

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		Permit No. 02-0750	CBL: 212 B003001
		Issue Date: AUG - 2 2002	

<b>Location of Construction:</b> 51 Garrison St	<b>Owner Name:</b> Sommer John W &	<b>Owner Address:</b> 51 Garrison St	<b>Phone:</b> 207-775-4201
<b>Business Name:</b>	<b>Contractor Name:</b> Applicant	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-2
<b>Past Use:</b> Residence	<b>Proposed Use:</b> Residence with breezeway renovation/2nd story addition.	<b>Permit Fee:</b> \$443.00	<b>Cost of Work:</b> \$60,000.00
		<b>CEO District:</b> 3	<b>Zone:</b> 38,492 <sup>sq</sup>
<b>Proposed Project Description:</b> Renovate the breezeway and construct 2nd story addition for bathroom		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R3 Type: SB 7/31/02 <i>[Signature]</i>
		<b>Signature:</b>	<b>Signature:</b>
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		<b>Signature:</b>	<b>Date:</b>

<b>Permit Taken By:</b> jmy	<b>Date Applied For:</b> 07/10/2002	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/19/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>8/1/02</i> <i>see letter shall comply with All Historic Requirements</i>
	<i>Corner of rear lot is in wetland beyond 75' from HWM Panel 12 Zmax</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Application ID Number: 2-0750

Delete

Save

Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

[Empty text box for comments]

Approval Date: 08/01/2002

Given On Date: 07/19/2002

OK to Issue Permit Name: Mike Nugent Date: 08/01/2002 Date 2: [Empty]

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Stairs must have a 10 inch minimum net tread and a 7 3/4 inch maximum net rise, w/ 36" guards with openings less than 4 inches.

[Large empty text area for additional conditions]

Create Date: 07/10/2002 By: jmy

Update Date: 08/01/2002 By: mjn

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 020750

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that Sommer John W &/Applicant  
has permission to Renovate the breezeway and construct 2nd story addition for bathroom  
AT 51 Garrison St Call 212 B003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

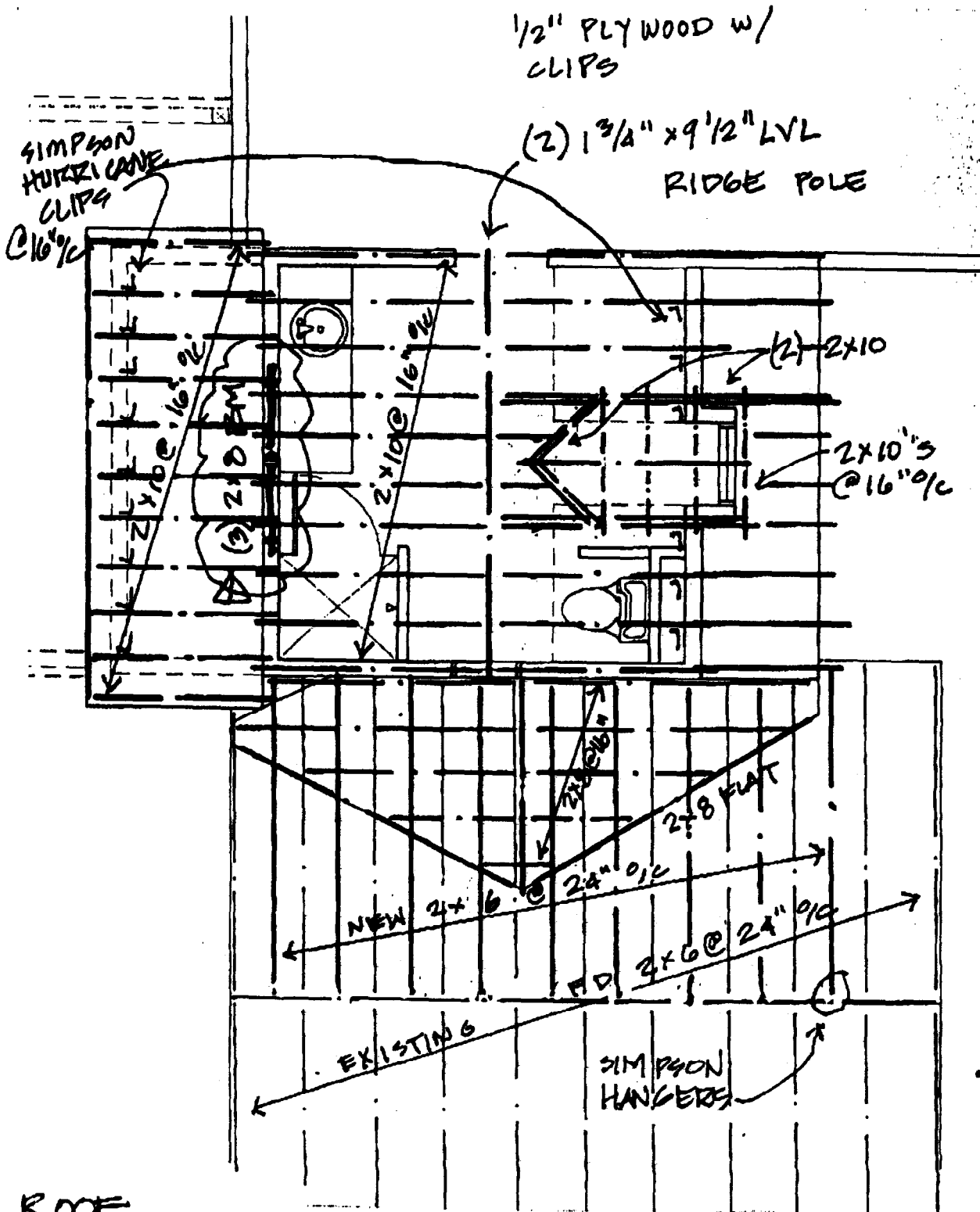
Notification of inspection must be given and written permission procured before this building or part thereof is entered or closed-in.  
**HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]* 7/31/02  
Director - Building Inspection Services

**PENALTY FOR REMOVING THIS CARD**



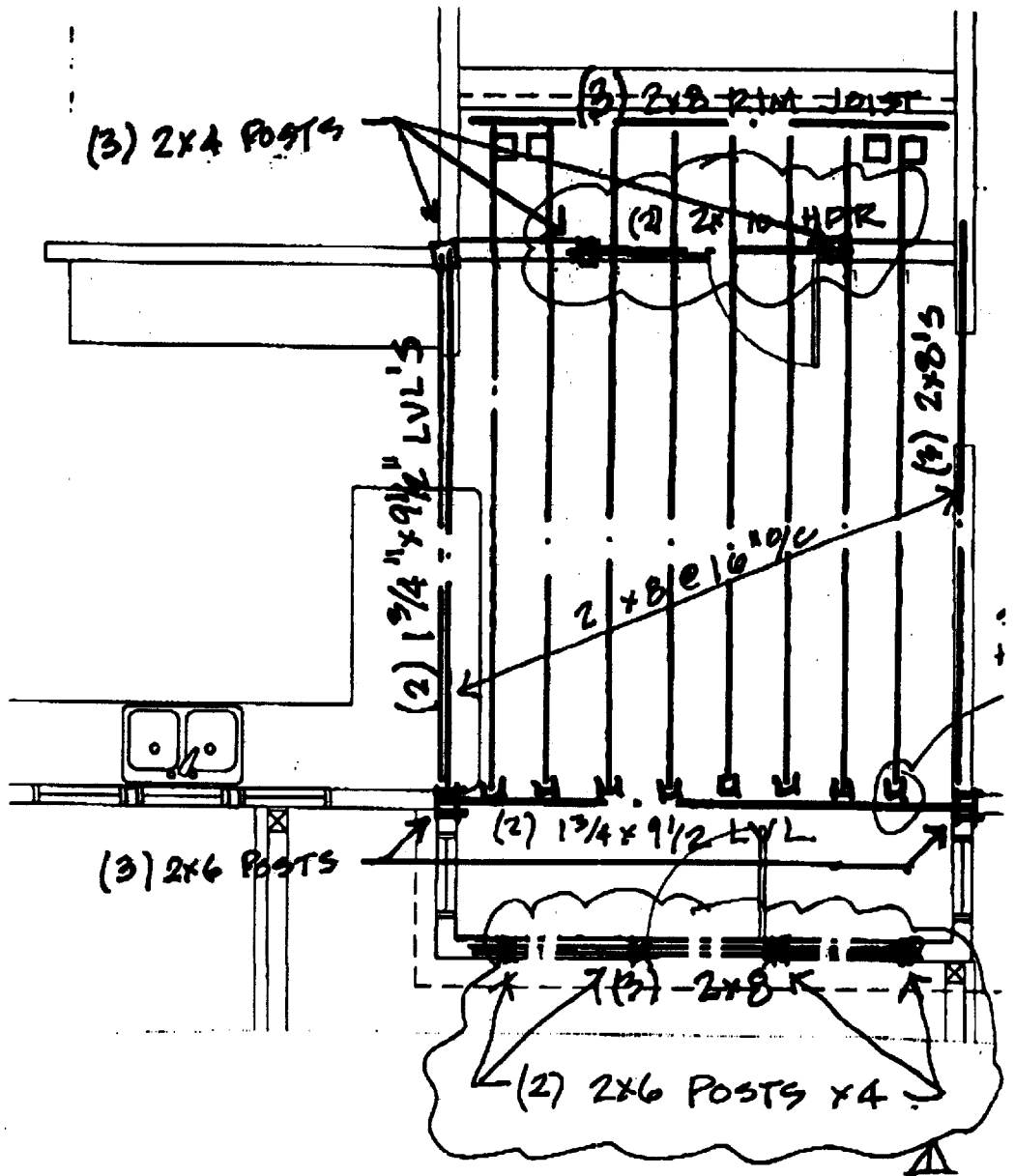
ROOF

**F FRAMING**

△ 7.31.02

4' SCALE: 1/4" = 1'-0"

