

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number: 051096

This is to certify that Okrent Mark B & /Patrick La ers
has permission to Renovate existing attic space adding false walls, skylights, and subfloor, built in entertainment center
AT 17 Garrison St City of Portland 213 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is opened or closed-in. **48 HOURS NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

AUG 24 2005

CITY OF PORTLAND

[Handwritten Signature] *8/24/05*

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 770-7070 Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 05-1096 Issue Date: **AUG 24 2005** CBL: 213 B001001

Location of construction: 17 G St	Owner Name: Okrent Mark B &	Owner Address: 17 Garrison St	Phone: 871-5969
Business Name:	Contractor Name: Patrick Landers	Contractor Address: 31 Alder Street Portland	Phone: 207-2522103
Lessee/Buyer's Name	Phone:	Permit Type:	Zone:

Past Use: single family home	Proposed Use: single family home with renovated attic	Permit Fee: \$192.00	Cost of Work: \$18,400.00	CEO District: 3
Proposed Project Description: Renovate existing attic space by adding knee walls, skylights, new subfloor, built in entertainment center		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group R-3 Type
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jharris	Date Applied For: 08/08/2005	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p style="text-align: center;">Special Zone or Review</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 8/24/05</p>	<p style="text-align: center;">Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p style="text-align: center;">Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: 8/24/05</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1096	Date Applied For: 08/08/2005	CBL: 213 B001001
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Location of Construction: 17 Garrison St	Owner Name: Okrent Mark B &	Owner Address: 17 Garrison St	Phone: () 871-5969
Business Name:	Contractor Name: Patrick Landers	Contractor Address: 31 Alder Street Portland	Phone: (207) 252-2103
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: single family home with renovated attic	Proposed Project Description: Renovate existing attic space by adding knee walls, skylights, new subfloor. built in entertainment center
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Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 08/25/2005
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/25/2005
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or heating.
- 2) The room is NOT approved as a sleeping room.

8/24/05-tmm: spoke w/builder - need ceiling heights labeled on cross section, chimney clearances, floor joists? Existing space?

8/25/05-tmm: met w/builder - ok to issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection; Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: ~~Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

Date 8/24/05

Signature of Inspections Official

Date

CBL: 243-B-1 Building Permit #: 05-1096

All Purpose Building Permit Application

If YOU or the property owner owes real estate or personal property taxes or user charges on any property Within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure 3000		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot 001	Owner: Mark Orren Charlotte Witt	Telephone: (207)	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Patrick Landers 31 Alder St. Portland Phone # 207-252-2103	Cost Of Work: \$18,460	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME 192
Current use: A Home SFH	<div style="border: 1px solid black; padding: 5px; display: inline-block;"> AUG 8 2005 RECEIVED </div>		
If the location is currently vacant, what was prior use:			
Approximately how long has it been vacant:			
Proposed use:	Project description: Remodel the existing AMIC		
Contractor's name, address & telephone: Patrick Landers 31 Alder Street Portland Me, 04101, Phone # 207-252-2103 Who should we contact when the permit is ready: Patrick Landers Mailing address: 31 Alder Street Portland Me 04101			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-252-2103			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Patrick Landers	Date: 8-8-05
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Cash

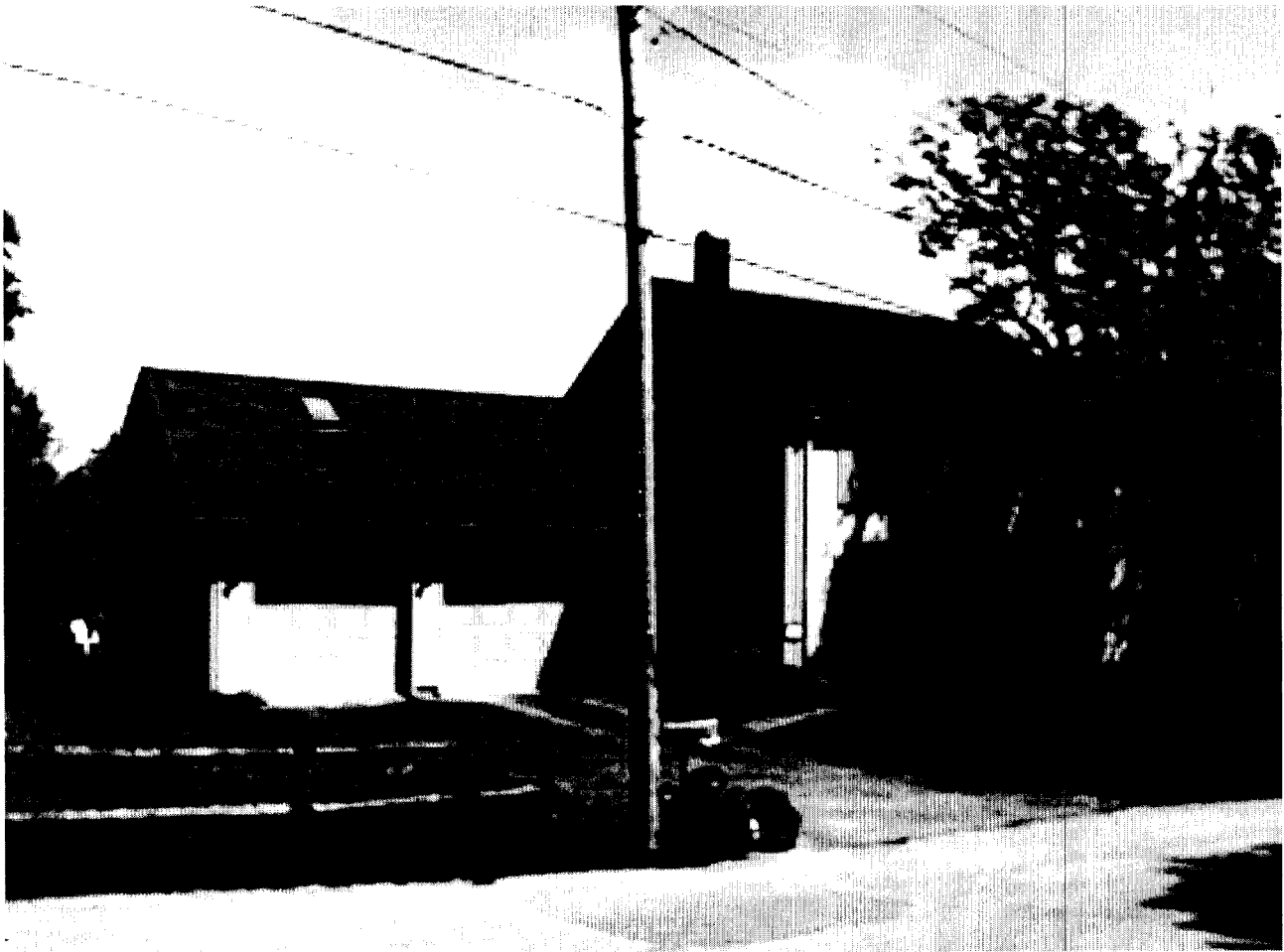
Mark Okrent
Charlotte Witt
Phone # 207-871-5969

