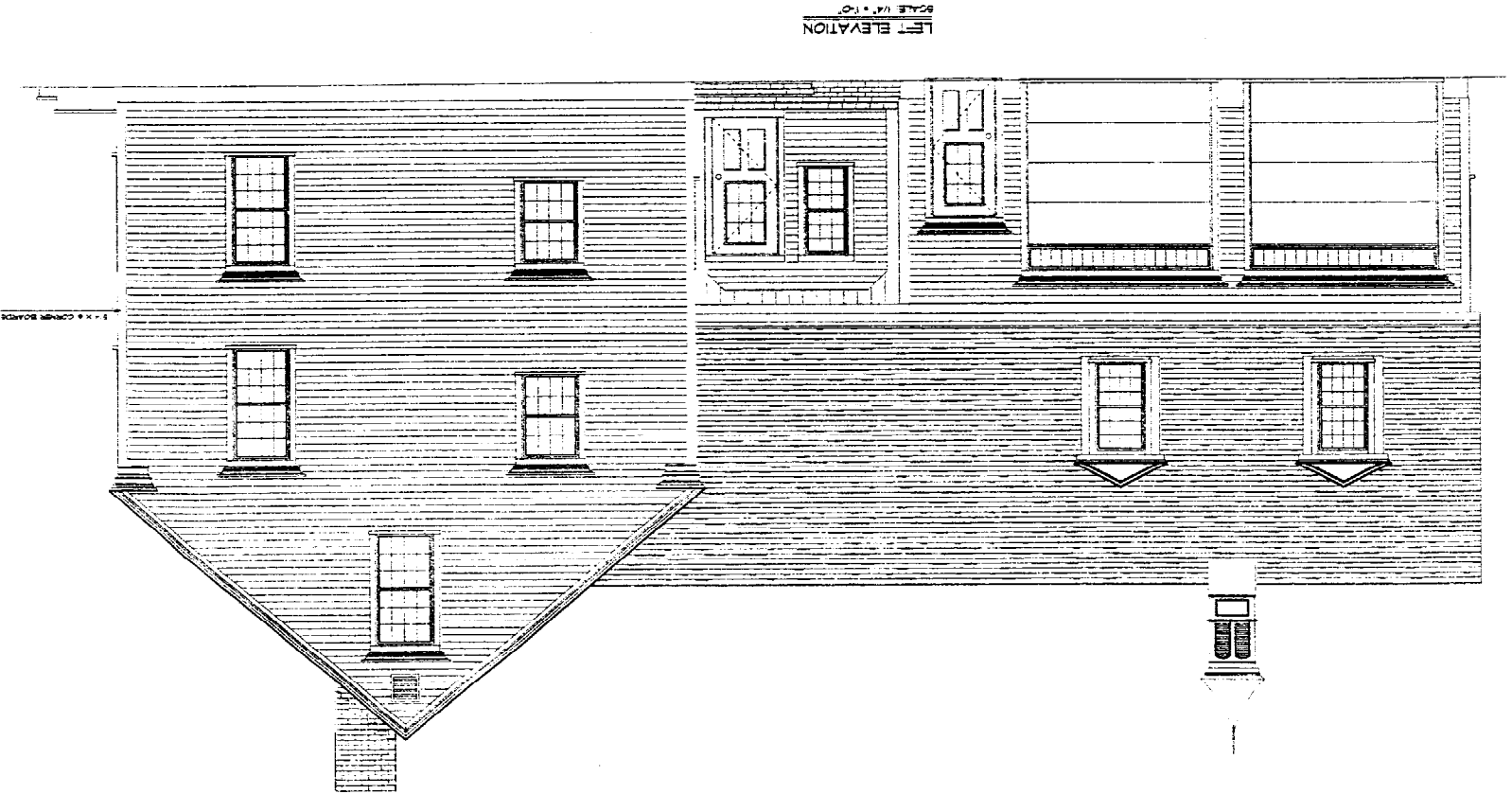
