

Stantec  
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**GENERAL NOTES:**

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MAINE DEPARTMENT OF TRANSPORTATION, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-888-DIGSAFE). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER UNLESS OTHERWISE AGREED UPON.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS. IN THE CASE OF A CONFLICT BETWEEN THE DOT SPECS AND PORTLAND STANDARDS, THE MORE STRINGENT SHALL BE USED AT NO ADDITIONAL COST TO THE OWNER AND THE OWNER NOTIFIED.
- TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT AND SURVEY DATA PROVIDED BY OWEN HASKELL, INC. SUPPLEMENTAL DATA COLLECTION WAS PERFORMED BY STANTEC IN JUNE 2018.
- BOUNDARY SURVEY INFORMATION TAKEN FROM A PLAN PREPARED BY OWEN HASKELL, INC. TITLED "BOUNDARY & TOPOGRAPHIC SURVEY" ON 68 JOHNSON ROAD, PORTLAND, MAINE, MADE FOR DELUCA-HOFFMAN ASSOCIATES, INC. DATED NOVEMBER 13, 2009.
- FEMA MAP COMMUNITY PANEL NUMBER 2300510012C. THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD ZONE.
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORD OF THE PLANNING AUTHORITY PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
- ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALLS SHALL BE MARKED OFF BY 4" SOLID WHITE LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
- ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS: GRANITE, SLIPFORM CONCRETE, AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
- ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB.
- A FORMER HOUSE ON LOT 3 WAS SERVICED BY PUBLIC WATER, SEWER AND OVERHEAD UTILITIES ACCORDING TO THE OWNER. THE PORTLAND WATER DISTRICT WAS UNABLE TO PROVIDE A SERVICE LOCATION AND THE PUBLIC SERVICES DEPARTMENT ALSO HAS NO RECORD OF THE SANITARY SERVICE. THE CONTRACTOR SHALL INCLUDE COSTS TO LOCATE AND CLOSE EACH SERVICE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S REQUIREMENTS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-8300 EXT. 8838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
- CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- THE CLOSURE OF ANY SANITARY SERVICES AND APPURTENANCES SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT AND / OR THE CITY OF SOUTH PORTLAND WASTEWATER DIVISION, WHICHEVER IS MORE STRINGENT, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

