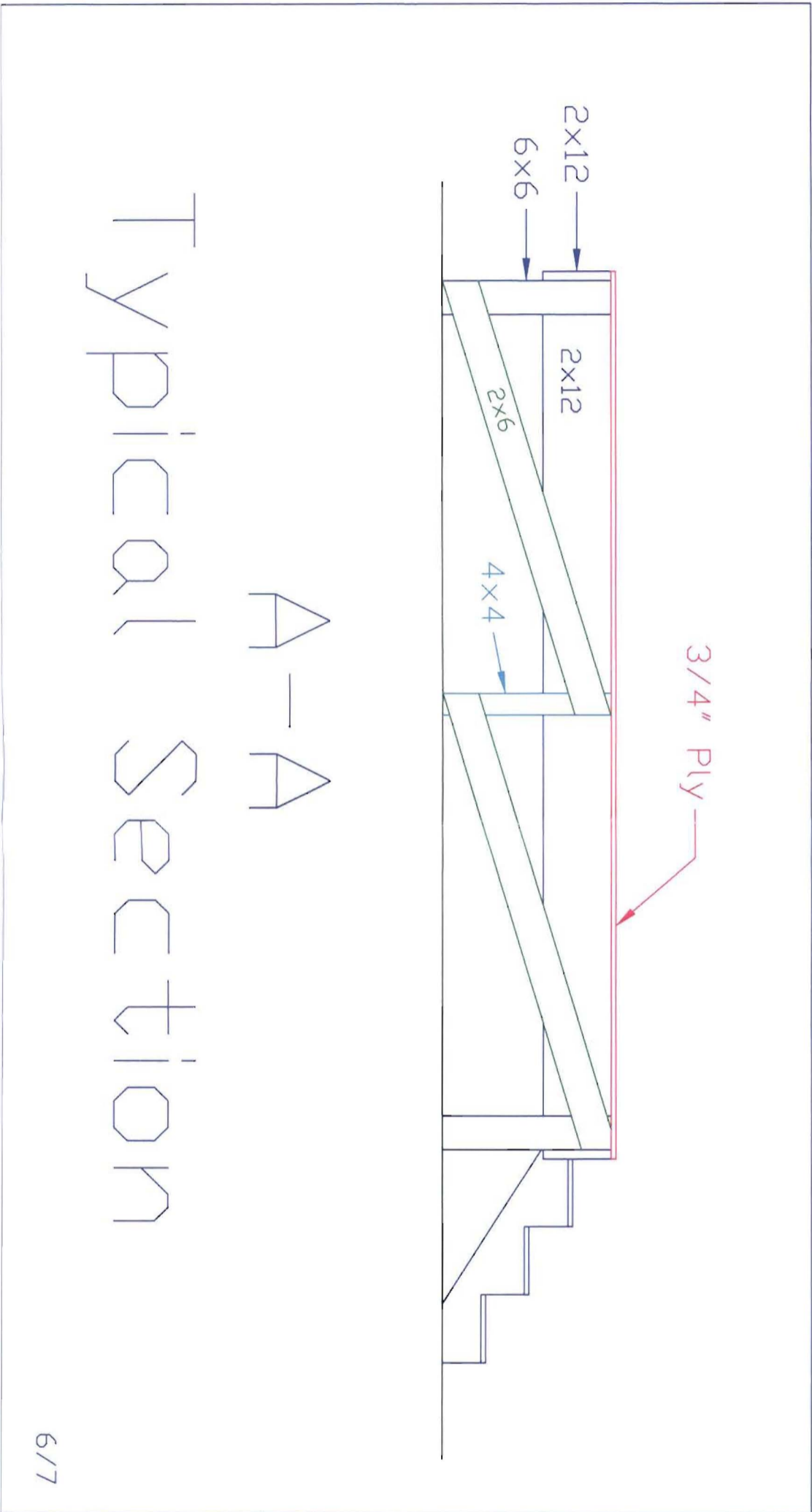


4/7

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MAY 17 2009

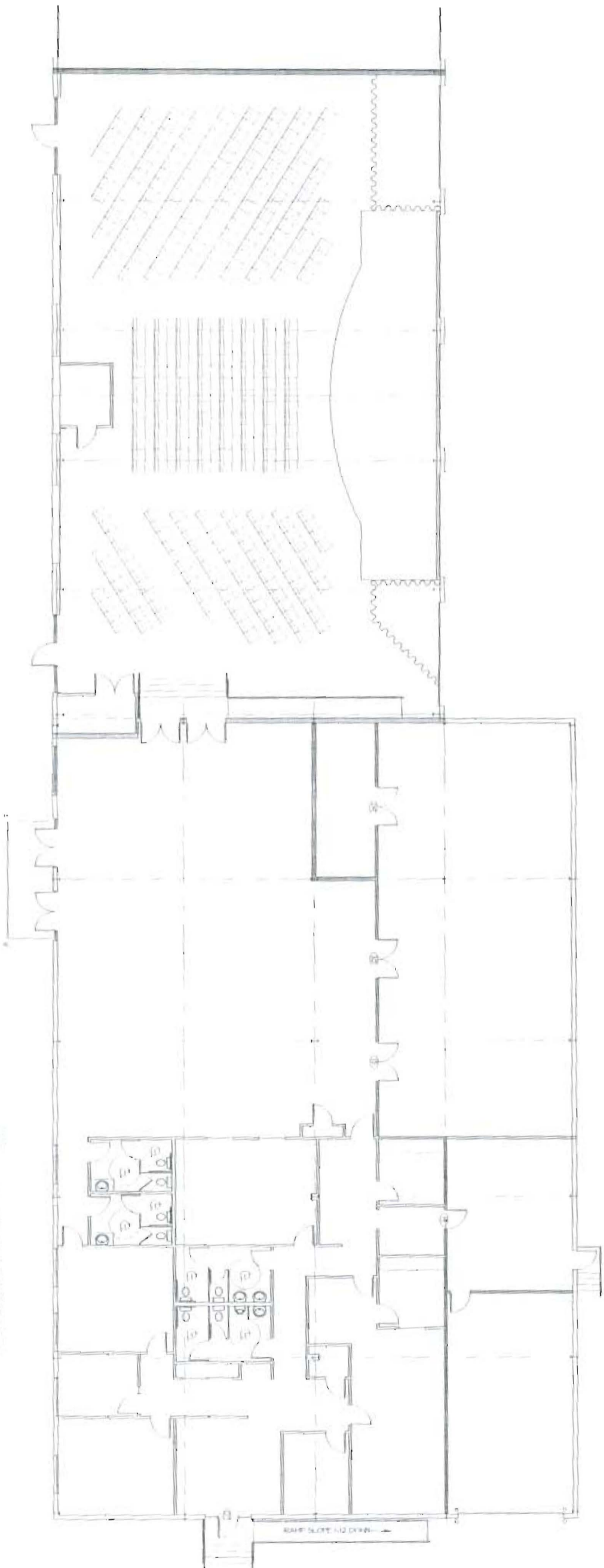
Dept. of Building Inspections  
City of Portland Maine



**RECEIVED**

MAY 17 2009

Dept. of Building Inspections  
City of Portland Maine



SCHEMATIC FLOOR PLAN - 1/8" = 1'-0"

GENERAL CONTRACTOR SHALL GET NECESSARY PERMITS FROM THE CITY OF PORTLAND AND STATE OF MAINE. HE SHALL VERIFY THAT THE VARIOUS SUBCONTRACTORS HAVE THE APPROPRIATE PERMITS BEFORE THEY BEGIN WORK.