4/4



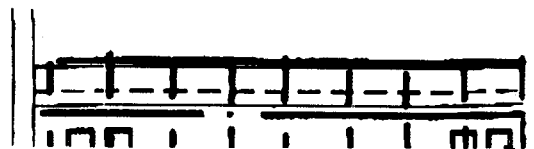
1  
A1.1

**SECOND FLOOR FRAMING**

△ 7.31.02

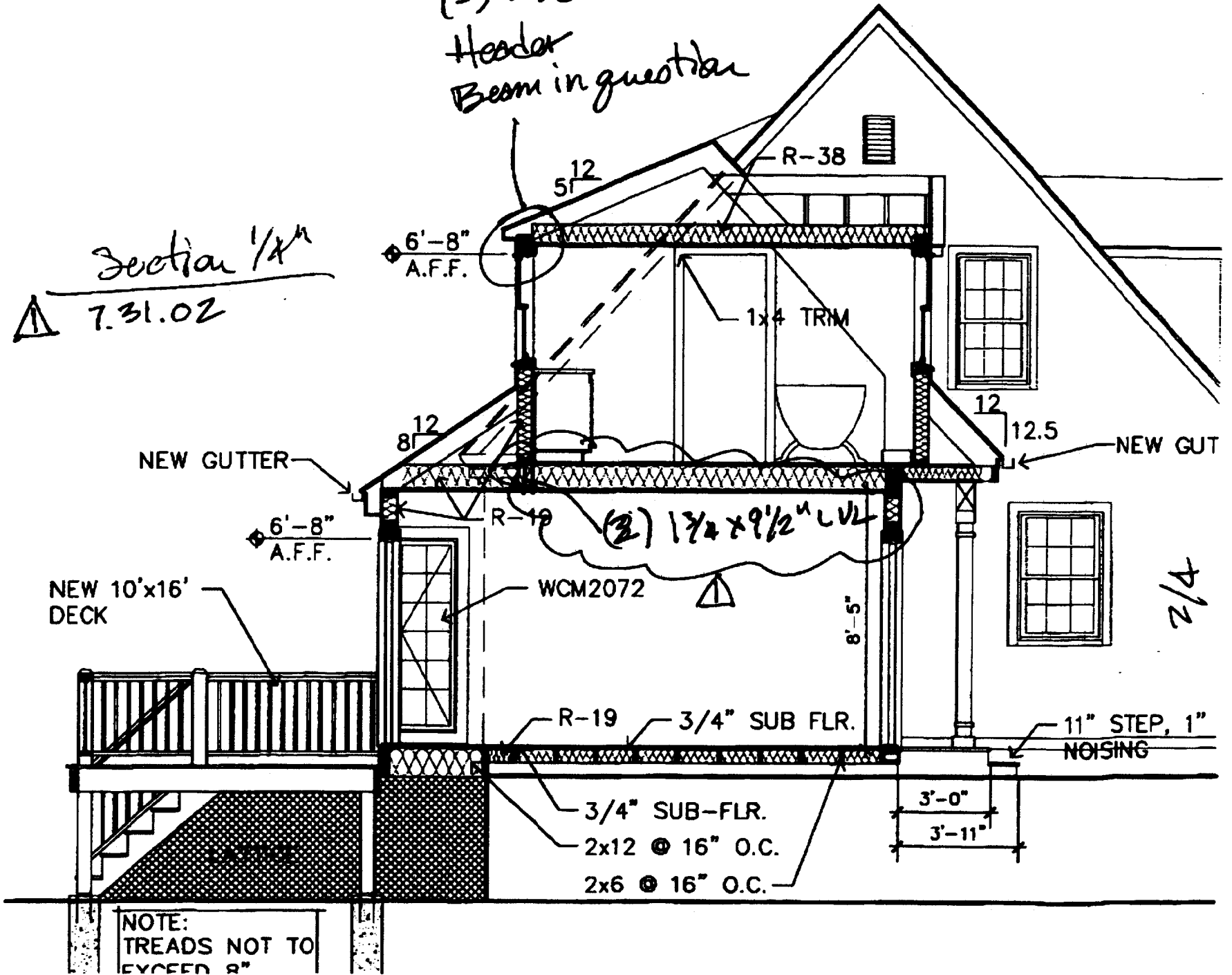
0 4' SCALE: 1/4" = 1'-0"

3/4



(3) 2x8  
Header  
Beam in question

Section 1/4"  
7.31.02



NEW 10'x16'  
DECK

NEW GUTTER

NEW GUT

6'-8"  
A.F.F.

6'-8"  
A.F.F.

WCM2072

(2) 1 7/8 x 9 1/2" LVL

R-19

R-19

3/4" SUB FLR.

3/4" SUB-FLR.

2x12 @ 16" O.C.

2x6 @ 16" O.C.

8'-5"

3'-0"

3'-11"

11" STEP, 1"  
NOISING

NOTE:  
TREADS NOT TO  
EXCEED 8"

2/4

1x4 TRIM

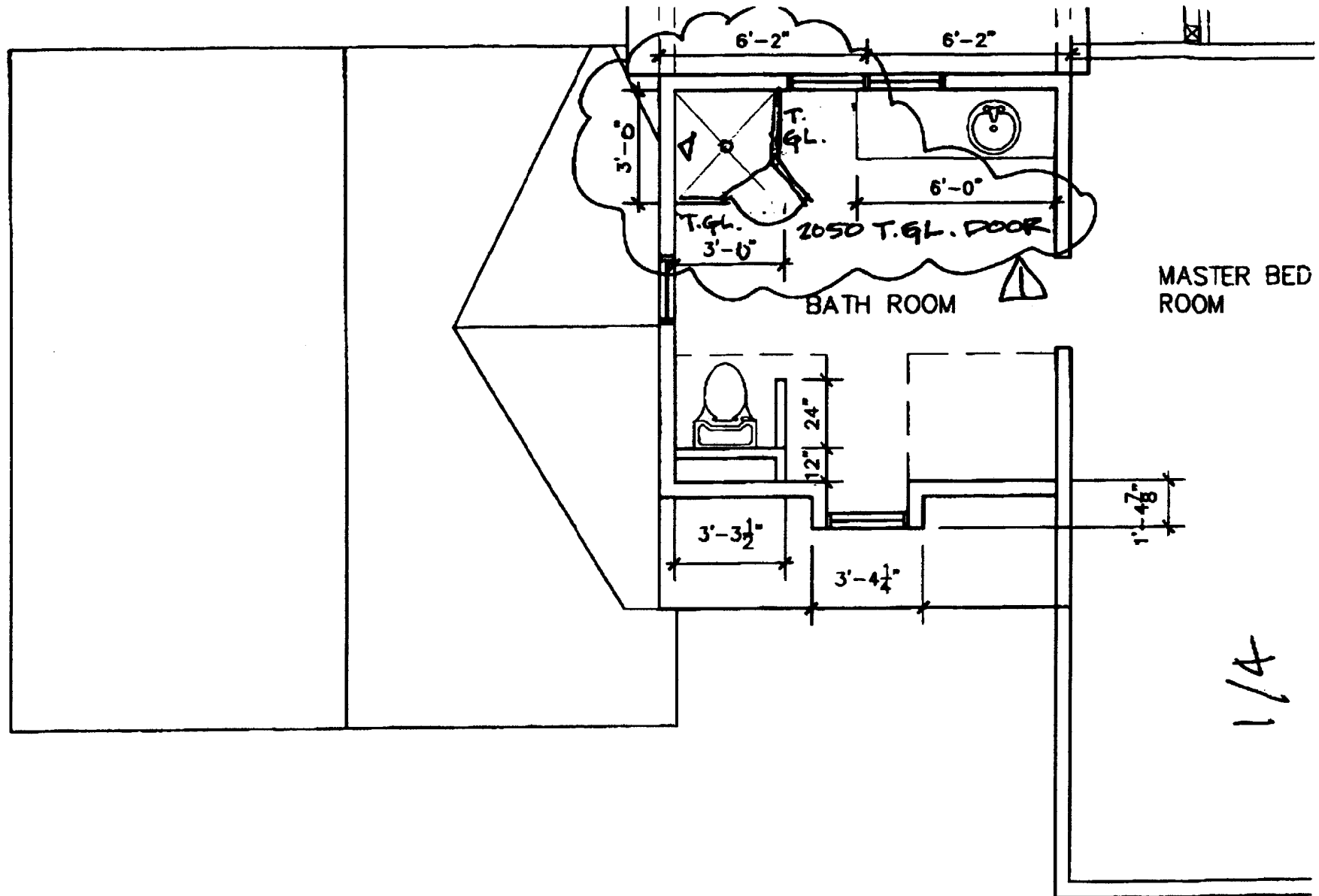
R-38

5' 12

8' 12

12

12.5



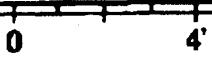
MASTER BED ROOM

BATH ROOM

1/4

3  
A1.1

SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"

# Transmittal



To:

MIKE NUGENT CEO  
 City of Portland  
  
 874-8716

DATE: 2/2/02

VIA:

- FAX
- UPS / FEDEX
- USPS
- HAND
- E-MAIL
- COURIER

PROJECT SOMMER RESIDENCE

NUMBER OF PAGES: 5

COPIES	DATE	DESCRIPTION	ACTION
1/4	7.31.02	SECOND FLOOR PLAN	REVISED SHOWER
2/4	}	SECTION	EM NOTED
3/4		SECOND FLOOR FRAMING	NOTED BEAM
4/4		ROOF FRAMING	NEW(3) 2x8 BEAM

Mike -  
 Please fax a copy of the permit to  
 this office for our records.  
 Mark

Mark Sengelmann NCARB NFPA  
 Owner Registered Architect

43 Deering Street • Portland, Maine 04101

207.761.9500 / Fax 761-9595 design@portcitydesign.net



02-0750

# All Purpose Building Permit Application

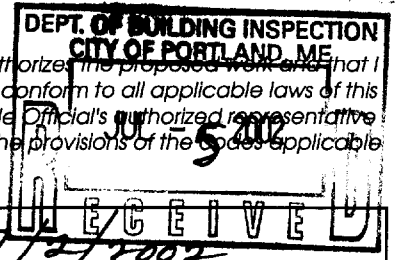
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 Garrison Street, Portland</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>approx 38,492</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>212--B-003 - 001</u>	Owner: <u>Lorri W. and John W. Sommer</u>	Telephone: <u>207-775-4201</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Lorri W. Sommer 51 Garrison St. Portland, ME 04102</u>	Cost Of Work: \$ <u>60,000</u> Fee: \$ <u>443.00</u>
Current use: <u>Residence</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Residential addition</u>		
Project description: <u>Renovation of breezeway and addition of second story for master bath.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Lorri W. Sommer</u>		
Mailing address: <u>51 Garrison St. Portland, ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <u>207-775-4201</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Lorri W. Sommer</u>	Date: <u>7/2/2002</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
**If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**

# MORTGAGE LOAN INSPECTION

Bruce W. Goodwin P.L.S.