# JOHNSON ROAD PROPERTY

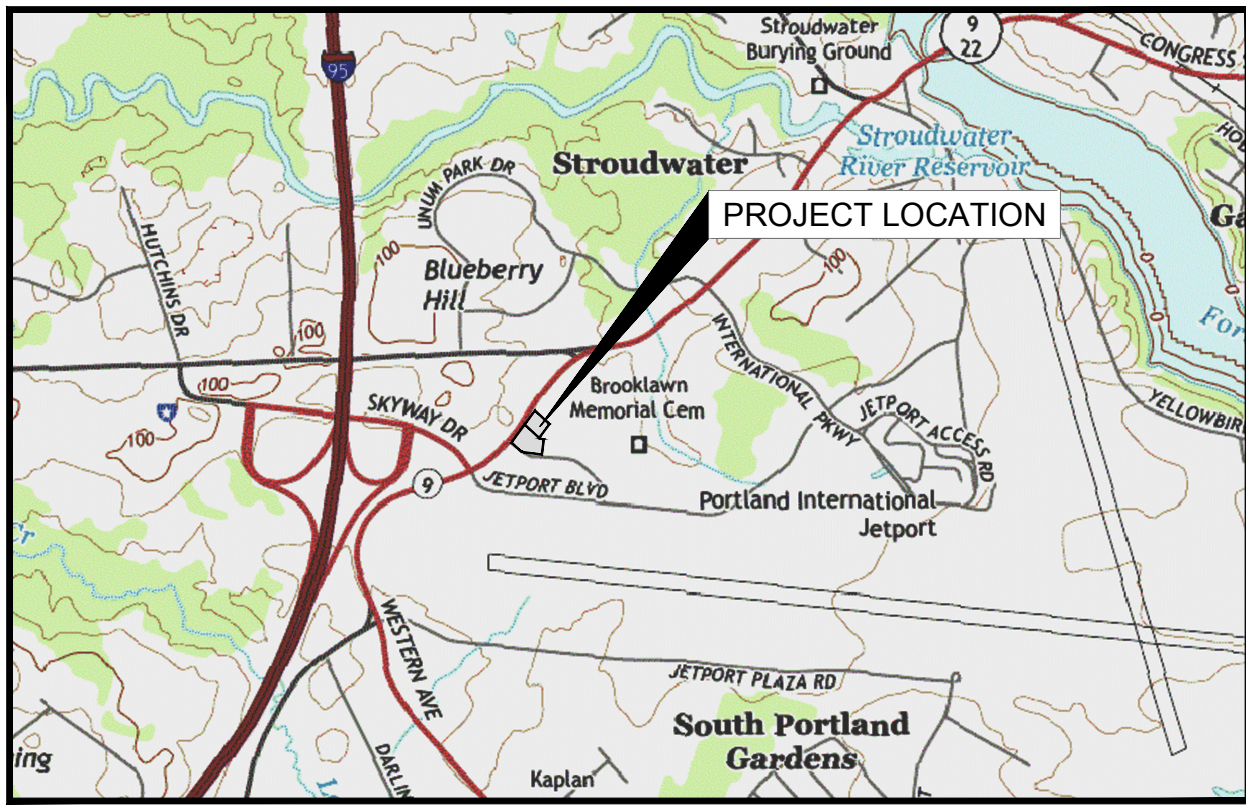
## 90 JOHNSON ROAD

### PORTLAND, MAINE

#### SITE PLAN APPLICATION SUBMISSION FOR PROPOSED BUILDING EXPANSION AND PARKING AREA

PROJECT PARCEL SITE  
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS

MAP	BLOCK	LOTS	CCRD
214A	A	A-1	BOOK 2960, PAGE 848
214A	A	A-2	BOOK 7111, PAGE 250
214A	A	A-3	BOOK 34653, PAGE 201



OWNER/APPLICANT:  
**TRANSPORT LEASING CORP.**  
58 LOWELL JUNCTION ROAD  
ANDOVER, MA 01810

**INDEX**

- C-1.0 COVER SHEET, GENERAL NOTES AND LEGEND
- C-2.0 BOUNDARY SURVEY PLAN (THIRD AMENDED SUBDIVISION PLAN BY OWEN HASKELL, INC.)
- C-2.1 EXISTING CONDITIONS PLAN & DEMOLITION PLAN
- C-3.0 SITE LAYOUT & UTILITY PLAN
- C-4.0 GRADING & DRAINAGE PLAN
- C-4.1 STORMWATER MANAGEMENT PLAN - SHEET 1 OF 2
- C-4.2 STORMWATER MANAGEMENT PLAN - SHEET 2 OF 2
- C-5.0 EROSION CONTROL PLAN
- C-6.0 FULL DEPTH BOX CUT ASPHALT PLAN
- C-7.0 LANDSCAPE PLAN
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- C-9.0 DETAILS
- C-10.0 EROSION AND SEDIMENT CONTROL NOTES
- C-11.0 PRE WATERSHED PLAN
- C-12.0 POST WATERSHED PLAN
- E-0.1 SITE LIGHTING ILLUMINANCE CALCULATION PLAN
- E-0.2 SITE LIGHTING ILLUMINANCE CALCULATION STATISTICS
- E-1.1 ELECTRICAL SITE PLAN - 1
- E-1.2 ELECTRICAL SITE PLAN - 2
- E-1.3 ELECTRICAL DETAILS

**PREPARED BY**

**CIVIL ENGINEER:**  
**STANTEC CONSULTING SERVICES, INC.**  
482 PAYNE ROAD, SCARBOROUGH COURT  
SCARBOROUGH, MAINE 04074  
(207) 883-3355  
ATTN: STEPHEN BUSHEY  
EMAIL: STEPHEN.BUSHEY@STANTEC.COM

**SURVEYOR:**  
**OWEN HASKELL**  
390 U.S. ROUTE 1, UNIT 10  
FALMOUTH, MAINE 04105  
(207) 772-0424

**ARCHITECT:**  
**ALPHA ARCHITECTS**  
17 CHESTNUT ST.  
PORTLAND, ME 04101  
(207) 761-9500  
MARK@ALPHAARCHITECTS.COM

**LIGHTING/ELECTRICAL:**  
**BARTLETT DESIGN INC.**  
942 WASHINGTON ST.  
BATH, ME 04530  
(207) 443-5447

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

**UTILITIES**

**WATER**  
PORTLAND WATER DISTRICT  
ATTN: ROBERT BARTELLS  
225 DOUGLASS STREET,  
P.O. BOX 3553  
PORTLAND, MAINE 04104-3553  
(207) 774-5961 EXT. 3197  
RBARTELLS@PWD.ORG

**SEWER**  
PORTLAND SANITARY DISTRICT  
ATTN: BRAD ROLAND  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

**ELECTRIC**  
CENTRAL MAINE POWER COMPANY  
ATTN: JAMIE COUGH  
162 CANCO ROAD  
PORTLAND, MAINE 04103  
(207) 842-2367 (OFFICE)  
(207) 626-4082 (CELL)  
JAMIECOUGH@CMP.CO

**GAS**  
ATTN: RICK BELLEMARE  
NORTHERN UTILITIES, INC.  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
(207) 797-8002, EXT. 6247

**TELEPHONE**  
FAIRPOINT COMMUNICATIONS  
ATTN: SCOTT DERRIG  
5 DAVIS FARM ROAD  
PORTLAND, MAINE 04103  
(207) 797-1842 (OFFICE)  
SDERRIG@FAIRPOINT.COM