17 GARRISON STREET
PORTLAND ME, 04102

Job description:

We propose to finish off the existing space of the attic. By adding two knee walls one to the front and one to the back side of the house. These walls will enclose the space for the eaves (storage space) there will be four access doors into this space. Ideally it will be one open space at about thirty feet by ten feet. There will be a new sub-floor laid down on top of the existing floor in the finished portion of the attic. We are not installing the finished carpet. The ceilings will be fished down with two by six stocks. There will be an eight inch space between the ridge and the fished ceiling for recess lighting. Two skylights will be installed perpendicular to the existing windows outside on the second floor. There will be one closet on each side of the finished attic one in the living area and one in the bed room area. The backside of the two closets will be the finished walls for the stairway. We will also be replacing the hand rail down the stairs. There will be a built in bed unit in the bed room on the front side of the house. This will house six doors for a built in dresser under the bed. Also in the bed room area the brick stack will be fished. In the living area there will be a built in home entertainment center with the same oak finish as the built in bed unit. This will all be on the back side of the house. Both the finished bed and the entertainment center will be in accordance with the drawings. All finished base boards will be one by eight pre primed pine with three quarter inch ban molding. All walls will be finished with dry wall and seam tape and compound. We will finish the closets with one shelf and one pole in each unit. We will also get the two existing windows back in working order. We will vent the soffit on the exterior on front and back however the historical district approves. If when venting we find the rafter tails are rotten it will be a change order from this proposal we are not anticipating the replacement of the rafter tails in this price. This work will include thirty days of labor and a total cost of **\$18,400** eighteen thousand four hundred dollars.

ANY CHANGES TO THIS PROPOSAL WILL BE A CHANGE ORDER TO THE ORIGINAL PRICE.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	213 0001001
Location	17 GARRISON ST
Land Use	SINGLE FAMILY
Owner Address	OKRENT NARK B & CHARLOTTE E WITT JTS 17 GARRISON ST PORTLAND NE 04102
Book/Page	15567/286
Legal	213-B-1 GARRISON ST WESTBROOK ST 1200-1208 37257SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$126,600	\$181,010	\$307,610

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$211,400	\$191,600	\$403,000

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1786	Colonial	2	2533	0.855	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	2	1	8	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

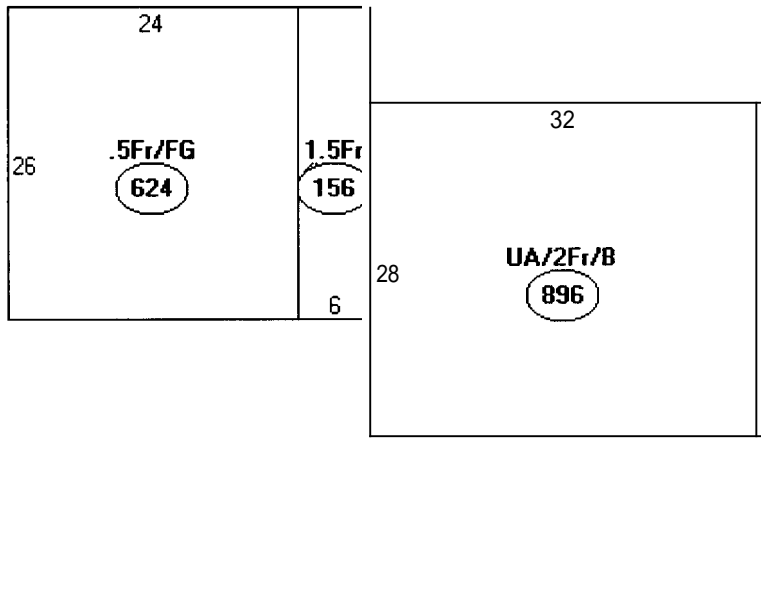
Date	Type	Price	Book/Page
06/27/2000	LAND + BLDING	\$329,900	15561-286
06/08/1994	LAND + BLDING	\$210,000	11476-202

Picture and Sketch

Picture	Sketch	Tax Map
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-



Descriptor/Area

A: UA/2Fr/B
896 sqft

B: 1.5Fr
156 sqft

C: .5Fr/FG
624 sqft