P.O. Box 2314

So. Portland, ME 04116-2314

1-207-799-3211

Borrower(S): John W. and Lorri W. Sommer

St. No.: 00051

Street: Garrison St.

Town: Portland, ME

Source Deed Bk. 1543 Pg. 259, 260 (

Job No.: M18-55.

CL No.: 5434

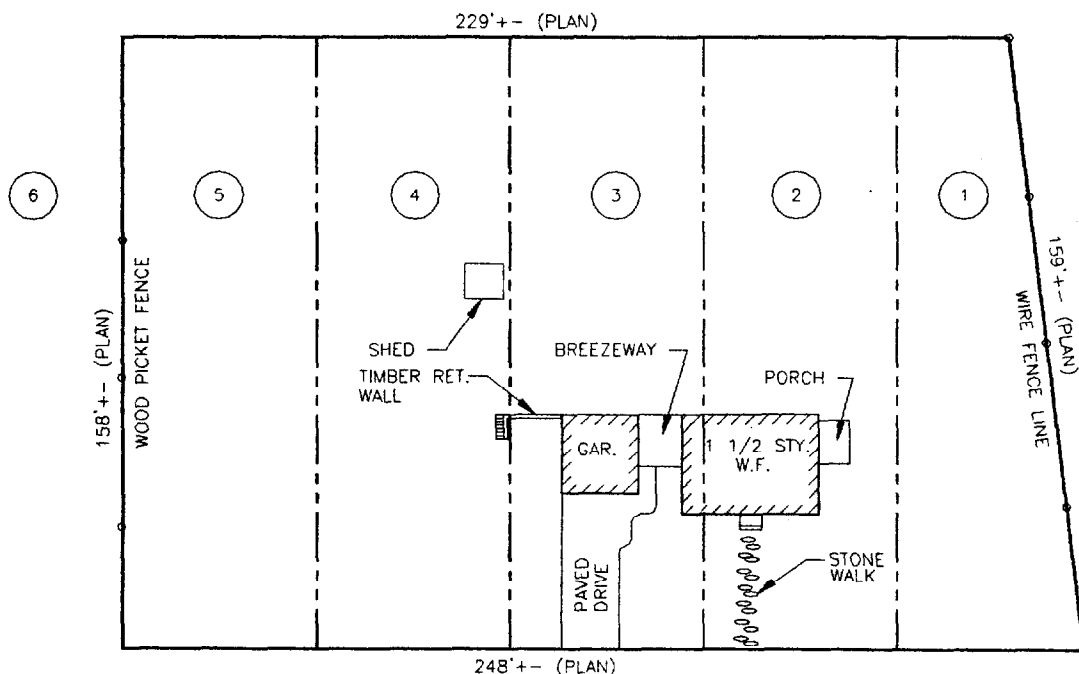
Date: 12/29/94

County: Cumberland

Plan Bk. 16 Pg. 21

Lot(S): 1 - 5

Scale: 1"=50'



## GARRISON STREET

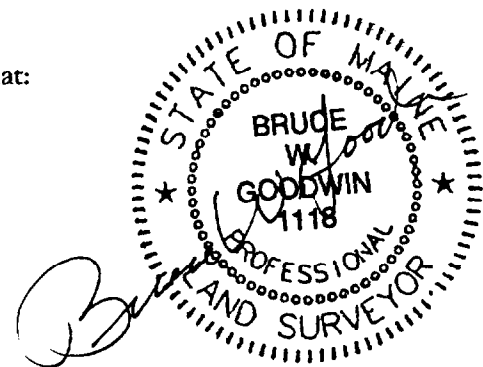
(PAVED)

**NOTE: THIS IS NOT A BOUNDARY SURVEY.** This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. **THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.**

**CERTIFICATON:** I hereby certify to *KeyCorp Mortgage Inc.*

and its mortgage title insurer that based upon inspection made with reasonable certainty, that:

- this plan was made from an inspection of the site.
- there **ARE NO** apparent violations of municipal ordinances regarding building setbacks in effect at time of construction.
- the principal structure(s) located on the premises **ARE NOT** in a flood hazard zone as delineated on the flood maps used by the Federal Emergency Management Agency.



**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION COMMITTEE**

---

Stephen Sewall, Cha  
Cordelia Pitman, Vice Cha  
Edward Hoble  
Susan Wrot  
Camillo Breggi  
Robert Parke  
John Tur

May 2, 2002

Lorri and John Sommer  
51 Garrison Street  
Portland, ME 04102

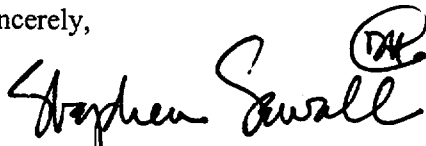
Dear Mr. and Mrs. Sommer:

On May 1, 2002, the City of Portland's Historic Preservation Committee voted 7-0 to approve your application for a Certificate of Appropriateness for exterior alterations and a building addition at 51 Garrison Street. The approval was granted without conditions.

\* All improvements shall be carried out as shown on the submitted plans and specifications submitted for the 5/1/02 public hearing. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work. \*

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Stephen Sewall, Chairman  
Historic Preservation Committee

cc: Approval Letter File  
Building Inspections

Application ID Number: 2-0750

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 51 Garrison

Approval Date: 07/19/2002

Check Out Date: 07/15/2002

OK to Issue Permit Name: Marge Schmuckal Date: 07/19/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

ANY exterior work requires a separate review and approval thru Historic Preservation. You shall comply with ALL the Historice requirements place on this project by the Board. ANY changes SHALL require a separate review.

Create Date: 07/10/2002 By: jmy

Update Date: 07/19/2002 By: mes

2973159 329-9080

# GENERAL NOTES

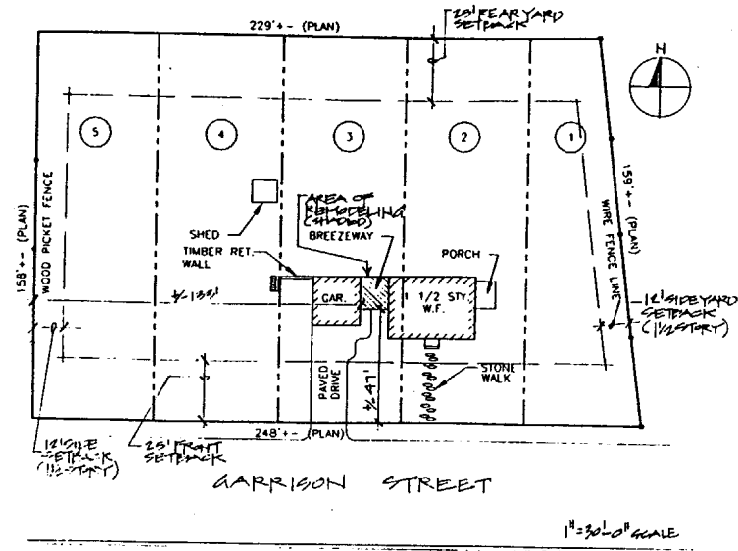
- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL, AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- ALL WORK SHALL BE COMPLETED TO INDUSTRY STANDARDS IN A PROFESSIONAL WORKMAN LIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK. (STATE FIRE MARSHALL PERMIT BY OWNER.)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETS. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND/OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ALL DOOR HARDWARE TO MATCH EXISTING.
- MAINTAIN A SAFE CLEAR PATH FREE FROM DUST AND DEBRIS BETWEEN OCCUPIED AREAS AND THE MEANS OF EGRESS. PROVIDE DUST PARTITIONS AS SPECIFIED, OR IF NOT SPECIFIED, AS DIRECTED BY THE ARCHITECT TO PROVIDE THIS ACCESS. REVIEW LOCATION AND SEQUENCING OF DUST PARTITIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. EXISTING WALLS MAY BE SEALED TO UNDERSIDE OF SLAB ABOVE IN LIEU OF CONSTRUCTING NEW DUST PARTITIONS WHERE APPLICABLE.
- FIELD VERIFY ALL FLOOR LEVEL HEIGHTS PRIOR TO THE START OF CONSTRUCTION. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GUARANTEE: ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.

# RENOVATION GENERAL NOTES

- REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (ie EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE. PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- IF SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND/OR REMOVAL. ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY WITH THE CITY OR PORTLAND CONCURRENTLY WITH THIS PROJECT. THE CONTRACTOR SHALL CO-ORDINATE WITH THESE EFFORTS IF ENCOUNTERED.

# LEGEND

- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAWN
- SHEET WHERE DETAIL IS TAKEN
- DENOTES ADDITIONAL SHEETS WHERE DETAIL IS TAKEN
- INDICATES BUILDING SECTION / EXTERIOR ELEVATIONS
- BUILDING SECTION LETTER
- SHEET WHERE BUILDING SECTION IS DRAWN
- SHEET WHERE BUILDING SECTION IS TAKEN
- DENOTES ADDITIONAL SHEETS WHERE BUILDING SECTION IS TAKEN
- INTERIOR ELEVATION NUMBER
- SHEET WHERE ELEVATION IS DRAWN
- LIMIT OF WORK
- EXISTING WALLS & ITEMS TO BE REMOVED
- EXISTING WALL
- NEW WALL CONSTRUCTION
- ELEVATOR LOBBY
- ROOM NAME AND NUMBER
- KEY NOTE / REVISIONS
- NEW DOOR NUMBER
- ELEVATION TARGET
- WALL TYPE
- EXISTING DOORS & WINDOW



# SITE DEVELOPMENT PLAN

Scale 1"-----30'-0"  
 Site Plan Information derived from Mortgage Inspection Plan prepared by: Bruce W. Goodwin P.L.S. dated 12/29/94  
 Lot(s) 1-5 Town of Portland, ME, Plan book 16 page 21  
 Cumberland County Registry of Deeds.