OWNER  
TRANSCENT LEASING CORP  
25 BRACEY DRIVE  
WESTBROOK, MAINE 04094

LEASER  
EAST POINT  
CHRISTIAN CHURCH

57 B CLAY LINE DRIVE  
PORTLAND, MAINE 04103

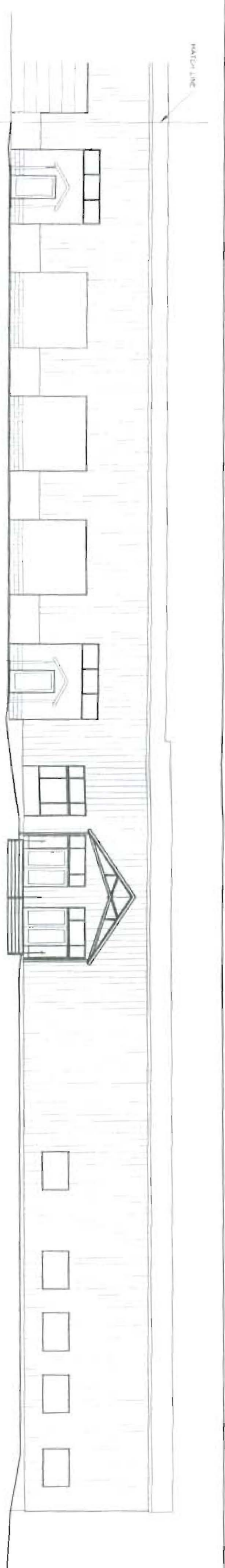
SCHEMATIC  
FLOOR PLAN

28 MARCH 2010  
WILLIAM E. WHITED, P.E. NO. 1283

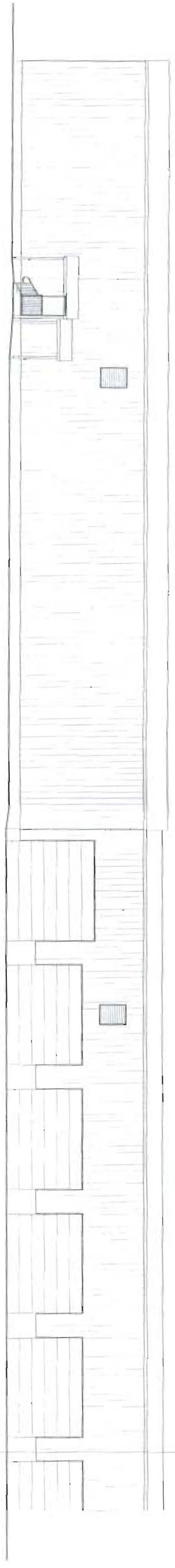
STATE OF MAINE  
LICENSED PROFESSIONAL ENGINEER  
WILLIAM E. WHITED  
No. 1283

