

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that Ayumi Horie

Located At 1266 WESTBROOK ST

Job ID: 2012-11-5440-ALTR

CBL: 213- C-011-001

has permission to Relocate kitchen and bathroom; interior alterations (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

01/07/2013  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Frame prior to insulate or gypsum
  2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-11-5440-ALTR

Located At: 1266 WESTBROOK ST CBL: 213- C-011-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Glass glazing required adjacent to stairways when exposed surface of the glass is less than 60 inches above the nose of the tread.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. A code compliant emergency escape shall be provided in each renovated (additions or enlargements) bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
5. R311.7.9 Special stairways. Spiral stairways and bulkhead enclosure stairways shall comply with all requirements of Section R311.7 except as specified below.
  - a. R311.7.9.1 Spiral stairways. Spiral stairways are permitted, provided the minimum clear width at and below the handrail shall be 26 inches with each tread having a 7 1/2-inch minimum tread depth at 12 inches from the narrower edge. All treads shall be identical, and the rise shall be no more than 91/2 inches. A minimum headroom of 6 feet 6 inches (1982 mm) shall be provided.
6. R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.

7. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
8. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
9. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
10. Note: See attached documentation on bathroom fixtures clearances & safety glazing requirements. Contract will create rafter ties (boxed beams) at 4'-0" O.C. vs the existing 8'-0" O.C.

## **Fire**

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
4. A sprinkler system is recommended but not required based on the following:
5. Plans indicate the repairs will not exceed \_50\_% of the total completed structure.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

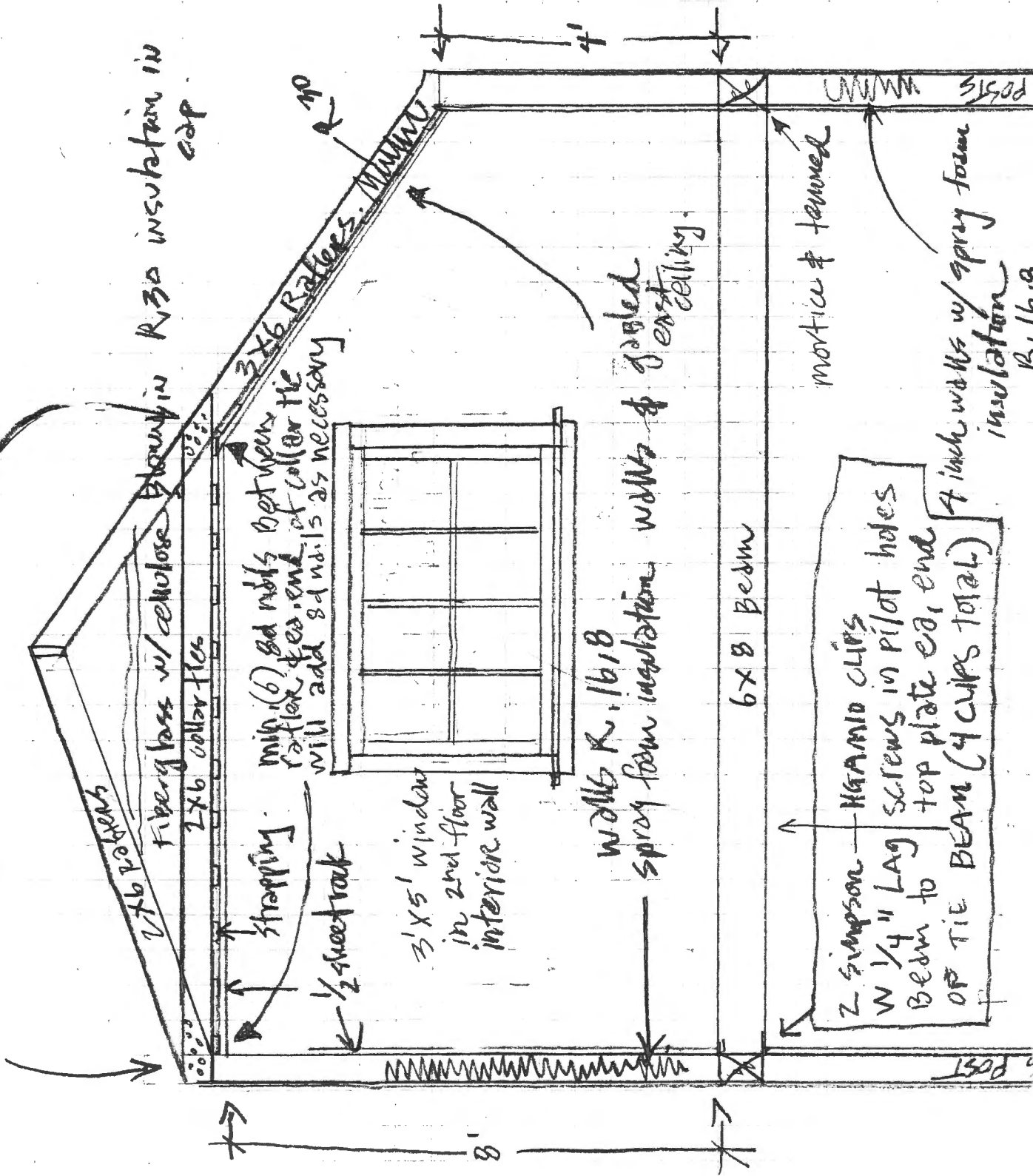
Job No: 2012-11-5440-ALTR	Date Applied: 11/20/2012	CBL: 213- C-011-001	
Location of Construction: 1266 WESTBROOK ST	Owner Name: AYUMI HORIE	Owner Address: 1266 WESTBROOK ST PORTLAND, ME 04102	Phone: 207-522-4599
Business Name:	Contractor Name: Greg Frangoulis Design	Contractor Address: 139 Brackett St., Portland, ME 04102	Phone: 207-653-6640
Lessee/Buyer's Name:	Phone:	Permit Type: Building	Zone: R-2
Past Use: Single family	Proposed Use: Same – single family – interior alterations – relocate kitchen & half bath, open up kitchen ceiling to 2nd floor, open 6' wall	Cost of Work: \$9,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved Per Capt. P. one <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IRC/2009 IMD/EC Signature: <i>[Signature]</i>
Proposed Project Description: interior alterations - relocate kitchen & 1/2 bath		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions 11/29/12 ABU</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>Any exterior work requires a separate review &amp; approval thru Historic Preservation</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2x6 collar ties w/ nailing