# TYPICAL ABBREVIATIONS

&	AND	INT	INTERIOR
D or ANG	ANGLE	JT	JOINT
AT	AT	LAM	LAMINATED
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ALUM	ALUMINUM	MFG	MANUFACTURER
ARCH	ARCHITECTURAL	MIL	MILLIMETER
BLKG	BLOCKING	MIN	MINIMUM
B.O.	BOTTOM OF	MTL	METAL
CL	CENTER LINE	MW	MICROWAVE
CAB	CABINET	N	NORTH
CLG	CEILING	NAT	NATURAL
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CONC MASONRY UNIT	# or NO	NUMBER
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OH	OVERHEAD
CONT	CONTINUOUS	PERP	PERPENDICULAR
COR	CORNER	PERF	PERFORATED
CPT	CARPET	PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PLAS	PLASTER
DIA	DIAMETER	PT	PRESSURE TREATED
DR	DOOR	PTD	PAINTED
E	EAST	R	RISER
EA	EACH	REF	REFRIGERATOR
ELEC	ELECTRIC	RO	ROUGH OPENING
ELEV	ELEVATION OR ELEVATOR	RM	ROOM
EQ	EQUAL	S	SOUTH
E or EXIST	EXISTING	SAT	SUSPENDED ACOUSTICAL TILE
EXP	EXPANSION	SIM	SIMILAR
EXT	EXTERIOR	SS	STAINLESS STEEL
FBO	FURNISHED BY OWNER	STD	STANDARD
FIN	FINISHED	STL	STEEL
FLR	FLOOR	TEL	TELEPHONE
GA	GAUGE	TGL	TEMPERED GLASS
GALV	GALVANIZED	T.O.	TOP OF
GL	GLASS	TYP	TYPICAL
GWB or GYP BD	GYP GYPSUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
H	HIGH	VB	VINYL BASE
HGT	HEIGHT	VCT	VINYL COMPOSITE TILE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	W	WIDE, WEST
HR	HOUR	WD	WOOD
IBC	INSTALLED BY CONTRACTOR	WC	WATER COOLER
INSUL	INSULATION	W/W	WITH WITHOUT

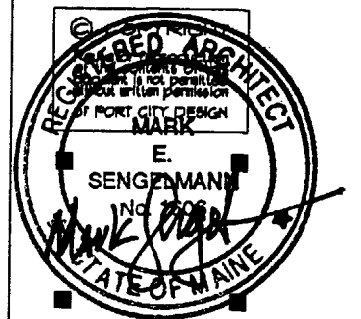
# LIST OF DRAWINGS

- T1 TITLE SHEET, NOTES, ABBREVIATIONS
- D1.1 DEMOLITION FLOOR PLANS
- A1.1 SECOND FLOOR PLAN
- A2.1 ELEVATION
- A2.2 ELEVATION
- A2.3 ELEVATION
- A3.1 BUILDING SECTION

# PROJECT DESCRIPTION

- CONSTRUCTION TYPE VB
- USE: RESIDENTIAL
- SIZE: 120 S.F. ADDITION
- BUILDING ADDITION FALLS WITHIN SETBACK
- ADDITION FALLS BELOW THE HEIGHT LIMIT

**PORT CITY DESIGN**  
 43 DEERING STREET  
 PORTLAND, ME 04101  
 PHONE: 207.761.9500  
 FAX: 207.761.9595  
 mark@portcitydesign.net