*W. E. Whited*  
12 April 2010

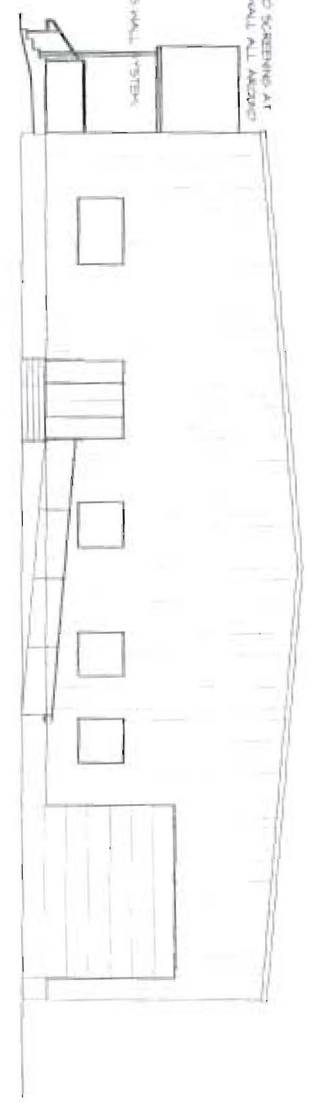
SHEET 3 OF 7



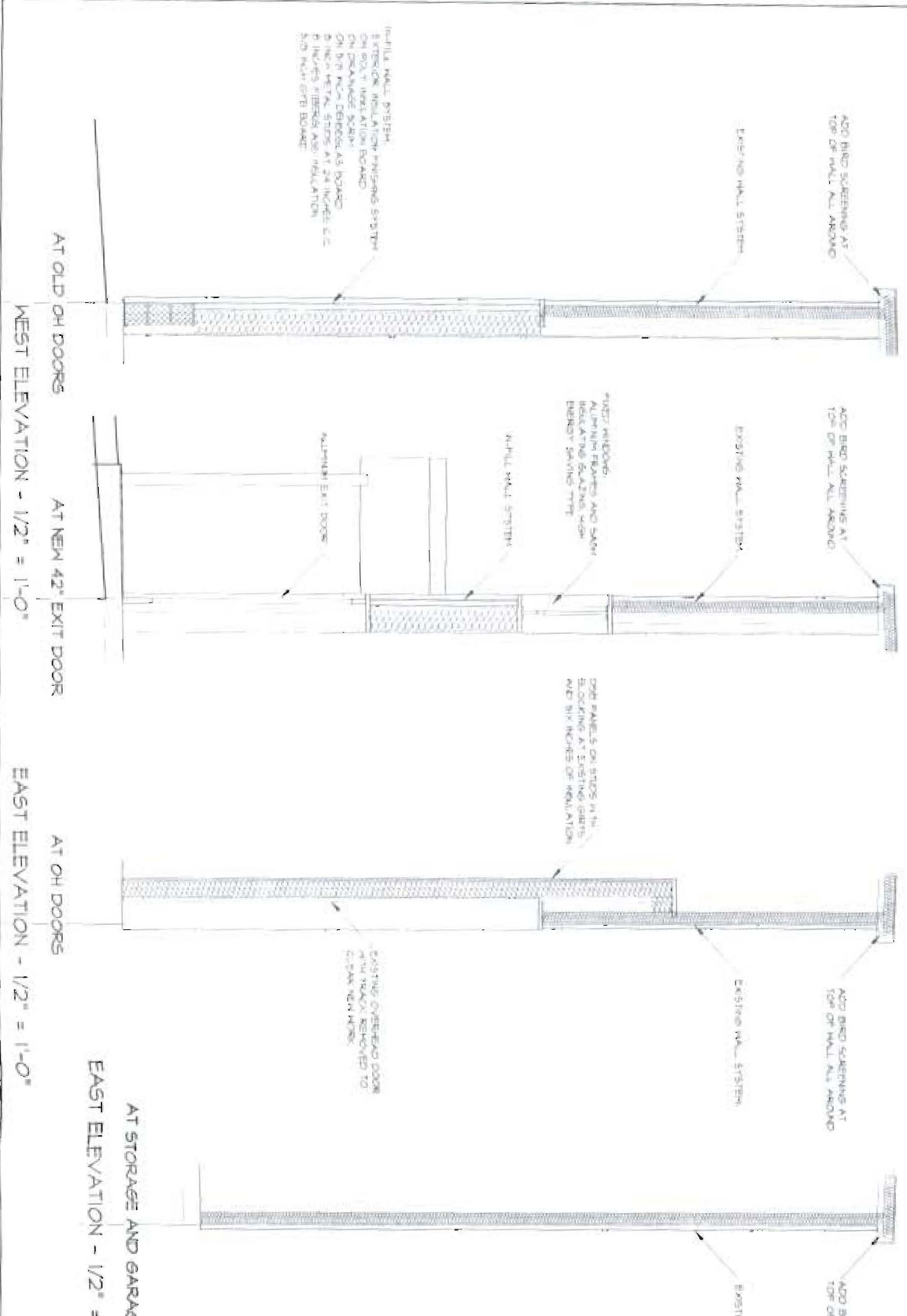
WEST ELEVATION - 1/8" = 1'-0"



EAST ELEVATION - 1/8" = 1'-0"



SOUTH ELEVATION - 1/8" = 1'-0"



EAST ELEVATION - 1/2" = 1'-0"