Fiberglass w/ cellulose blowing in R-30 insulation in eap.

2x6 collar ties

min. (6) 8d nbs between rafters & end of collar tie will add 8 d nbs as necessary

3x5 window in 2nd floor interior wall

2x6 Rafters: MINIMUM

4\"/>

walls R-16/18  
spray foam insulation walls & gabled ceiling.

6x8 beam

Z-simpson HAMMO clips  
w 1/4" LAG screws in pilot holes  
Beam to top plate ea. end  
OF TIE BEAM (4 clips total)

mortise & tenon

4 inch walls w/ spray foam insulation  
R-16/18

RECEIVED  
DEC 18 2012  
Dept. of Building Inspections  
City of Portland Maine

## Jonathan Rioux - Fwd: Johnathan ;re westbrook street remodeling

---

**From:** Tammy Munson  
**To:** Jonathan Rioux  
**Date:** 12/26/2012 8:44 AM  
**Subject:** Fwd: Johnathan ;re westbrook street remodeling

---

>>> Greg Frangoulis <greg.frangoulis@yahoo.com> 12/24/2012 9:45 AM >>>

Hi Johnathan,

here is the breakdown of squarefootage:

total living space: 2208 sq/ft

effected area of remodeling: 513 sq ft

Thanks- Greg Frangoulis

## Jonathan Rioux - Re: Fwd: Johnathan ;re westbrook street remodeling

---

**From:** Chris Pirone  
**To:** Jonathan Rioux  
**Date:** 1/4/2013 6:41 PM  
**Subject:** Re: Fwd: Johnathan ;re westbrook street remodeling

---

No as his numbers are below 50%.  
His email will be needed proper documentation in the conditions of permit.

Captain Chris Pirone  
Portland Fire Department  
Fire Prevention Bureau  
380 Congress Street  
Portland, ME 04101  
(t) 207.874.8405  
(f) 207.874.8410

 Please consider the environment before printing this email.

>>> Jonathan Rioux 1/4/2013 9:25 AM >>>  
Job No: 2012-11-5440-ALTR (One Solution)  
1266 Westbrook St.

Capt.

This is for a relocation of kitchen, half bath, and open (remove) kitchen ceiling to second floor. Do you need to see this permit, or can I add:

All construction shall comply with City Code Chapter 10.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

A sprinkler system is recommended but not required based on the following:

Plans indicate the repairs will not exceed 50% of the total completed structure.

Jonathan Rioux  
Code Enforcement Officer/ Plan Reviewer



City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Office: 207.874.8702  
Support Staff: 207.874.8703  
[jrioux@portlandmaine.gov](mailto:jrioux@portlandmaine.gov)

>>> Greg Frangoulis <greg.frangoulis@yahoo.com> 12/24/2012 9:45 AM >>>

Hi Johnathan,  
here is the breackdown of squarefootage:  
total living space: 2208 sq/ft  
effected area of remodeling: 513 sq ft

Thanks- Greg Frangoulis



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , Check Number: 1007\$110.00

**Tender Amount:** 110.00

## Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 11/20/2012

**Receipt Number:** 50416

## Receipt Details:

Referance ID:	8814	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	110.00	Charge Amount:	110.00
Job ID: Job ID: 2012-11-5440-ALTR - Relocate kitchen; update framing and ceiling			
Additional Comments: 1266 Westbrook St.			

Thank You for your Payment!



2110

PLAN D

\* PROPOSED FLOOR FRAMING PLAN

[ 1st Floor ceiling  
2nd Floor floor ]