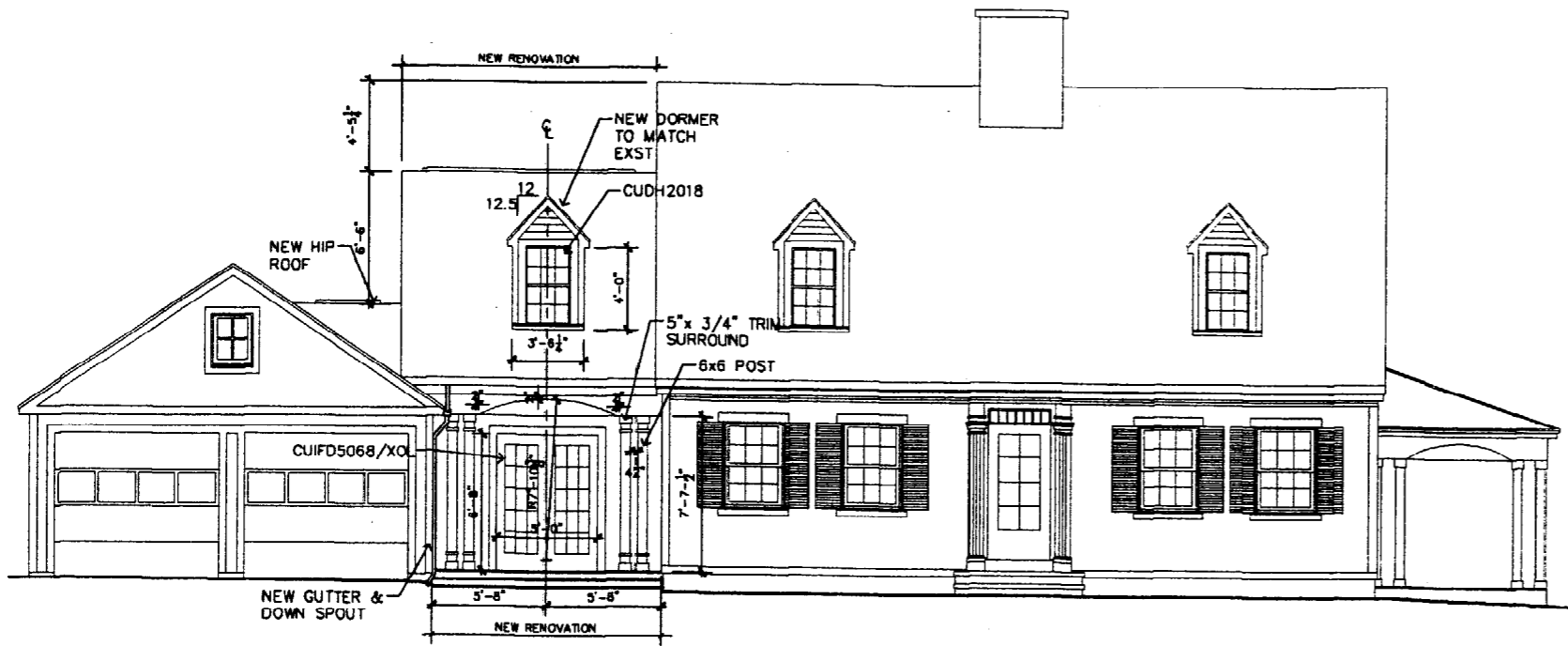
PERMIT SET DOCUMENTS

**SOMMER RESIDENCE**  
 51 GARRISON STREET  
 PORTLAND, ME 04101

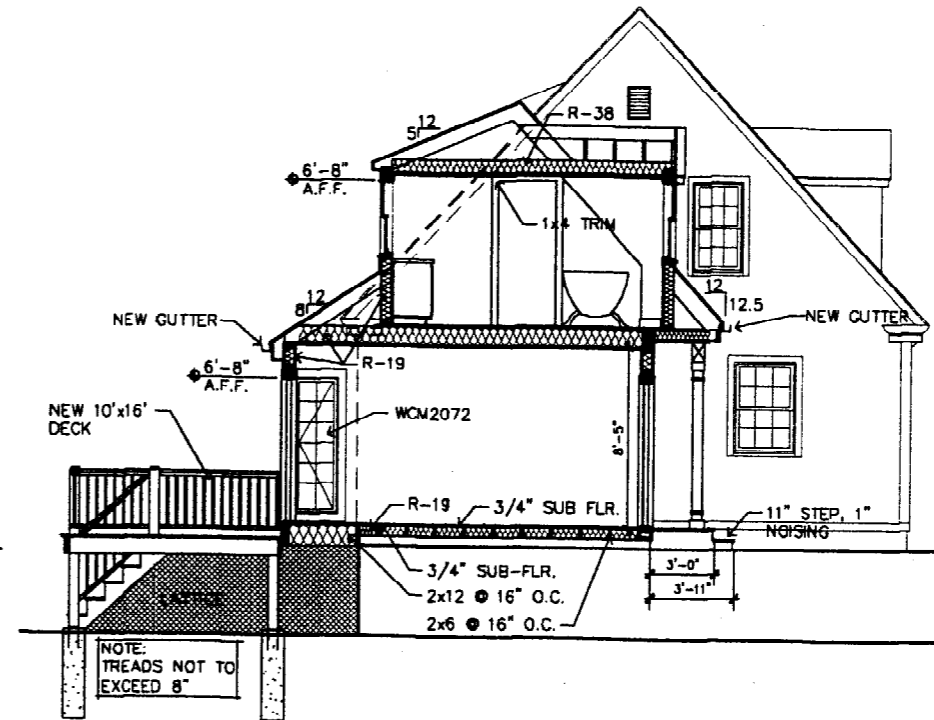
JOB: 02006

ISSUE DATE	
PRELIM.	03.05.02
FINAL	1.01.02
BID	1.01.02
C.D.'s	-
REVISION	-
PRINT	1.01.02

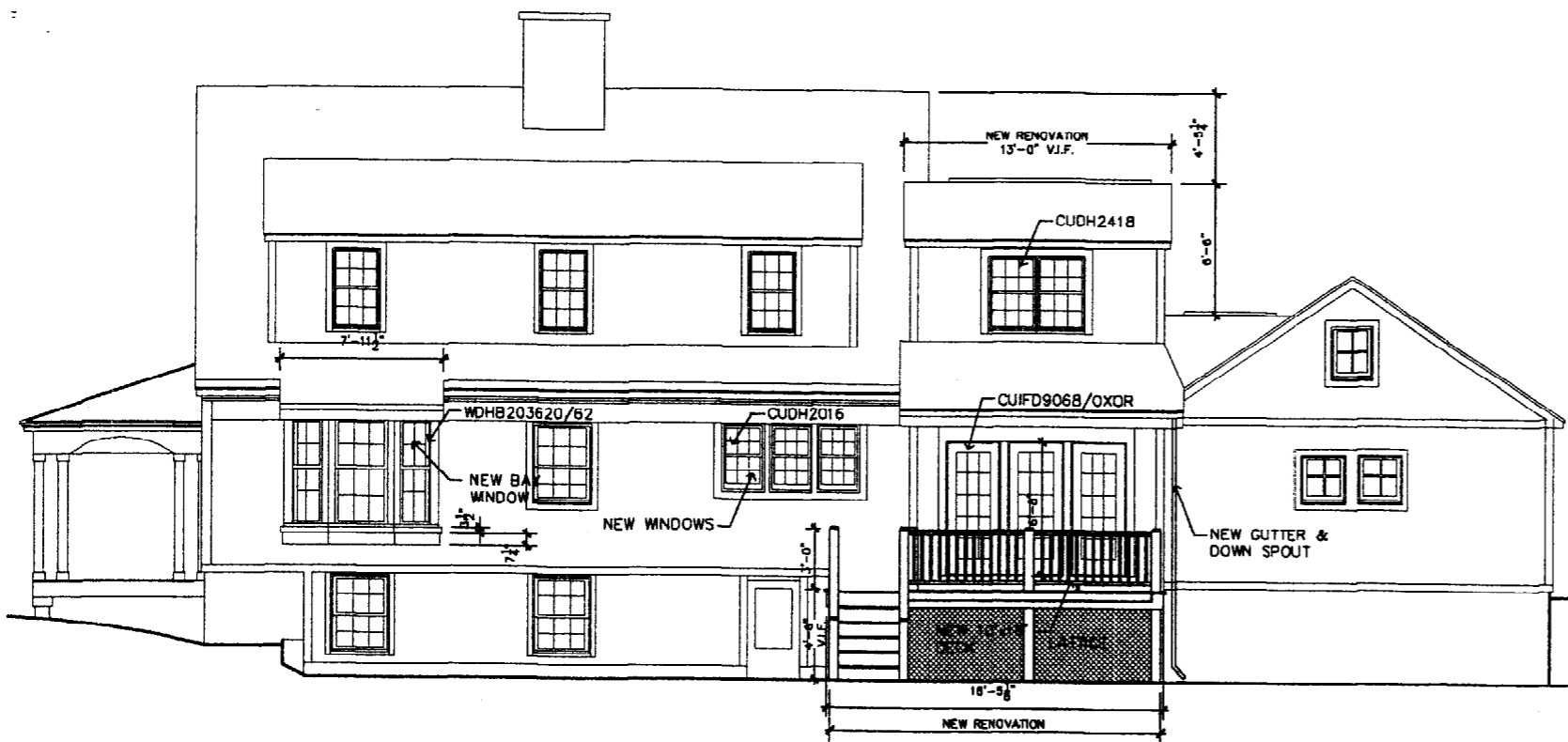
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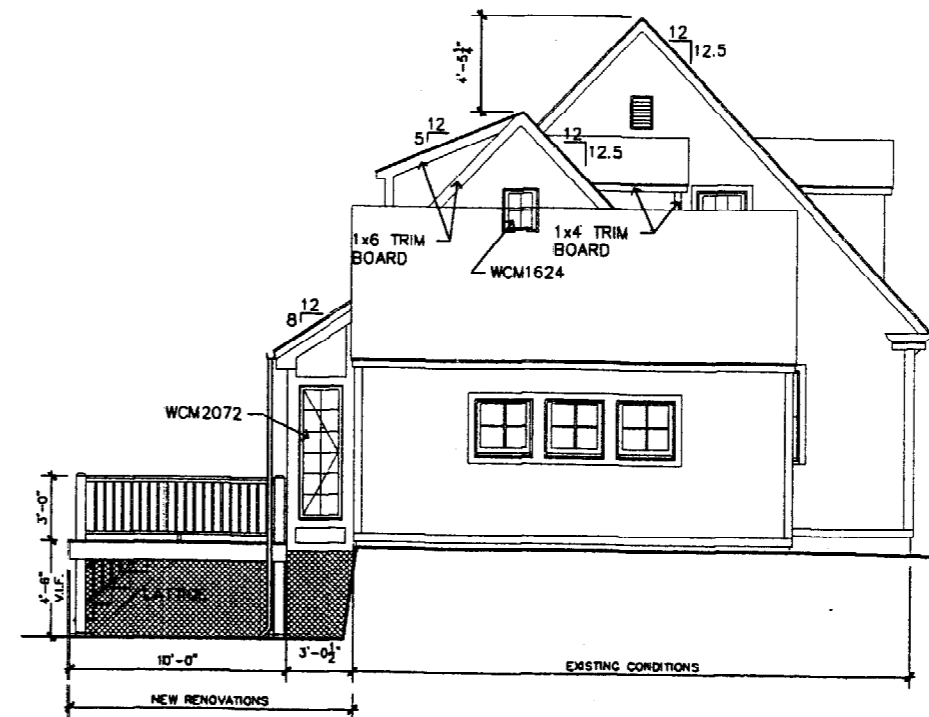
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2 SECTION THRU ADDITION  
 B1.1 0 4 SCALE: 1/4" = 1'-0"



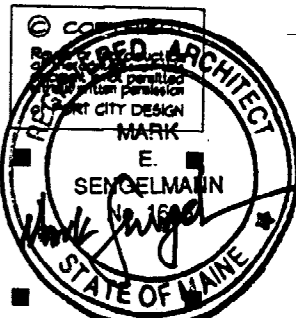
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 B1.1 0 4 SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION  
 B1.1 0 4 SCALE: 1/4" = 1'-0"

**PORT CITY DESIGN**

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JOB: 02006

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PRELIM.	03.05.02
FINAL	7.01.02
BID	7.01.02
C.D.'s	-
REVISION 1	-
PRINT	7.01.02

ELEVATIONS  
**A-1.1**

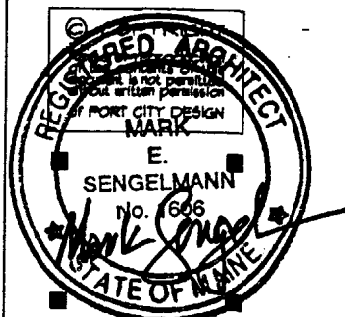




3 REAR ELEVATION  
 0 2 SCALE: 1/2" = 1'-0"

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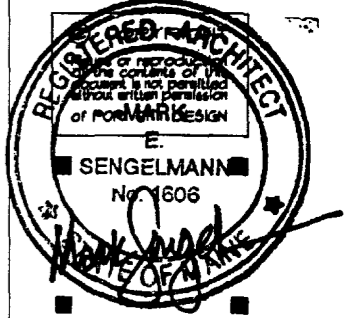
JOB: 02006

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ELEVATIONS  
**A-1.3**



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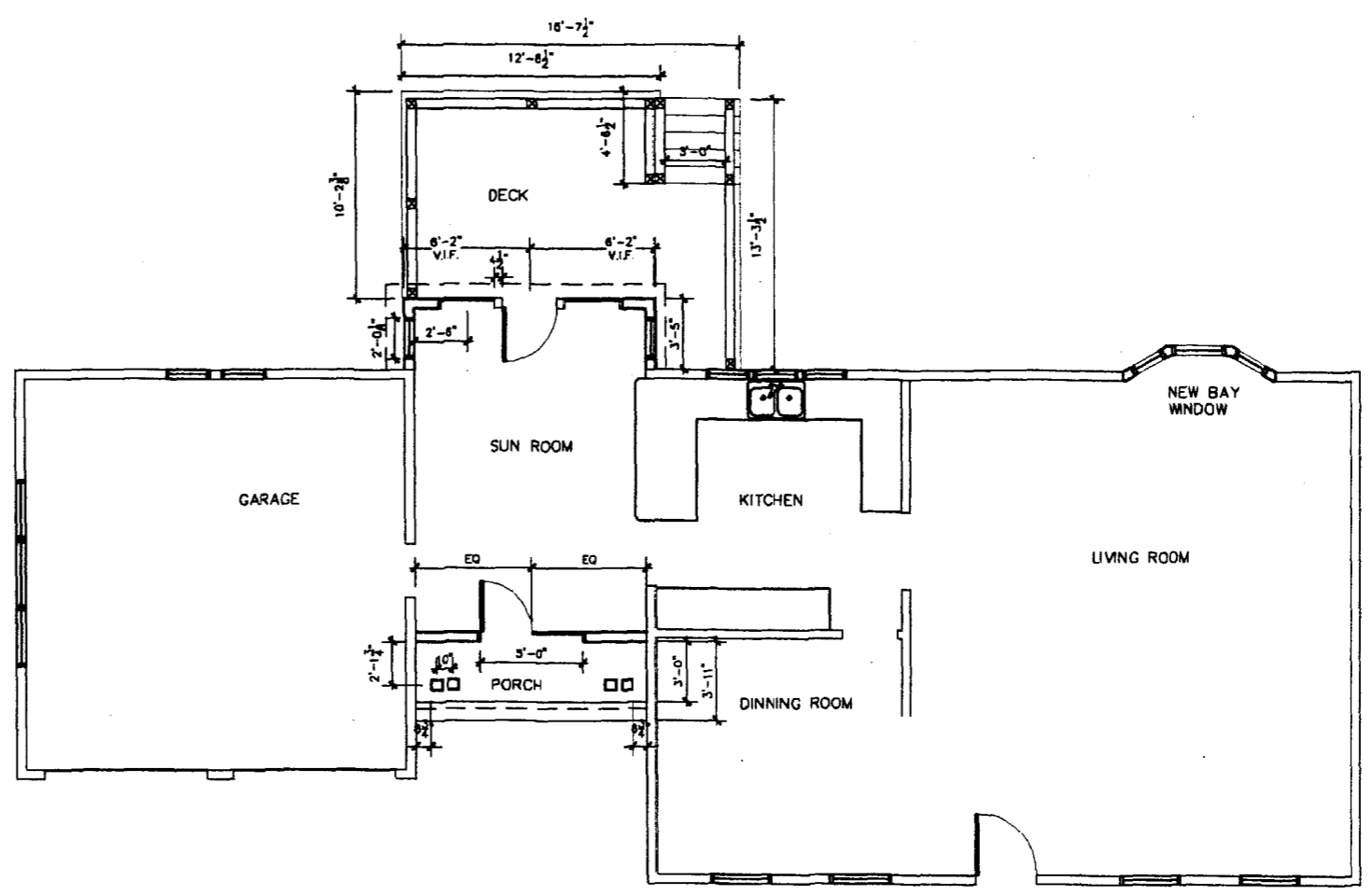
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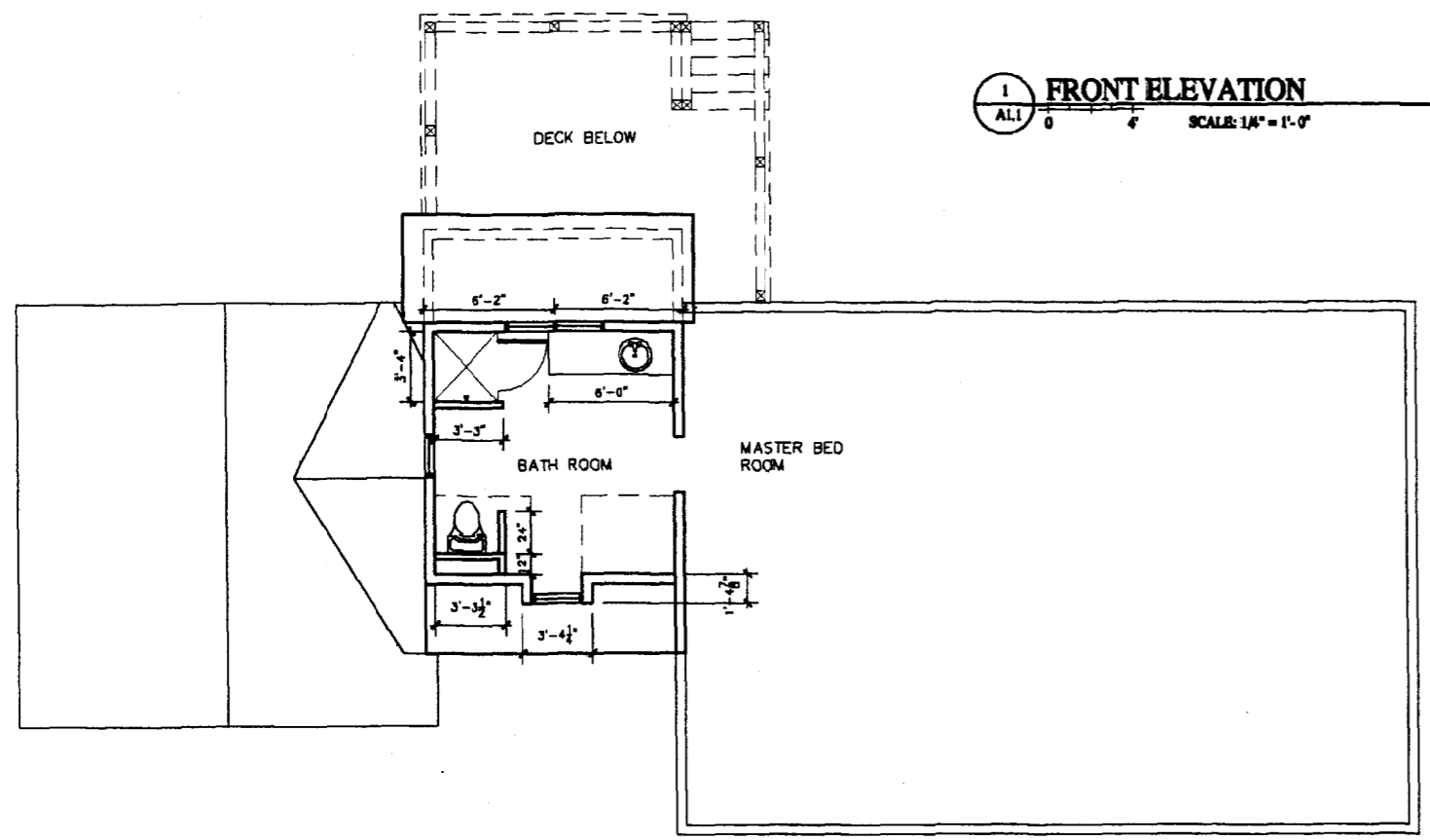
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**FLOOR PLANS**