STATE OF MAINE  
 WILLIAM E. WHITED  
 No. 1283  
 LICENSED PROFESSIONAL ENGINEER  
 12 years 2010

OWNER  
 TRANSPORT LEASING CORP  
 30 BRADLEY CORVE  
 WESTBROOK MAINE 04093

LEADER  
 EAST POINT  
 CHRISTIAN CHURCH

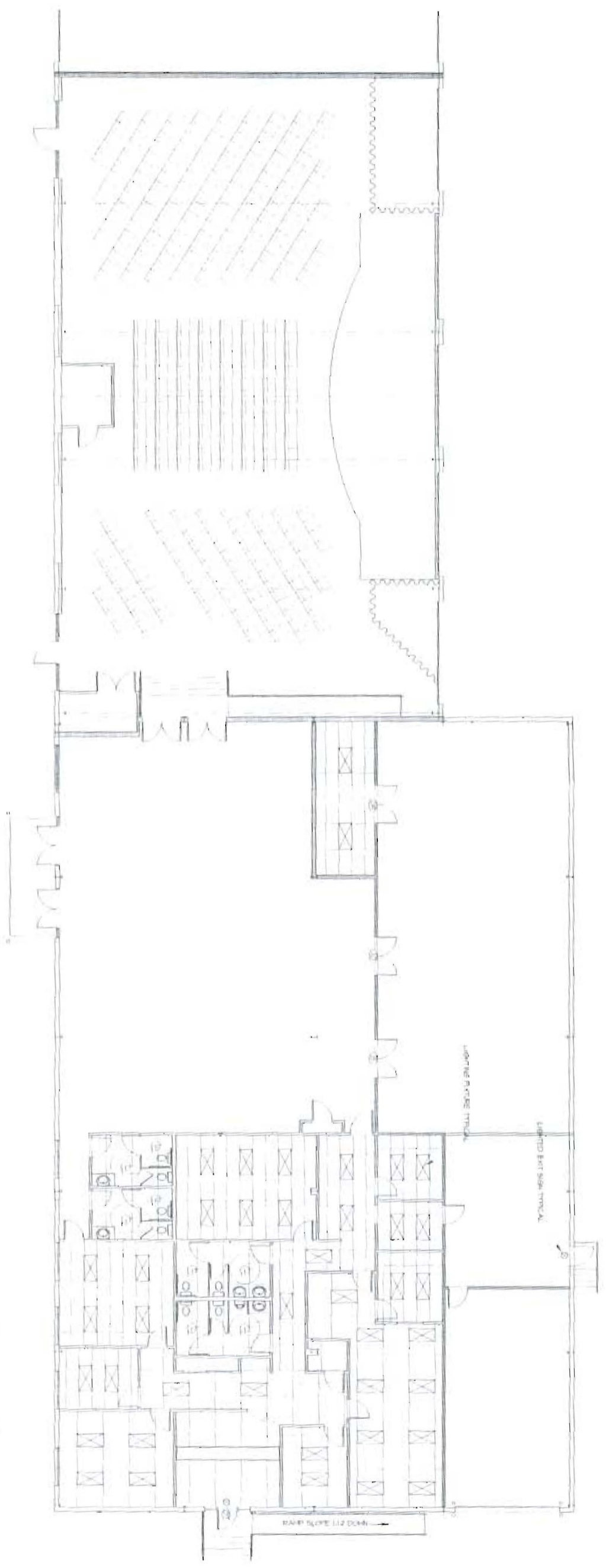
58 CITY LINE DRIVE  
 MELAND MAIN 04129

SCHEMATIC  
 ELEVATIONS

21 MARCH 2010  
 ALL RIGHTS RESERVED

SHEET 4 OF 7





SCHEMATIC ELECTRICAL PLAN - 1/8" = 1'-0"

NOTED: ALL ELECTRICAL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, AS AMENDED, AND THE REQUIREMENTS OF THE STATE OF MAINE. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MAINE ELECTRICAL CODE, AS AMENDED, AND THE REQUIREMENTS OF THE STATE OF MAINE. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MAINE ELECTRICAL CODE, AS AMENDED, AND THE REQUIREMENTS OF THE STATE OF MAINE.