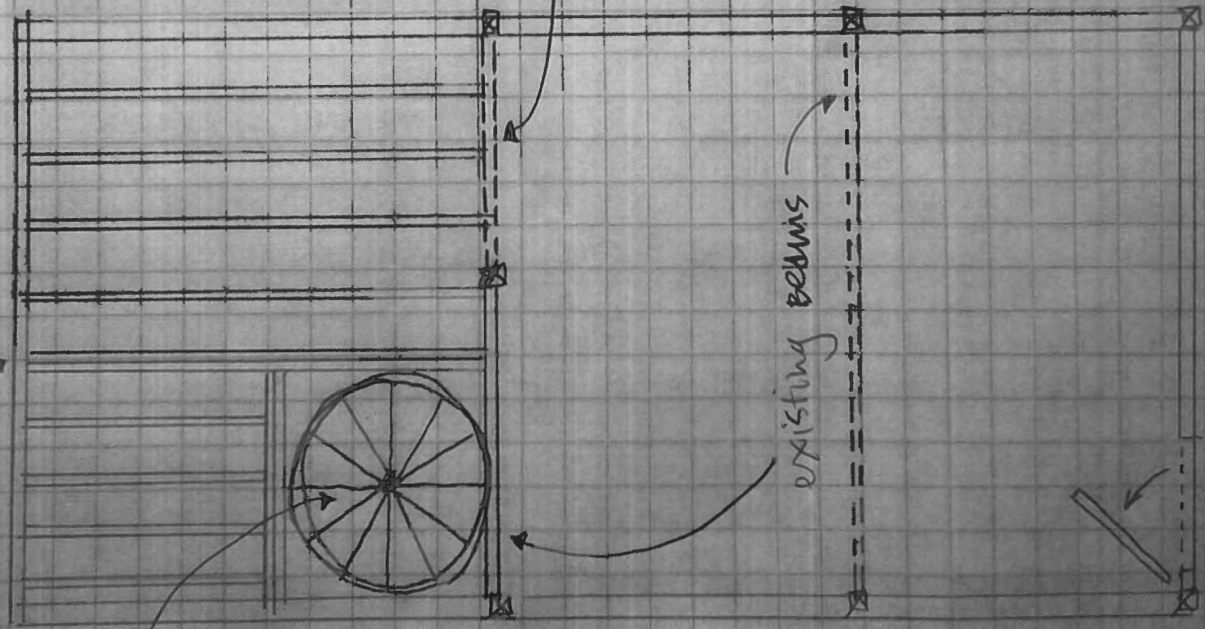
01/03/13

\* Contractor will tie rafters @ 4'-0" o.c. (ex. 8'-0 o.c.) approved by RMM & JGR

- Expose old post and beam framing
- Restore or replace any necessary framing
- Remove floor joists between new kitchen and 2nd floor for open cathedral ceiling.

\* open 6' wall between new kitchen & new 1/2 bath

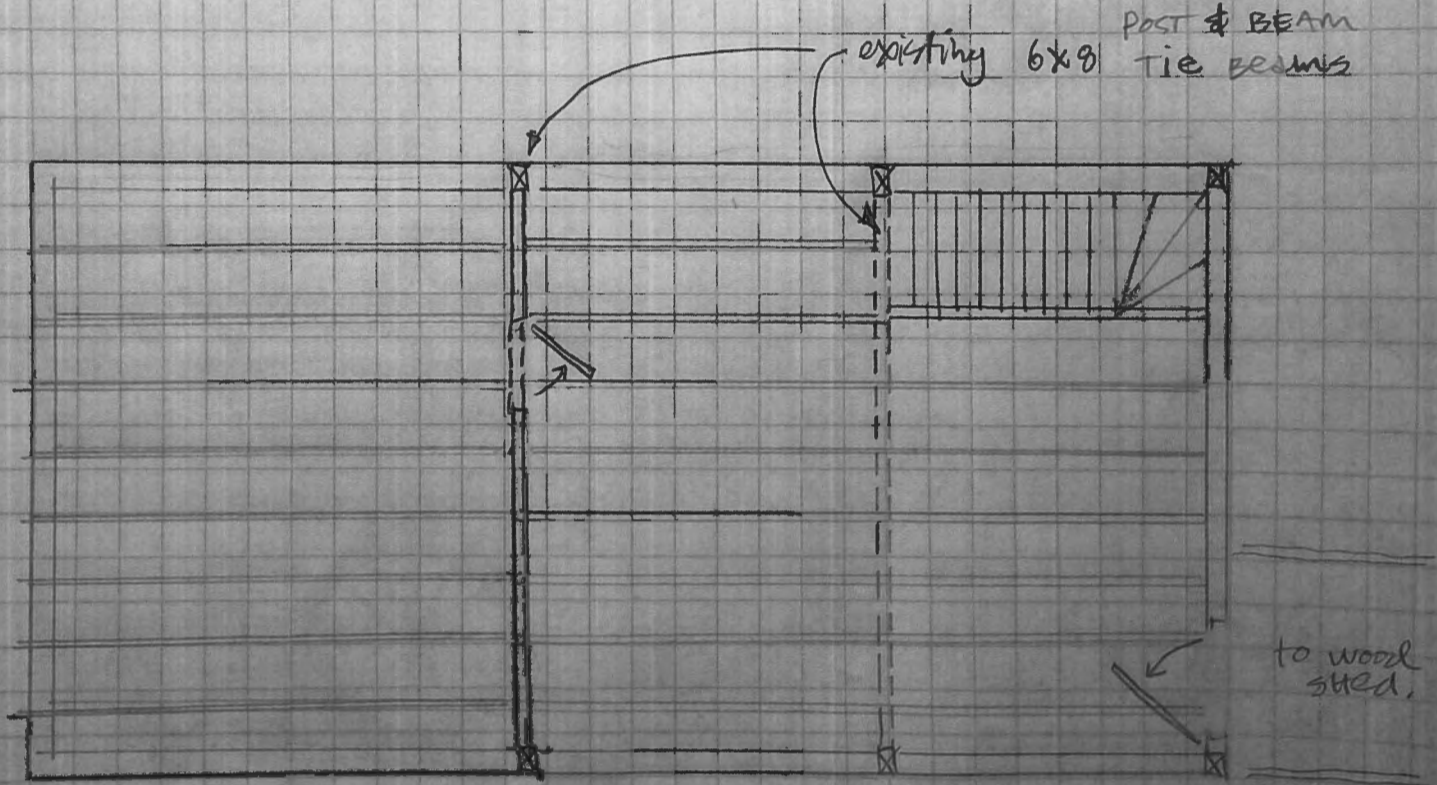
double up floor joist



metal spiral staircase to code  
double 2x8 header

★ PLAN C

\* EXISTING FLOOR FRAMING [ 1st FLOOR ceiling  
2nd FLOOR Floor ]  
PLAN  
with existing POST & BEAM FRAME





