

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Stephanie Justin Walsh

Located At 28 GARRISON ST.

Job ID: 2011-04-751-ADDR

CBL: 213 - - A - 018 - 001 - - - -

has permission to install a 16' x 24' Deck

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

04/25/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR



PORTLAND MAINE

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Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-04-751-ADDR

Located At: 28 GARRISON ST.

CBL: 213 - - A - 018 - 001 - - - -


Conditions of Approval:

Building

1. Fastener schedule per the IRC 2009.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. Owner is amending plan to provide 2 X 10 inch (SFP # 2) floor joist to twelve (12) inches on center, and a (2) 2 X 10 inch rim joist (beam) supported by "Sona" tubes with a max span of six (6) feet.
4. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-04-751-ADDR	Date Applied: 4/6/2011	CBL: 213 - - A - 018 - 001 - - - - -	
Location of Construction: 28 GARRISON	Owner Name: Stephanie & Justin Walsh	Owner Address: 28 Garrison St., Portland ME 04102	Phone: 233-9228
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-2
Past Use: Single Family	Proposed Use: Single Family – build 16’ x 24’ deck on rear of house	Cost of Work: 2000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature	Inspection: Use Group: R3 Type: BB IRC, 2009 Signature: 
Proposed Project Description: 28 Garrison St – build 16’ x 24’ deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input checked="" type="checkbox"/> Shoreland <i>edge of front of lot in shoreland - structure is not.</i> <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/ conditions 4/7/11 ASK</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/19/11 D. Andrews</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHON _____



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>28 Garrison St</u>		
Total Square Footage of Proposed Structure/Area <u>384</u>	Square Footage of Lot <u>Approx 11,400 sq ft.</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>213</u> Block# <u>A</u> Lot# <u>18</u>	Applicant 'must be owner, Lessee or Buyer' Name <u>Stephanie Walsh</u> Address <u>28 Garrison St.</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>207-233-9228</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>N/A</u> Address _____ City, State & Zip _____	Cost Of Work: \$ <u>Approx. \$2000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>N/A</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Attached deck for leisure activities</u> Is property part of a subdivision? <u>No</u> If yes, please name <u>N/A</u> Project description: <u>16' x 24' attached deck.</u>		
Contractor's name: <u>N/A</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Stephanie Walsh</u> Telephone: <u>207-233-9228</u> Mailing address: _____		

446 #

RECEIVED
APR - 6 2011
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4-3-11

This is not a permit; you may not commence ANY work until the permit is issued

4/6/11

front edge of property in street land.

Job Summary Report Job ID: 2011-04-751-ADDR

Report generated on Apr 7, 2011 8:12:37 AM

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Job Type:	Addition Residential SF/Duplex	Job Description:	28 Garrison St	Job Year:	2011
Building Job Status Code:	In Review	Pin Value:	1069	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	2,000	Square Footage:			
Related Parties:	Stephanie Justin Walsh		<i>Property Owner</i>		

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 28982

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
C58300	213 A 018 001		M				-70.31134	43.655543

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				28 GARRISON STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE	22		Historic District		DISTRICT 6	STROUDWATER

Structure Details

Structure: Single Family Home

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			28 GARRISON STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value
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Permit #: 20112513

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
28982	Single Family Home	Initialized	16' x 24' Deck			

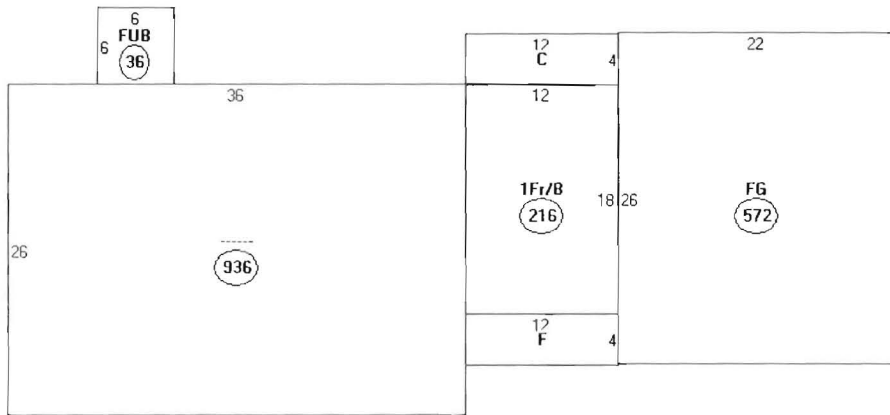
Inspection Details

Job Summary Report
Job ID: 2011-04-751-ADDR

Report generated on Apr 7, 2011 8:12:37 AM

Page 2

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag			
							Fees Details		
Fee Code	Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
	Job Valuation Fees	\$40.00							



Descriptor/Area

- A: -----
936 sqft
- B: FUB
36 sqft
- C: OFP
48 sqft
- D: FG
572 sqft
- E: 1Fr/B
216 sqft
- F: OFP
48 sqft

= 1808

Garrison St.