DATE: 12 APRIL 2010

DESIGNER: TRANSDORF, LEAH AND JONAS  
30 BRADLEY DRIVE  
WESTERLY, MAINE 04092

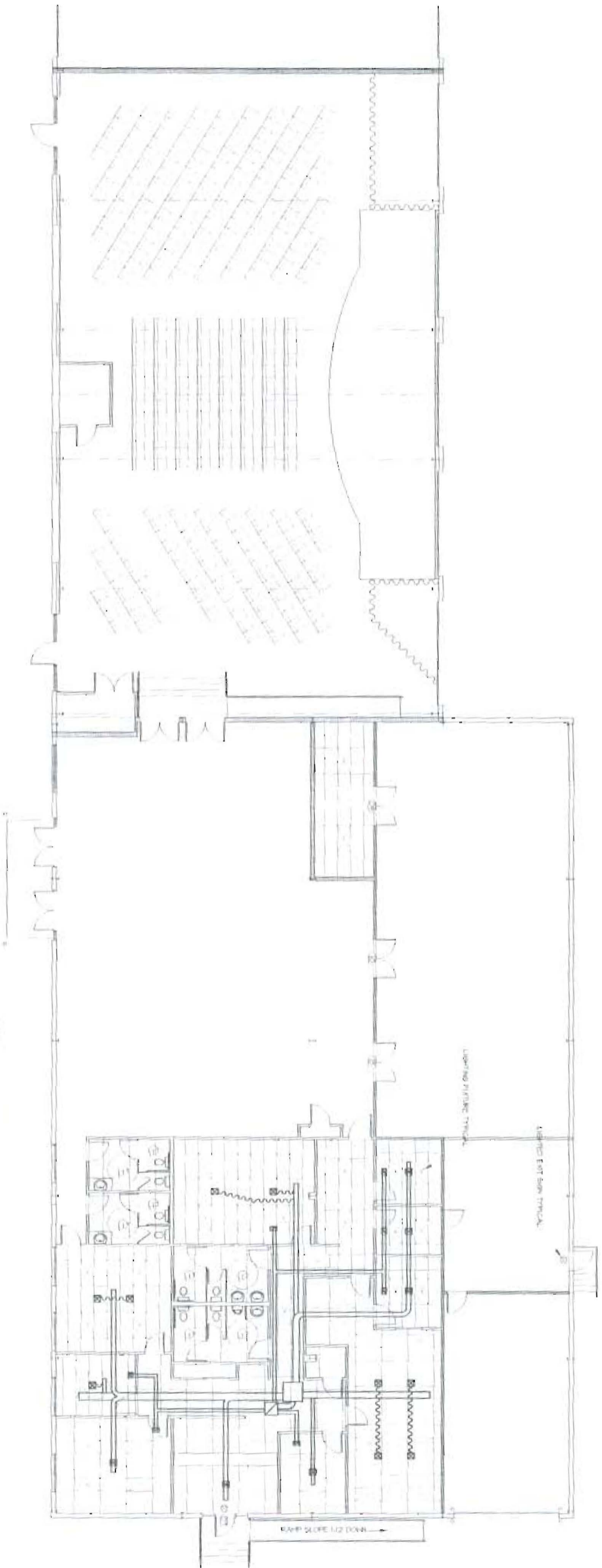
LENDER: EAST POINT  
CHRISTIAN CHURCH

PROJECT: EAST POINT  
CHRISTIAN CHURCH



SCHEMATIC  
ELECTRICAL PLAN

12 April 2010



SCHEMATIC HVAC AND PLUMBING PLAN - 1/8" = 1'-0"

■ Existing new or package  
 □ Existing repair devices

RETURNING HVAC & PLUMBING CONTRACTORS SHALL RETAIN A LICENSED PROFESSIONAL ENGINEER TO REVIEW EXISTING HVAC & PLUMBING SYSTEMS AND TO DESIGN AND LAYOUT REQUIRED HVAC & PLUMBING SYSTEMS. HVAC SYSTEMS SHALL PROVIDE REQUIRED RECOVERED VOLUMES OF FREE AIR TO BEIL'S SPACES USING AIR TO AIR HEAT EXCH. WHERE PRACTICABLE. HVAC AND PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE BEFORE DESCRIBED WORK.

OWNER:  
 TRAVENPORT LEASING CORP  
 35 BRADLEY DRIVE  
 WESTBROOK, MAINE 04092  
 LEASER:  
 EAST POINT  
 CHRISTIAN CHURCH

LOCATION:  
 58 CREEP LINE DRIVE  
 PORTLAND, MAINE 04103

STATE OF MAINE  
 WILLIAM E. WHITED  
 No. 1283  
 LICENSED PROFESSIONAL ENGINEER  
 HVAC & PLUMBING PLAN  
 SCHEMATIC  
 28 MARCH 2010  
 WILLIAM E. WHITED, P.E.  
 120 POND ROAD  
 SHEET 7 OF 7