# General Building Permit Application

Extend 11/20/12

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

#200-11-540-ALTR

Location/Address of Construction: <u>1266 Westbrook St, Portland</u>		
Total Square Footage of Proposed Structure/Area: <u>392</u>	Square Footage of Lot: <u>23,160</u>	Number of Stories: <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>213</u> Block# <u>C</u> Lot# <u>011</u>	Applicant: (must be owner, lessee or buyer) Name <u>Ayumi Horie</u> Address <u>1266 Westbrook St</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207-522-4599</u>
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>9,000.00</u> C of O Fee: \$ <u>420.00</u> Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>110.00</u>
Current legal use (i.e. <u>single family</u> ) Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>relocate kitchen &amp; 1/2 bath • EXPOSE OLD POST &amp; BEAMS • RESTORE or replace necessary framing • OPEN 6' wall • OPEN kitchen ceiling to 2nd floor cathedral ceiling</u>		
Contractor's name: <u>GREG FRANGULLI'S DESIGN</u>		Email: <u>dreg.frangulli@yahoo.com</u>
Address: <u>139 Brackett Street</u>		Telephone: <u>207-653-6640</u>
City, State & Zip: <u>Portland, Maine 04102</u>		Telephone: <u>522-4599</u>
Who should we contact when the permit is ready: <u>Ayumi Horie</u>		
Mailing address: <u>1266 Westbrook St, Portland, ME</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED

NOV 20 2012

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Dept. of Building Inspections  
City of Portland Maine

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

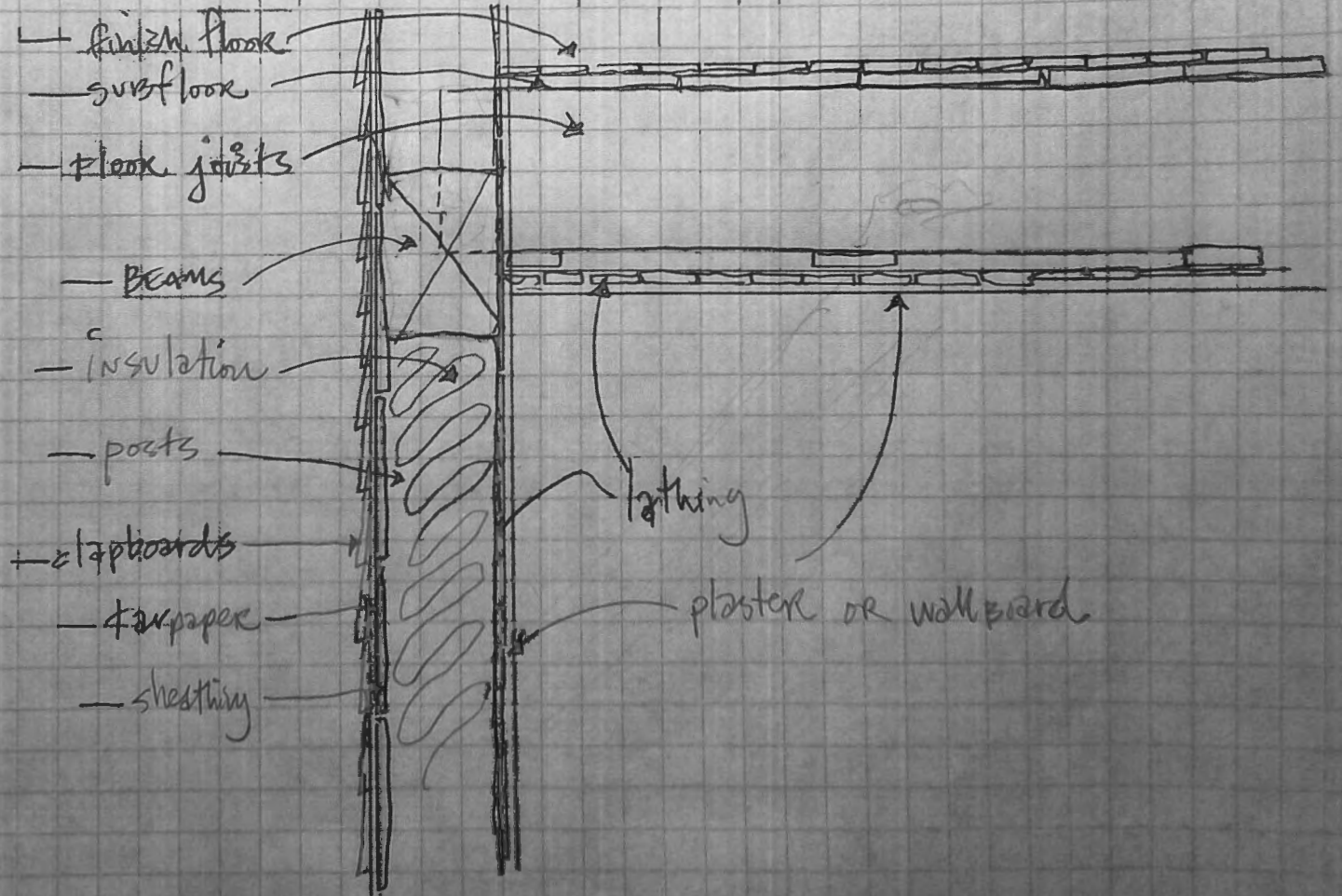
Signature: \_\_\_\_\_ Date: Nov 20, 2012