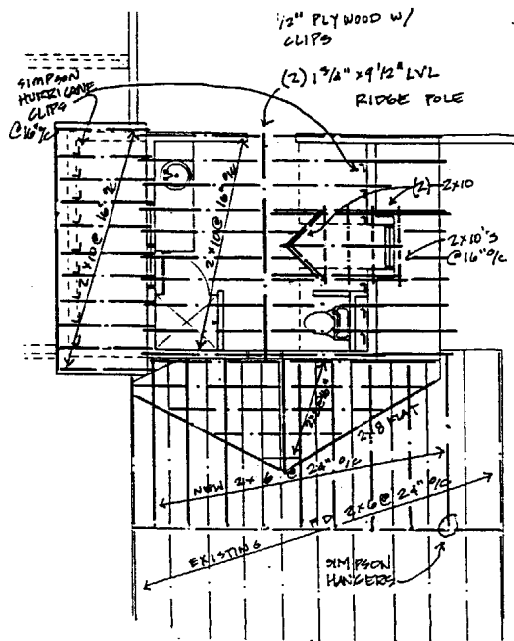
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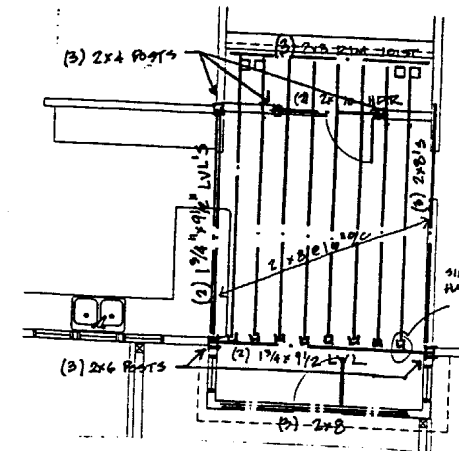
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 ALL SCALE: 1/4" = 1'-0"



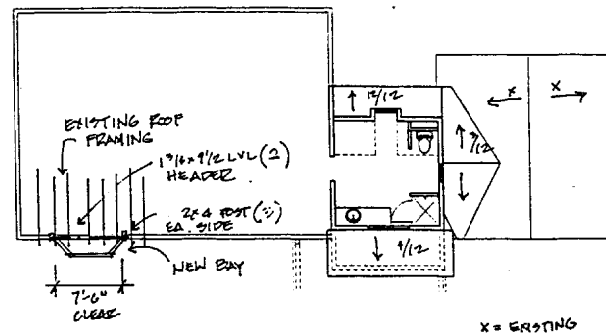
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 ALL SCALE: 1/4" = 1'-0"



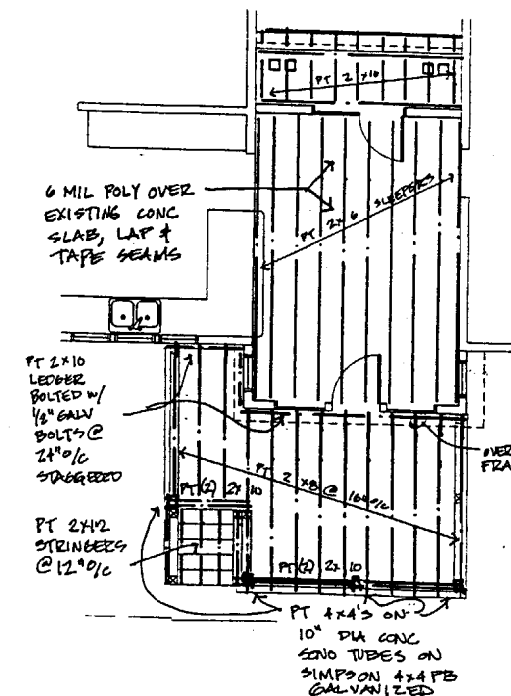
**3 ROOF FRAMING**  
 A1.1 0 4 SCALE: 1/4" = 1'-0"



**1 SECOND FLOOR FRAMING**  
 A1.1 0 4 SCALE: 1/4" = 1'-0"



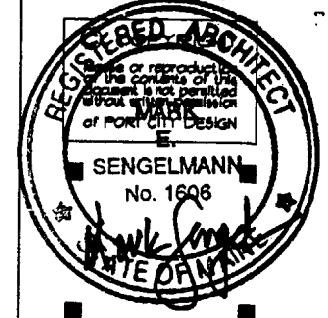
**3 OVERALL ROOF PLAN**  
 A1.1 0 4 SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR FRAMING**  
 A1.1 0 4 SCALE: 1/4" = 1'-0"

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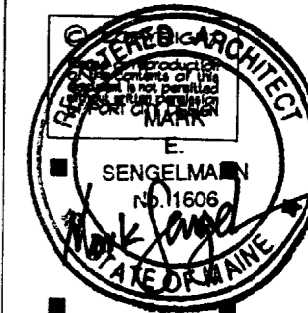
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STRUCTURAL FLOOR PLANS  
**S-1.1**

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CONSTRUCTION  
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STRUCTURAL  
NOTES

S1.2

### CONCRETE NOTES

#### CAST-IN-PLACE CONCRETE

GENERAL  
CODES AND STANDARDS: COMPLY WITH THE PROVISIONS OF THE LATEST EDITIONS OF ACI 308 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"; ACI 301 "PROVISIONS FOR STRUCTURAL CONCRETE"; ACI 309 "CAST BEARING CONCRETE"; ACI 308 "STANDARD SPECIFICATION FOR CAST BEARING CONCRETE"; ACI 308 "STANDARD PRACTICE FOR CURING CONCRETE".

PRIOR TO PLACEMENT OF CONCRETE, SUBMIT TO ARCHITECT AND DESIGN INCLUDING TECHNICAL DATA SHEETS ON ANY AGGREGATES TO BE USED.

CONCRETE TESTING: THE CONTRACTOR SHALL PREPARE A SET OF 4 CYLINDERS/TEST SET TO BE TESTED AT AN INTERMEDIATE AGE. THE CYLINDERS SHALL BE TAKEN FROM ONE CONCRETE PLACEMENT. EACH SAMPLE SHALL ALSO BE TESTED FOR SLUMP, AIR CONTENT, AND TEMPERATURE. THE CONTRACTOR SHALL BE TESTED AS FOLLOWS: 1 AT 7 DAYS, 2 AT 28 DAYS AND A THIRD TEST FOR A 56 DAY BREAK IF REQUIRED. TEST CYLINDERS SHALL BE TAKEN AT LEAST ONCE PER PLACEMENT OR AT THE FOLLOWING REQUIREMENTS:

RETAINING WALLS AND FOOTINGS: 30 CUBIC YARDS  
SILLAR POSTINGS: 20 CUBIC YARDS  
SLABS: 50 CUBIC YARDS

FIELD TESTING SHALL BE PERFORMED BY A GRADE 1 ACI FIELD TESTING TECHNICIAN.