**CABLE TV**  
TIME WARNER CABLE  
ATTN: MARK PELLETIER  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(207) 546-0962

**FIRE ALARM**  
PORTLAND FIRE DEPT.  
CENTRAL FIRE STATION  
CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 8874-8300

**DIG SAFE**  
1-800-225-4977

**PERMITS**

**LOCAL**  
LEVEL III SITE PLAN APPROVAL  
DELEGATED REVIEW OF  
STORMWATER MANAGEMENT

**GOVERNING BODY**  
CITY OF PORTLAND PLANNING AUTHORITY  
4TH FLOOR CITY HALL  
389 CONGRESS STREET  
PORTLAND, MAINE 04101

**STATUS**  
SUBMITTED 7/9/2018

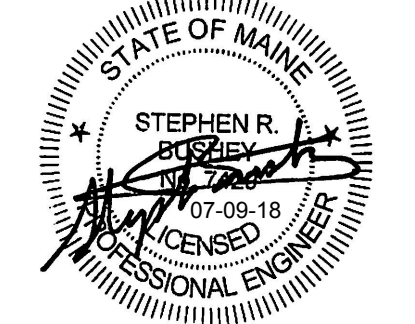
**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	ABUTTING PROPERTY LINE / R.O.W. LINE	---
JOHN O. OWNER 11/11/222	PROPERTY OWNER NAME & DEED INFO.	---
---	EASEMENT LINE	---
● IFF	BOUNDARY MONUMENTATION	●
OP 3	SURVEY CONTROL POINT	OP 3
---	CONSTRUCTION CENTER LINE	---
---	SETBACK LINE	---
---	EDGE OF PAVEMENT	---
TYPE AS NOTED	CURB	SEE SITE LAYOUT PLAN
---	BUILDING	---
---	STEPS	---
---	TREELINE / CLEARING LIMIT	---
---	TREES / LANDSCAPING	SEE LANDSCAPE PLAN
---	SIGN - SEE SITE LAYOUT PLAN FOR TYPE	---
---	LIGHT POLE / FIXTURE	---
UP 14	UTILITY POLE	---
---	GUY WIRE	---
---	FENCE TYPES (AS NOTED)	---
---	RIPRAP AREA	---
---	GRADING CONTOUR LINE	---
---	GRADING SPOT GRADE	---
---	TEST PIT	---
○ SMH	SANITARY SEWER MANHOLE	○ DMH 1
○ DMH	DRAIN MANHOLE	○ DMH 1
---	SANITARY SEWER LINE	---
---	SANITARY SERVICE	---
○ CB □ CB	CATCH BASIN	○ CB 1
---	15" SD	18" SD
---	UNDERDRAIN	---
---	WATER GATE VALVE	---
---	WATER SHUT OFF	---
---	6" W	---
---	FIRE HYDRANT	---
---	OVERHEAD ELECTRIC LINES	---
---	UNDERGROUND ELECTRIC LINES	---
---	UNDERGROUND ELECTRIC/TEL./CABLE	---
---	TRAFFIC CONTROL BOX	---
---	GAS LINE	---
---	CATCH BASIN SEDIMENT BARRIER	---
---	SILTATION FENCE	---
---	TEMP. STABILIZED CONSTRUCTION ENTRANCE	---
---	BITUMINOUS ASPHALT SIDEWALK	---
---	BITUMINOUS ASPHALT PAVEMENT	---

DIMENSIONAL REQUIREMENTS  
ZONE: B4 COMMERCIAL CORRIDOR

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	10,000 SF	202,554 SF
MINIMUM STREET FRONTAGE	60 FT	447.82 FT
MINIMUM YARD		
FRONT	20 FT	41 FT
REAR	20 FT	278 FT
SIDE LEFT	10 FT (1 TO 2 STORY BUILDING)	273 FT
SIDE RIGHT	12 FT (3 OR MORE STORIES)	77 FT
MINIMUM LOT WIDTH	40 FT	448 FT
MAXIMUM HEIGHT	65 FT	57'-5"
MAXIMUM IMPERVIOUS SURFACE RATIO	80%	45.7%
MAXIMUM FLOOR AREA RATIO	0.65	0.34

File Name: PBF SRB SRB 18.05.22  
DWN. CHKO. DSGN. DATE  
Permit-Seal



Client/Project  
**TRANSPORT LEASING CORP.**  
ANDOVER, MA  
**JOHNSON ROAD PROPERTY**  
90 JOHNSON ROAD, PORTLAND, MAINE

Title  
**COVER SHEET, GENERAL NOTES AND LEGEND**

Project No. 210801617  
Scale N.T.S.  
Sheet

2 - SUBMITTED TO CITY FOR LEVEL III SITE PLAN REVIEW  
1 - SUBMITTED FOR OWNER REVIEW  
By: PBF SRB SRB  
Appr.: PBF SRB SRB  
Y:\M\DO