This is not a permit; you may not commence ANY work until the permit is issued

★ PLAN E

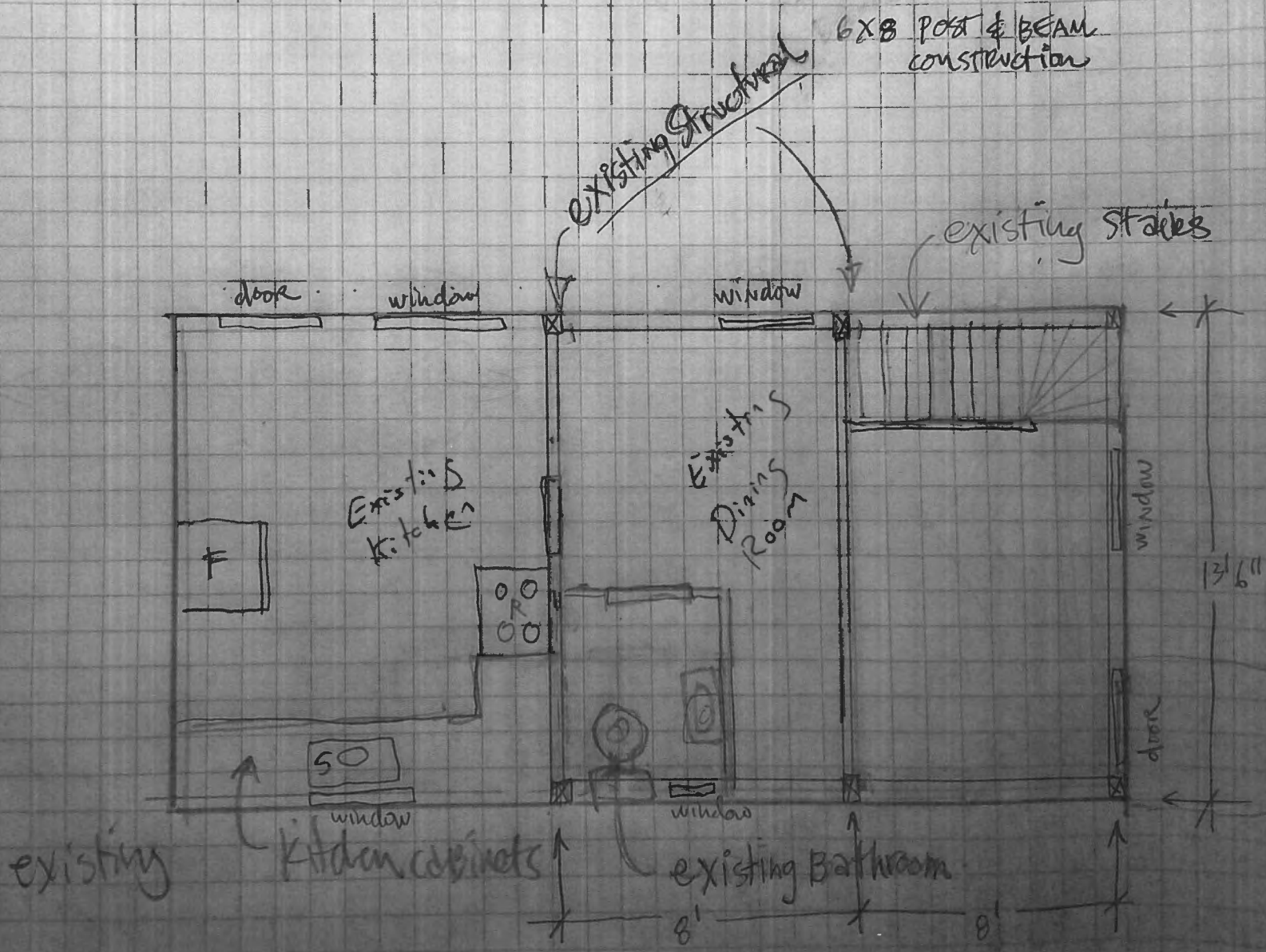
★ CROSS SECTION OF WALL

★ POST AND BEAM FRAME  
with stick frame  
wall studs



PLAN A

existing  
FLOOR PLAN 1st. FLOOR kitchen etc.







# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

### One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

27. GENERAL PROVISIONS:

- a. A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.
- b. Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Revenue Services.
- c. Buyer and Seller acknowledge that under Maine law payment of property taxes is the legal responsibility of the person who owns the property on April 1, even if the property is sold before payment is due. If any part of the taxes is not paid when due the lien will be filed in the name of the owner as of April 1 which could have a negative impact on their credit rating. Buyer and Seller shall agree at closing on their respective obligations regarding actual payment of taxes after closing. Buyer and Seller should make sure they understand their obligations agreed to at closing and what may happen if taxes are not paid as agreed.
- d. Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Buyer's Mailing address is 275 Dillingham Hill Rd, Auburn, ME 04210

Ayumi Horie 9/16/12  
 BUYER DATE BUYER DATE

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement.