FIELD TESTING TO BE PERFORMED BY OWNER.

SUBMIT MIX DESIGN AND OTHER MIX DESIGN DATA OR HISTORY FIELD DATA FOR APPROVAL IN ACCORDANCE WITH ACI 318, CHAPTER 5.

COMPRESSIVE STRENGTH: MINIMUM OF 3000 PSI AT 28 DAYS FOR WALLS AND FOOTINGS, 4000 PSI FOR SLABS.

THICKNESS SHALL CONFORM TO ASTM C94.

MINIMUM CEMENT CONTENT FOR 3000 PSI CONCRETE IS 517 POUNDS PER CUBIC YARD.

MINIMUM CEMENT CONTENT FOR 4000 PSI CONCRETE IS 564 POUNDS PER CUBIC YARD.

MINIMUM AGGREGATE SIZE SHALL BE 3/4".

SLUMP: 3" TO 5".

AN ENTRAINMENT OF 4 TO 6% BY VOLUME.

NO CHLORIDE OR OTHER UNDESIRABLE ADJUVANTS SHALL BE USED.

PLACE NO CONCRETE WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT OR MORE THAN 90 DEGREES FAHRENHEIT.

COMPLY WITH ALL CODES AND PLACE CONCRETE IN A CONTINUOUS OPERATION WITH PLANNED JOINTS OR SECTIONS. DO NOT PERMIT COLD JOINTS TO OCCUR.

CURING: BEGIN IMMEDIATE CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM EXPOSED SURFACES. WHERE POSSIBLE, KEEP CONTINUOUSLY WET FOR 72 HOURS. CONTINUE CURING BY USE OF WETTABLE RETAINING COVER OR MEMBRANE-FORMING CURING COMPOUND.

FRESHING/GRIND SLABS - INTERIOR TO RECEIVE TILE WITH FULL SETTING BED; BROOM FLOOR FINISH EXTERIOR SURFACES TO RECEIVE CARPET, RESILIENT OR SEAMLESS FLOORING, OR WITH SET GERMING TILE; STEEL TRIMMED FINISH EXTERIOR SLABS: BROOM FINISH PERPENDICULAR TO PEDESTRIAN TRAFFIC.

PROVIDE CONTROL AND CONSTRUCTION JOINTS AS INDICATED ON PLAN. SAW-CUT CONTROL JOINTS AS SOON AS CONCRETE HAS HARDENED ENOUGH TO WALK ON SURFACE WITHOUT DAMAGING CONCRETE AND NO MORE THAN 4 HOURS AFTER FINAL TROWEL.

GROUT: PRE-MIXED, NON-SHANK, WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS IS MANUFACTURED BY THE STAR PRODUCTS, INC. OR APPROVED EQUIVALENT.

NO CONCRETE SHALL BE DROPPED MORE THAN 4 FEET INSIDE A FORM.

CONCRETE FORMWORK

CONCRETE FORMS SHALL BE CLEAN AND FREE FROM DEBRIS. IF FORMS ARE COVERED WITH A RELEASE AGENT, THE RELEASE AGENT SHALL BE COLORLESS MINERAL OIL WHICH SHALL NOT STAIN CONCRETE OR AFFECT MOISTURE OR IMPAIR PLURAL BONDING OF CONCRETE.

SOAK INSIDE SURFACE OF UNRELEASED FORMWORK WITH WATER PRIOR TO USE.

DO NOT DAMAGE CONCRETE DURING FORM STRIPPING.

OBTAIN APPROVAL BEFORE FRAMING OPENINGS IN STRUCTURAL MEMBERS WHICH ARE NOT INDICATED ON DRAWINGS.

PROVIDE BRACING TO ENSURE STABILITY OF FORMWORK.

DO NOT REMOVE FORMS OR BRACING UNTIL CONCRETE HAS GAINED SUFFICIENT STRENGTH TO CARRY ITS OWN WEIGHT AND IMPOSED LOADS.

CONCRETE REINFORCING

SHOP DRAWINGS SHALL BE PROVIDED PRIOR TO START OF CONCRETE PLACING. INDICATE BAR SIZES, SPACING, LOCATION, LAPS, AND QUANTITIES.

REINFORCING STEEL SHALL BE ASTM A615, 60 KSI YIELD GRADE, REBENDED STEEL BARS PER ASTM A615.

WELDED STEEL WIRE FABRIC SHALL BE ASTM A185. LAP A MINIMUM OF ONE MESH.

CHAINS AND SPACERS SHALL BE PLACED TO ADEQUATELY SUPPORT REINFORCING DURING PLACEMENT. FOREIGN MATERIALS SUCH AS WOOD OR OTHER UNSUITABLE SUPPORTS SHALL NOT BE USED TO SUPPORT REINFORCING. SET WIRE TIES SO THEY ARE DIRECTED INTO CONCRETE WHERE CONCRETE WILL BE DEPOSITED.

CONCRETE CLEAN COVER FOR REINFORCEMENT (UNLESS SHOWN OTHERWISE):

BOTTOM OF FOOTINGS AND SLABS ON GRADE: 3".

SIDES OF FOOTINGS, GRADE BEAMS, RETAINING WALLS, FOUNDATION WALLS, PI WALLS, AND TANK WALLS, AND EXTERIOR WALLS: 2".

FACES OF WALLS OTHER THAN THOSE NOTED ABOVE: 1/4".

TOP AND BOTTOM OF ELEVATED SLABS: 1/4".

ALL FACES OF BEAMS AND COLUMNS: 1-1/2".

### WOOD FRAMING & SHEATHING

UNLESS OTHERWISE SPECIFIED, EACH PIECE OF LAMBER SHALL BEAT THE GRADE MARK, STAMP, OR OTHER IDENTIFYING MARKS INDICATING GRADES OF MANUFACTURE AND ALL STUDS AND STRIPS UNDER SLABS PROVIDED, SUCH IDENTIFYING MARKS ON A MEMBER SHALL BE IN ACCORDANCE WITH THE RULE OR STANDARD UNDER WHICH MATERIAL IS PRODUCED, INCLUDING RECALIBRATION FOR DIMENSIONS AND AUTHORITY OF THE INSPECTION ORGANIZATION. USE OF AUTHORIZED IDENTIFICATION AND INFORMATION INCLUDED IN THE CONSTRUCTION, THE INSPECTOR AGENT FOR LAMBER SHALL BE APPROVED BY THE BOARD OF GENERAL AMERICAN LAMBER STANDARDS COMMITTEE, TO GRADE SPICES USED.

PROTECT LAMBER AND OTHER PRODUCTS FROM DAMPNESS BOTH DURING AND AFTER DELIVERY AT THE SITE. PILE PLYWOOD AND LAMBER IN STACKS IN SUCH A MANNER AS TO PROVIDE AIR CIRCULATION AND TO PREVENT PREVENT WARPING, LOGGING STAINS IN BELL BURNED AREAS, SUPPORTED AT LEAST SIX INCHES ABOVE GRADE AND COVER WITH WELL VENTILATED SHEETS HAVING A PROPERLY CONSTRUCTED OVERHANGING ROOF AS WELL AS SUFFICIENT END WALL TO PROTECT LAMBER FROM DRIVING RAIN.

STORE SEASONED MATERIALS IN DRY PORTIONS OF BUILDING.

PROTECT SHEET MATERIALS FROM CORROSION BREWING AND DAMAGING SURFACES WHILE UNLOADING.

MINIMAL SIZES ARE INDICATED EXCEPT AS SHOWN BY DETAIL DIMENSIONS. PROVIDE ACTUAL SIZES AS REQUIRED BY PRODUCT STANDARD IN DEPARTMENT OF CONCRETE.

HIGHWAY MOISTURE CONTENT SHALL NOT EXCEED 19%.

LAMBER GRADES:

2ND AND 2ND BEARING WALLS, INTERIOR AND EXTERIOR LOCATIONS: GRADE: SPRAUCE-PINE-FIR NO.1/NO.2 AS GRADED BY ALGA.

STRUCTURAL ROOF AND FLOOR FRAMING: GRADE: SPRAUCE-PINE-FIR NO.1/NO.2 AS GRADED BY ALGA.

PRESERVATIVE TREATED LAMBER: GRADE: SOUTHWEST PINE NO. 2, AS GRADED BY SPI.

LAMINATED VENEER LAMBER (LVL):

PROVIDE LVL HEADERS AND BEAMS AS INDICATED.

LVL FRAMING SHALL BE LAMINATED DOUGLASS FIR OR SOUTHWEST PINE (TOP LAY BY DESIGN SPECIFIC OR VENEER) BY BOISE CASCADE OR MCKILLAM BY TRUS-JOIST OR EQUAL MEETING THE FOLLOWING MINIMUM ALLOWABLE STRESS CRITERIA:

F<sub>b</sub> (BENDING STRESS) = 2000 PSI  
F<sub>v</sub> (SHEAR STRESS) = 185 PSI  
E (MODULUS OF ELASTICITY) = 2,200,000 PSI  
F<sub>c</sub> (COMPRESSIVE PERPENDICULAR TO GRAIN) = 500 PSI

MISCELLANEOUS LAMBER - PROVIDE WOOD FOR SUPPORT OR ATTACHMENT OF THE ROOF INCLUDING NON-BEARING PARTITIONS, CANT STRIPS, BRACKETS, HANDS, BLOCKING, FLOORING, CEILING, STAIRING AND SIMILAR MEMBERS. PROVIDE LENGTH OF SIZES AND SHAPES INDICATED. GRADE: SPRAUCE-PINE-FIR SLAS GRADE AS GRADED BY ALGA.

MATERIALS:

PLYWOOD ROOF SHEATHING: APA RATED SHEATHING, SPAN RATING AS REQUIRED TO SUIT SUPPORT SPACING INDICATED; EXPOSURE DURATION 1; SMOKE OR FIRE RESISTANT ROOF SHEATHING: AND ADHESIVE APA SUPERNOVATED OR OTHER BRAND STRUCTURAL PANELBOARD; WOOD CHIPS SHIMMED PLATES SET WITH INTERLOCKED ROOF BRACKETS, SPOILED FRICES.