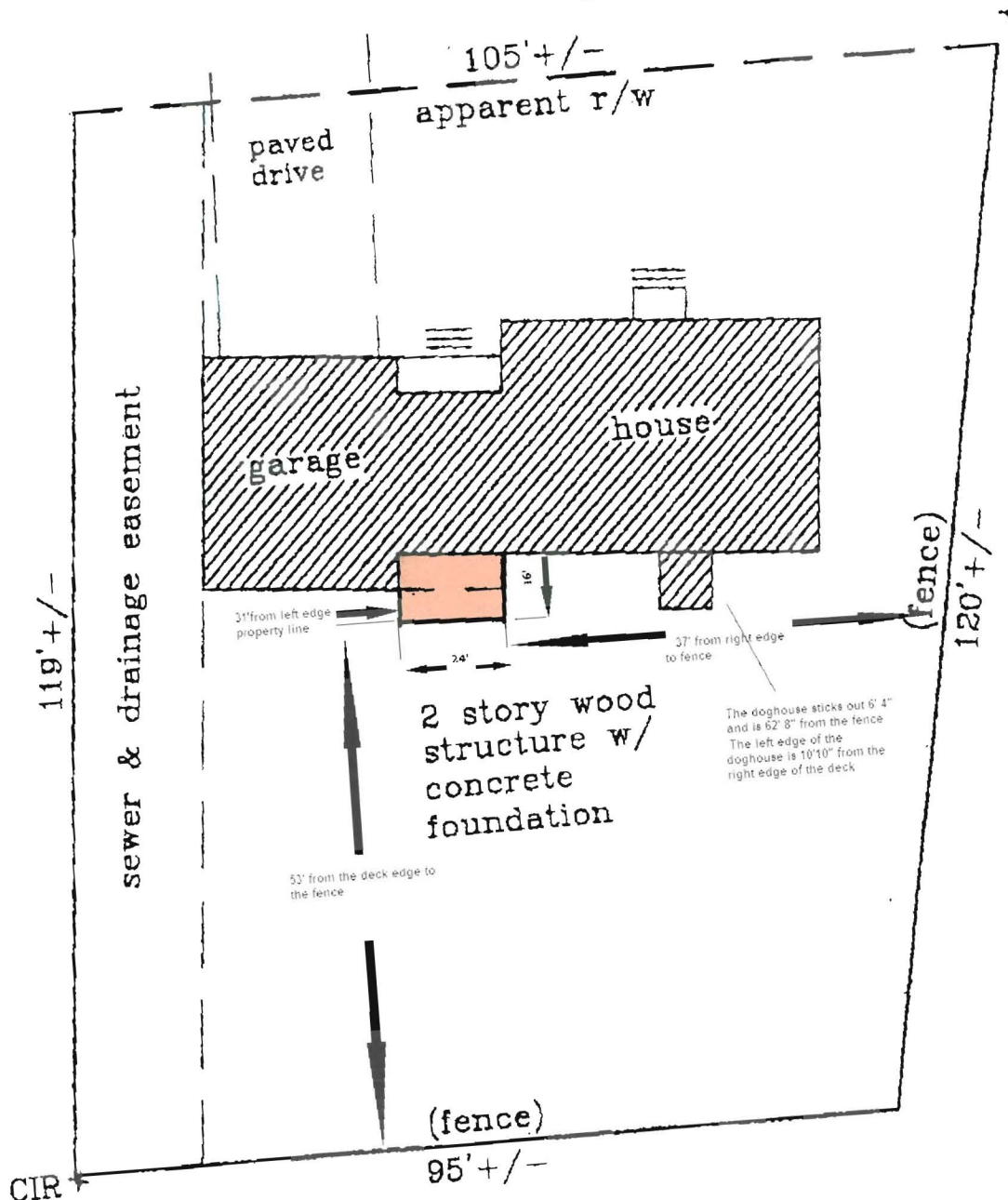
R-2

lot size - 12,446 sq ft

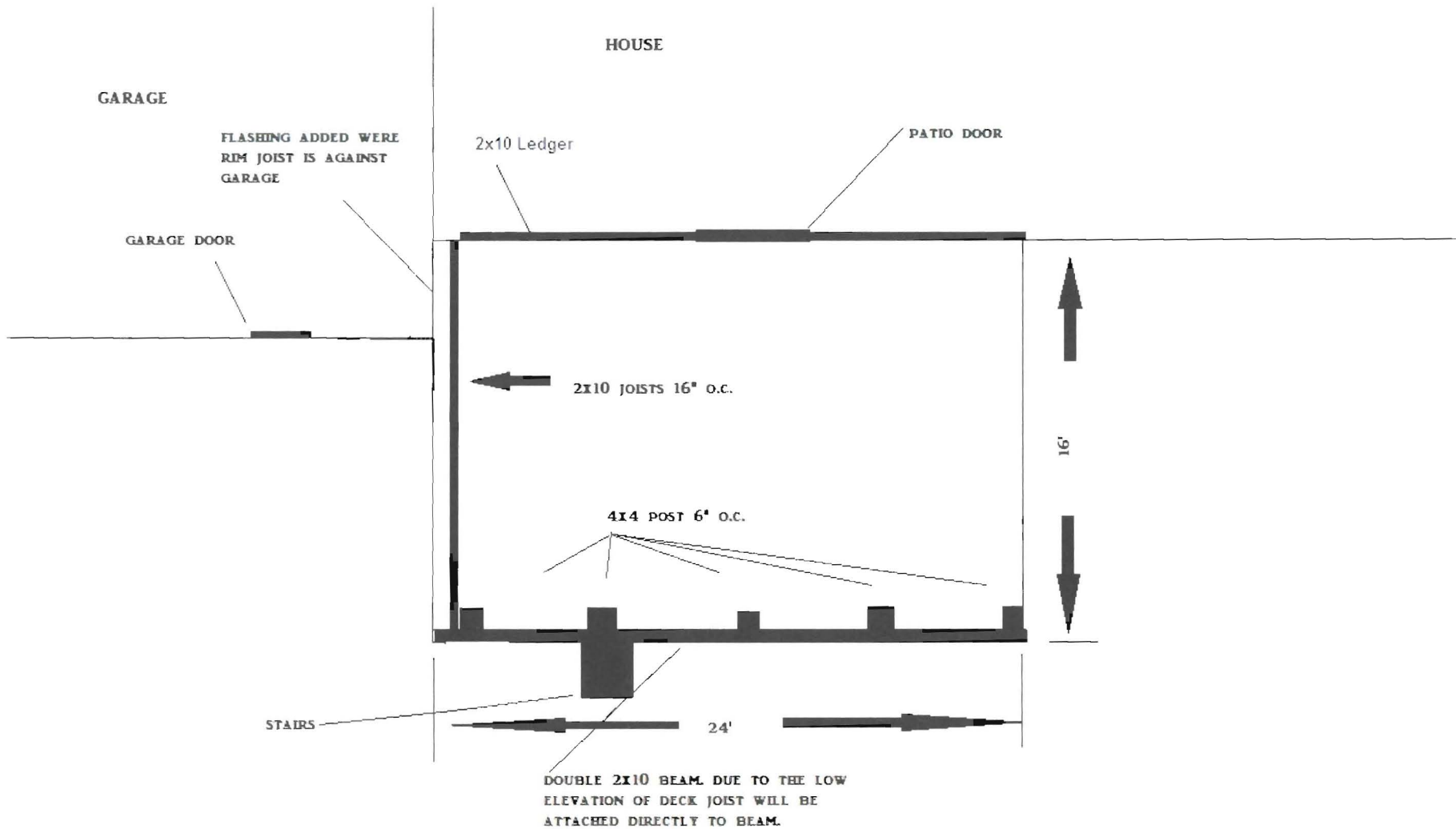
front yard - N/A
rear yard - 25' - 525 sq ft (OK)
side yard - 12' - 31' on left (OK)
- 31' on right (OK)

lot coverage = 20% = 2489.2 sq ft

existing house + garage - 1808 sq ft
deck - 16 x 24 = 384
2192 sq ft (OK)



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1. The ledger will be attached to the house with 1/2 x 4" lag screws 18' O.C. flashing and building felt will be used to provide water protection

2. The 4x4 post will be attached to the pier with adjustable metal post bases, the beam will be attached to the top on the post with adjustable metal post caps.

3. The joist will be attached directly to the beam using metal joist handlers

4. The stairs will have a tread 11" and a riser of 7" with 3/4" Nose, the stairs will 52" wide. The top of the deck at this point is only 15 3/4 " off the ground so only one step will be required.

BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- Diameter of concrete filled tube or pre cast concrete pier size 8"
- depth below grade (minimum 4'-0" below grade) 4'
- anchorage of column to footing metal Post bases
- spacing and location of tubes/piers 6' o.c., located under Beam

3. Framing Members

- Columns – wood size and location (members supporting framing of floor system) 4x4, 6' o.c. under beam
- Ledger size attached to building 2x10
- Fastener size and spacing attaching ledger 1/2" x 4" Lag Screws 18" o.c.
- Girder Size and spans carrying floor system. ~~2x10 16" o.c. span is 16'~~
- Joist size, span, and spacing 2x10 16" o.c. span is 16'
- Joist hangers or ledger metal Joist hangers

4. Guardrails & Handrail Details

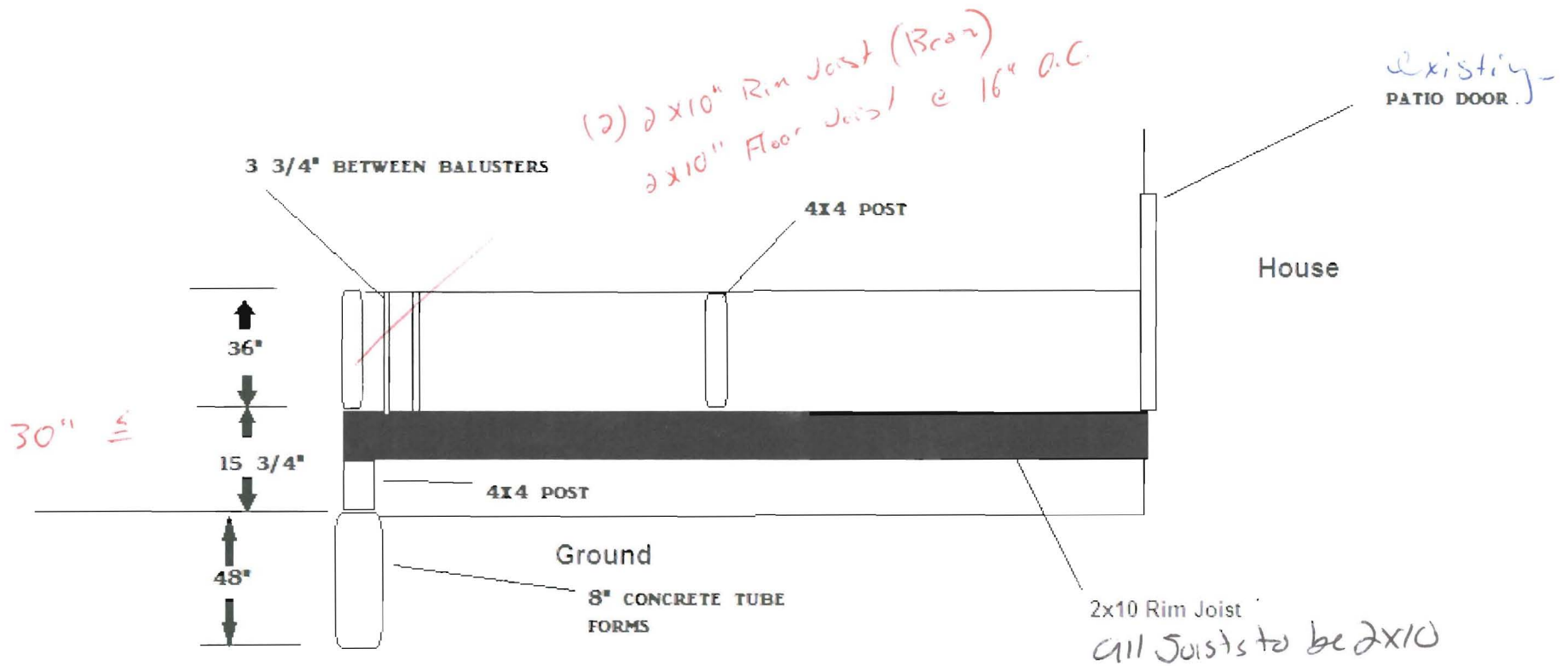
- Guardrail height 36"
- Baluster spacing 3 3/4"
- Handrail height 36"

5. Stair Details

- Tread depth (measured nosing to nosing) 12"
- Riser height 7"
- Nosing on tread 3/4"
- Width of stairs 52"

Ben Wallace @ Fire Dept. for Fire Pit

#40



1. The railing and post shall be pre-assembled unit from a home improvement store with 4x4 posts. these units have balusters spaced 3 3/4 " apart and will be installed so the top of the handrails are at 36"

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/ Setback
 2. Framing/ Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

5-6-11 DW M Justin 233-8254

Footings poured prior to inspection