Seller's Mailing address is 35 Garrison St, Portland, ME 04102

Scott K. Lovejoy 9/16/12  
 SELLER DATE SELLER DATE

COUNTER-OFFER

Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions: Removed Condition

~~if another buyer wants to purchase the property at a price within the 35% percent, seller has the right to accept.~~

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) \_\_\_\_\_ (time) \_\_\_\_\_ AM \_\_\_\_\_ PM.

Scott K. Lovejoy 9/16/12  
 SELLER DATE SELLER DATE

The Buyer hereby accepts the counter offer set forth above.

BUYER DATE BUYER DATE

EXTENSION

The closing date of this Agreement is extended until \_\_\_\_\_ DATE

SELLER DATE SELLER DATE

BUYER DATE BUYER DATE



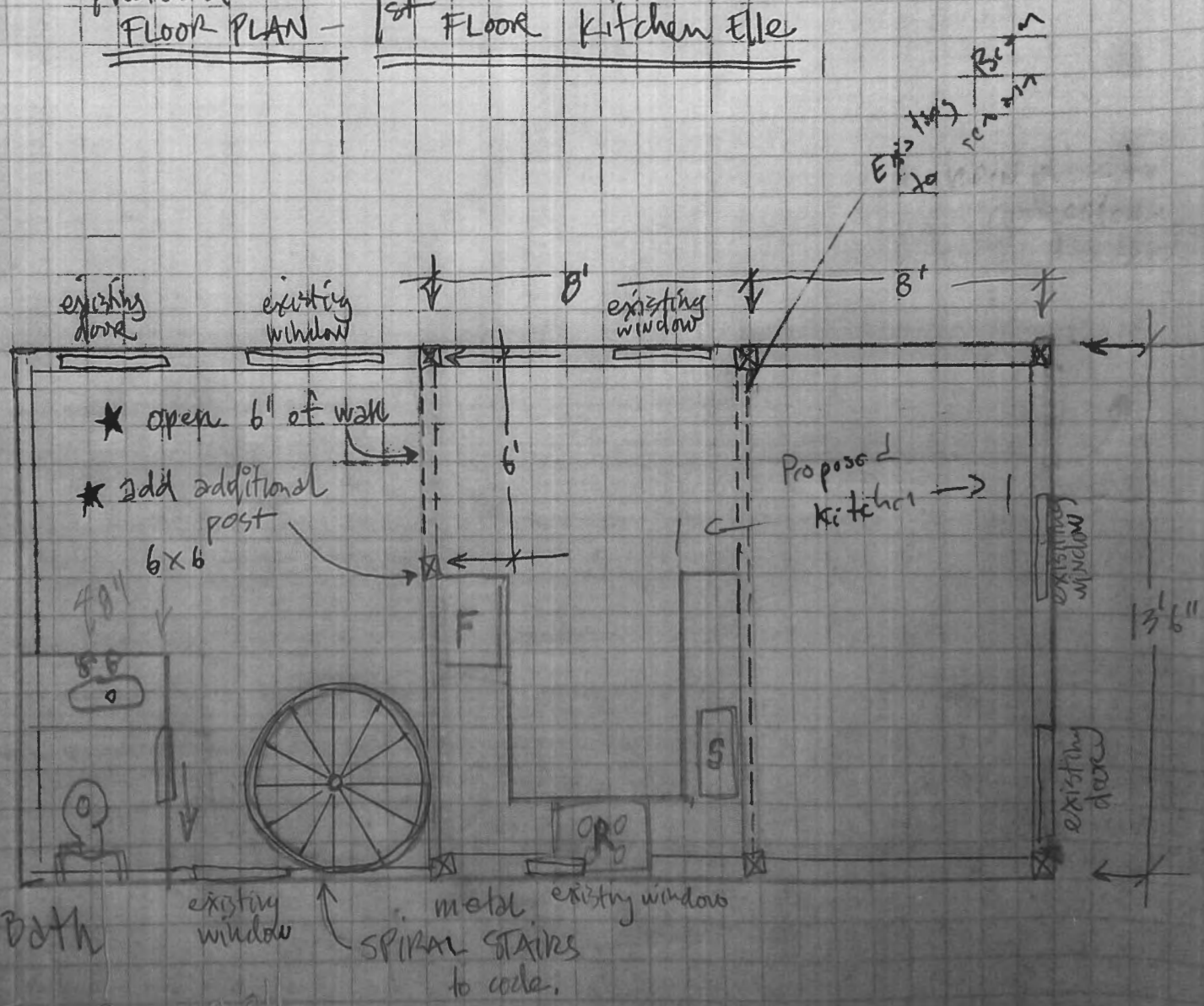
Maine Association of REALTORS®/Copyright © 2012  
 All Rights Reserved. Revised January 2012



Ayumi Horie

★ PLAN B

PROPOSED FLOOR PLAN - 1st FLOOR Kitchen Elle



PURCHASE AND SALE AGREEMENT

September 10, 2012
Offer Date

September 12, 2012
Effective Date is defined in Paragraph 23 of this Agreement.