PLYWOOD UNDERLAYS: APA RATED SHEATHING, 3/4", SPAN RATING AS REQUIRED TO SUPPORT SPACING INDICATED; EXPOSURE DURATION 1; SMOKE OR FIRE RESISTANT ROOF SHEATHING: AND ADHESIVE APA SUPERNOVATED OR OTHER BRAND STRUCTURAL PANELBOARD; WOOD CHIPS SHIMMED PLATES SET WITH INTERLOCKED ROOF BRACKETS, SPOILED FRICES.

FLOORING AND JOISTS: FURNISH JOISTS OF ROUND HOLLOW METAL, CONNECTORS, BOLTS, ETC., REQUIRED TO COMPLETE THE WORK. BOLTS, NUTS AND WASHERS SHALL BE HOT DIPPED ELECTRO GALVANIZED STEEL.

SUBFLOOR GLUE: 304 MPG-OIL, WATERPROOF OF WATER SOLUBLE BASE, AIR CURE TYPE, CARTRIDGE DISPENSED.

BUILDING PAPER: NO.15 ASPHALT FELT, PLAIN UNTREATED CELLULOSE BUILDING PAPER; MOIST PRESERVATIVE (PRESSURE TREATED): APMA TREATMENT C1 USING WATER BORNE, PRESERVATIVE WITH 6.25 PERCENT RETENANCE.

SET STRUCTURAL MEMBERS LEVEL AND PLUMB IN CORRECT POSITION.

MAKE PROVISIONS FOR ERECTION LOADS, AND FOR SUFFICIENT TEMPORARY BRACING TO MAINTAIN STRUCTURE SAFE, PLUMB, AND IN TRUE ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRACING.

PLACE HORIZONTAL MEMBERS, CROSS SIDE UP.

CONSTRUCT LOAD BEARING FRAMING AND CURB MEMBERS FULL LENGTH WITHOUT SPLICES.

DOUBLE MEMBERS AT OPENINGS OVER 24 INCHES WIDE. SPACE SHORT STUDS OVER AND UNDER OPENING TO STUD SPACING.

CONSTRUCT DOUBLE JOIST HEADERS AT FLOOR AND CEILING OPENINGS AND UNDER WALL STUD PARTITIONS THAT ARE PARALLEL TO FLOOR JOISTS. FRAME BRACKLY INTO JOISTS.

BRIDGE JOIST FRAMING IN EXCESS OF 6 FEET SPAN AT MID-SPAN AND WHERE SHOWN ON DRAWINGS. FIT SOLAR BLOCKING OR BRIDGING AT ENDS OF MEMBERS. PROVIDE JOIST HANGERS AT ENDS OF JOISTS WHERE FLUSH FINISH CONDITIONS ARE REQUIRED.

WHERE TONGUE AND GROOVE PLYWOOD IS USED, FULLY ENGAGE TONGUE AND GROOVE EDGES.

SECURE WALL SHEATHING WITH LONG DIMENSION PARALLEL, PERPENDICULAR TO WALL STUDS, WITH ENDS OVER FIRM BEARING AND STAGGERED.

SECURE SUB-FLOOR SHEATHING WITH LONGER EDGE PERPENDICULAR TO FLOOR FRAMING AND WITH END JOISTS STAGGERED AND SHEET ENDS OVER BEARING. ATTACH WITH SUB-FLOOR GLUE AND OPTIMAL SCREWS.

PLACE BUILDING PAPER BETWEEN FLOOR UNDERLAYER AND SUB-FLOORING.

INSTALL FLOORING UNDERLAYER AFTER DRY AND DRY CEILINGING ACTIVITIES HAVE CEASED AND PRIOR TO APPLICATION OF FINISHED FLOORING. APPLY PERPENDICULAR TO SUB-FLOORING, STAGGER JOINTS OF UNDERLAYER. SECURE WITH OPTIMAL SCREWS AND GLUE.

VOIDANCES

FRAMING MEMBERS: 1/4 INCH FROM TRUE POSITION, MINIMUM.

SURFACE FLATNESS OF FLOOR: 1/4 INCH IN 10 FEET MAXIMUM AND 1/2 INCH IN 30 FEET MAXIMUM.

ALL POSTS AND COLUMNS FROM HEADERS AND BEAMS SHALL BEAM CONTINUOUSLY TO CONCRETE FOUNDATIONS INCLUDING BLOCKING IN FLOOR AND ROOF SPACES. BLOCKING SHALL BE OF THE SIZE AND SHAPE TO CARRY THE REQUIRED LOADS.

ALL BOTTOM BEARING PLATES, FOR STUD WALLS OR BEAM BEARING, SHALL BE MORTARED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS AT 4'-0" ON CENTER, UNLESS NOTED OTHERWISE.

ALL BEARING WALLS SHALL BE BLOCKED AT 4'-0" ON CENTER, VERTICALLY, UNLESS NOTED OTHERWISE.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED, P.F.T.

### STRUCTURAL BASIS OF DESIGN

BUILDING CODE: 1999 BOCA CODE

FLOOR LOADS (PER CONSTRUCTION):  
DEAD LOADS: FLOOR FINISH: 10 PSF  
ROOF FINISH: 10 PSF  
FIRST FLOOR LIVE LOADS: 20 PSF  
SLEEPING ROOM LIVE LOADS: 20 PSF

ROOF LOADS:  
OVERHEAD SNOW LOAD: 60 PSF  
EXPOSURE FACTOR: 1.0  
WIND LOADS: 15 PSF  
DRIFT & SLIDING SNOW: PER CODE  
UNWEIGHTED SNOW LOAD: 43 PSF

WIND LOADS:  
BASIC WIND SPEED: 85 MPH  
EXPOSURE CATEGORY: B  
SURFACE FACTOR: 1.0

### GENERAL NOTES

DIMENSIONS, ELEVATIONS, MEMBER SIZES, AND DETAILS OF ALL EXISTING STRUCTURES HAVE BEEN EXTRACTED FROM RECORD DRAWINGS AND/OR FIELD MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION NOTED TO BE VERIFIED IN FIELD (F.I. OR V.F.) PRIOR TO DETAILING, FOUNDATION, OR CONSTRUCTION. ANY DIMENSIONS FOUND IN THE FIELD FROM WHAT IS SHOWN ON THE DRAWINGS, SHALL BE REPORTED IN WRITING TO THE ENGINEER PRIOR TO FABRICATION OR CONSTRUCTION.

### FOUNDATION RELATED EARTHWORK NOTES

#### FOUNDATION RELATED EARTHWORK

##### EXCAVATION

EXCAVATE SUBSOIL TO ACCOMMODATE BUILDING FOUNDATIONS. HAND THE EXCAVATIONS. REMOVE LOOSE MATERIAL.

NOTIFY ENGINEER A MINIMUM OF 48 HOURS PRIOR TO EXCAVATIONS TO SCHEDULE A REVIEW OF NATIVE SOIL CONDITIONS, FOOTINGS TO BE DESIGNED, BY OTHERS, FOR A MINIMUM BEARING CAPACITY OF 2800 PSF.

COMPACT DISTURBED LOOSE BEARING SOIL IN DIRECT CONTACT WITH FOUNDATIONS TO ORIGINAL BEARING CAPACITY. PLACE A MINIMUM OF 6 INCHES OF CRUSHED STONE BENEATH SPREAD FOOTINGS IF STANDING WATER ON CLAY SOILS ARE ENCOUNTERED IN EXCAVATIONS.

IF OVER-EXCAVATION OCCURS, REPLACE MATERIAL WITH SUITABLE WELL-DRAINED MATERIAL, IN 6 INCH LIFTS, APPROVED BY THE ENGINEER AND COMPACTED TO USE OF STANDARD PROCTOR. OVEREXCAVATION MAY ALSO BE REPLACED WITH LEAN CONCRETE WITH ENGINEER'S APPROVAL.

##### ROCKFILL AND COMPACTION

PLACE AND COMPACT ROCKFILL IN EQUAL CONTINUOUS LAYERS NOT EXCEEDING 6" OF COMPACTER DEPTH.

MAINTAIN OPTIMUM MOISTURE CONTENT OF ROCKFILL MATERIALS TO ACHIEVE COMPACTION DENSITY.

ROCKFILL SIMULTANEOUSLY ON EACH SIDE OF FOUNDATION WALLS.

DO NOT BACKFILL CONCRETE WALLS UNTIL FLOOR FRAMING SUPPORTING TOP OF WALLS IS IN PLACE AND CONCRETE HAS REACHED ITS 28-DAY STRENGTH.

COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM D697, TEST METHODS FOR SOIL BY NUCLEAR METHODS. MINIMUM DENSITY SHALL BE DETERMINED BY THE STANDARD PROCTOR, METHOD 1-98, METHOD C.

##### ROCKFILL REQUIREMENTS:

ALL WITHIN BUILDING ENVELOPE AND BEHIND BASEMENT WALLS:  
INTERNAL: STRUCTURE ROCKFILL  
SITE STANDARD PROCTOR  
TESTING: EVERY OTHER LIFT; EVERY 500 SF

ROCKFILL ALONG EXTERIOR OF BUILDING AT FROST WALLS:  
INTERNAL: SUITABLE NATIVE SOIL  
SITE STANDARD PROCTOR

GRAVEL BELOW SLABS:  
INTERNAL: FINE GRAVEL  
TESTING: EVERY 500 SF

##### MATERIALS:

STRUCTURE ROCKFILL:  
SIEVE DESIGNATION: % BY WEIGHT PASSING SIZES

3 INCH	100
2 1/2 INCH	98-100
NO. 10	85-95
NO. 100	0-12
NO. 200	0-5

FINE GRAVEL UNDER SLABS:  
MATERIAL SHALL BE REASONABLY FREE FROM SILT, LOAM, CLAY, OR ORGANIC MATTER MEETING THE FOLLOWING REQUIREMENTS:

SIEVE DESIGNATION	% BY WEIGHT PASSING SIZES
2 INCH	100
1 1/2 INCH	90-100
NO. 10	30-80
NO. 100	0-10
NO. 200	0-5

SUITABLE NATIVE SOIL:  
ON SITE SAND OR GRAVEL REASONABLY FREE OF LOAM, SILT, CLAY, OR ORGANIC MATTER.