1. PARTIES: This Agreement is made between Ayumi Horie ("Buyer") and Scott K. Lovejoy ("Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (X) all part of; If "part of" see para. 26 for explanation) the property situated in municipality of Portland County of Cumberland State of Maine, located at 1266 Westbrook Street and described in deed(s) recorded at said County's Registry of Deeds Book(s) 6751, Page(s) 124

3. FIXTURES: The Buyer and Seller agree that all fixtures, including but not limited to existing storm and screen windows, shades and/or blinds, shutters, curtain rods, built-in appliances, heating sources/systems including gas and/or kerosene-fired heaters and wood stoves, sump pump and electrical fixtures are included with the sale except for the following: None

Seller represents that all mechanical components of fixtures will be operational at the time of closing except: None

4. PERSONAL PROPERTY: The following items of personal property as viewed on August 20, 2012 are included with the sale at no additional cost, in "as is" condition with no warranties:

5. PURCHASE PRICE: For such Deed and conveyance Buyer agrees to pay the total purchase price of \$ 305,000.00 Buyer (X) has delivered; or will deliver to the Agency within NA days of the Offer Date, a deposit of earnest money in the amount \$ 10,000.00 If said deposit is to be delivered after the submission of this offer and is not delivered by the above deadline, this offer shall be void and any attempted acceptance of this offer in reliance on the deposit being delivered will not result in a binding contract. Buyer agrees that an additional deposit of earnest money in the amount of \$ NA will be delivered Failure by Buyer to deliver this additional deposit in compliance with the above terms shall constitute a default under this Agreement. The remainder of the purchase price shall be paid by wire, certified, cashier's or trust account check upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

6. EARNEST MONEY/ACCEPTANCE: Pleasant River Properties ("Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until September 11, 2012 (date) Noon AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

7. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on November 15, 2012 see 26B (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 calendar days, from the time Seller is notified of the defect, unless otherwise agreed to in writing by both Buyer and Seller, to remedy the title. Seller hereby agrees to make a good-faith effort to cure any title defect during such period. If, at the later of the closing date set forth above or the expiration of such reasonable time period, Seller is unable to remedy the title, Buyer may close and accept the deed with the title defect or this Agreement shall become null and void in which case the parties shall be relieved of any further obligations hereunder and any earnest money shall be returned to the Buyer.

8. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

9. POSSESSION, OCCUPANCY, AND CONDITION: Unless otherwise agreed in writing, possession and occupancy of premises, free of tenants and occupants, shall be given to Buyer immediately at closing. Said premises shall then be broom clean, free of all possessions and debris, and in substantially the same condition as at present, excepting reasonable use and wear. Buyer shall have the right to view the property within 24 hours prior to closing.

2012-11-5-MO-AR  
213 Coll

RECEIVED

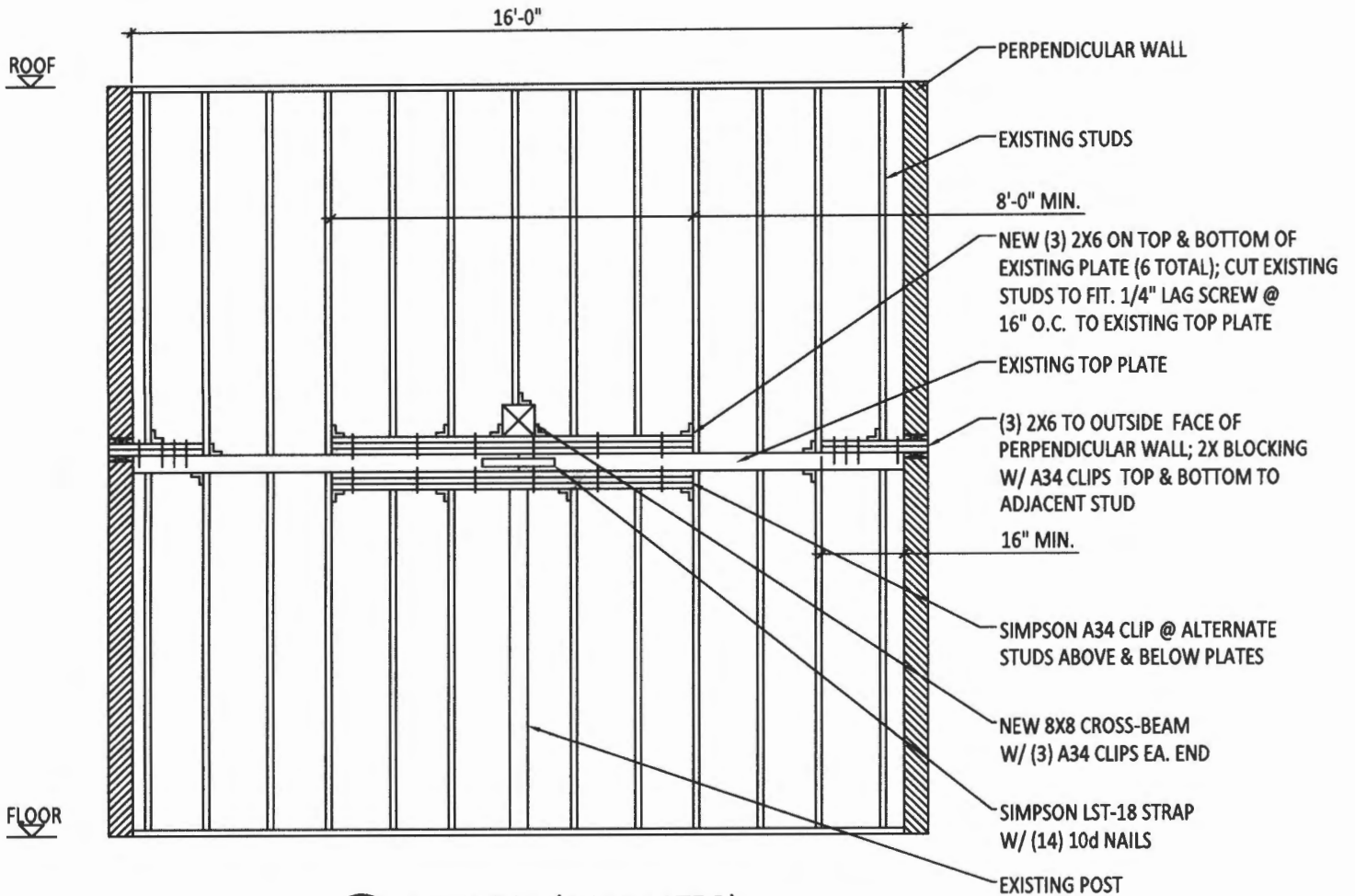
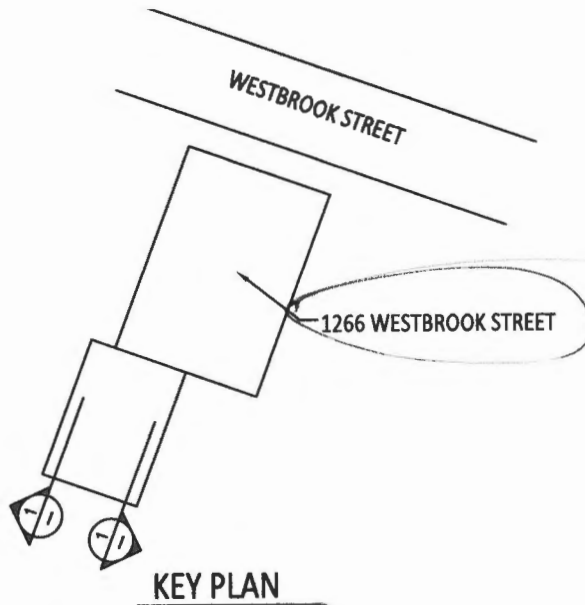
JAN 22 2013

Dept. of Building Inspections  
City of Portland Maine

\* 01/22/13

→ okay w/ revision

JAR



1 ELEVATION (ALTERNATE B)  
SEE COVER LETTER FOR INFORMATION NOT NOTED

PROJECT 1266 WESTBROOK STREET, PORTLAND, MAINE 04102  
DATE 2013.01.13

RECEIVED

~~1-8 2013~~

Dept. of Building Inspections  
City of Portland Maine

Andrew M Jackson, PE  
21 Luther St.  
Peaks Island, ME 04108  
207-200-6106

January 13, 2013

Greg Frangoulis, Greg Frangoulis Design

Cc: Ayumi Horie

Re: 1266 Westbrook Street, Portland, Maine 04102

Dear Greg:

This letter outlines the structural design and specifications for the project noted above.

*Scope of work*

Structural aspects of the proposed work include:

- Partial removal of an existing floor in the southern portion of the existing residence.
- Removal of an existing cross-beam.
- Installation of a new 8x8 cross-beam, acting as a lateral tie/brace between the east and west walls.
- Installation of a new top plate lagged to the existing timber top plate and reinforcement at the two perpendicular walls. (Note: two alternatives are shown: one for 2x8 top plate reinforcement and one for 2x6 top plate reinforcement.)
- Selective reinforcement of the existing roof structure with 2x8s to shore sagging areas.

See attached drawing showing the cross-beam and new top plate assembly.

Contractor is responsible for shoring, temporary stability, and means & methods of construction. For your reference, one possible construction sequence is to install the new top plate, including all attachments and anchorage; install the new cross beam; then demolish the existing floor and cross-beam.

*Notes*

1. Design complies with the 2009 International Code Committee family of codes including by reference: ASCE 7-10; 13th edition; Nation Design Specification for Wood Construction, 2012 edition.
2. Structure has been designed to include loads in accordance with ASCE 7.
  - a. Dead load: Actual and presumed weights of existing construction.

Andrew M Jackson, PE  
21 Luther St.  
Peaks Island, ME 04108  
207-200-6106

- b. Ground snow load:  $p_g = 50$  psf; Importance factor,  $I_s = 1.0$ ; Exposure factor,  $C_e = 0.9$ ; Thermal Factor,  $C_t = 1.0$ .
3. Wood framing indicated in the drawing by nominal sizes (2x4, 2x6, etc) shall be kiln dried spruce-pine-fir, #2 or better.
  4. Connectors noted by part number are by Simpson Strong-tie or approved equal.
  5. Structural design does not include stair details, ornamental features, mechanical, electrical, and plumbing details & attachments, or any other information not specifically shown on the structural drawing(s).
  6. Contractor to inspect existing conditions and notify engineer of any discrepancies between the drawings and existing conditions. Design assumes that the existing top plates on the east & west walls are free of mortises, splits, and other imperfections greater than 1" in any dimension.

Best Regards,

Andy Jackson



Enc: Structural elevations dated January 13, 2013.

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