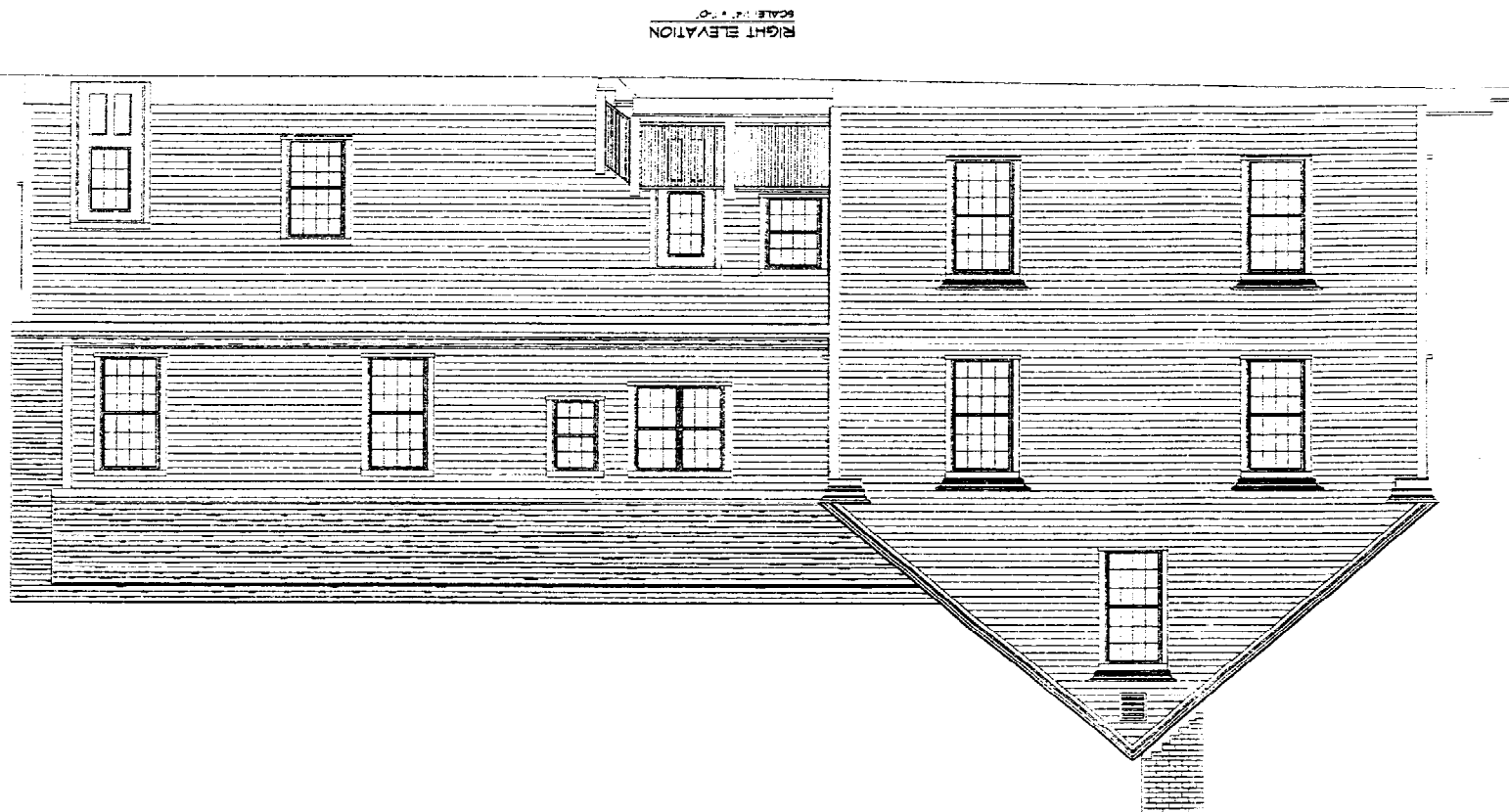


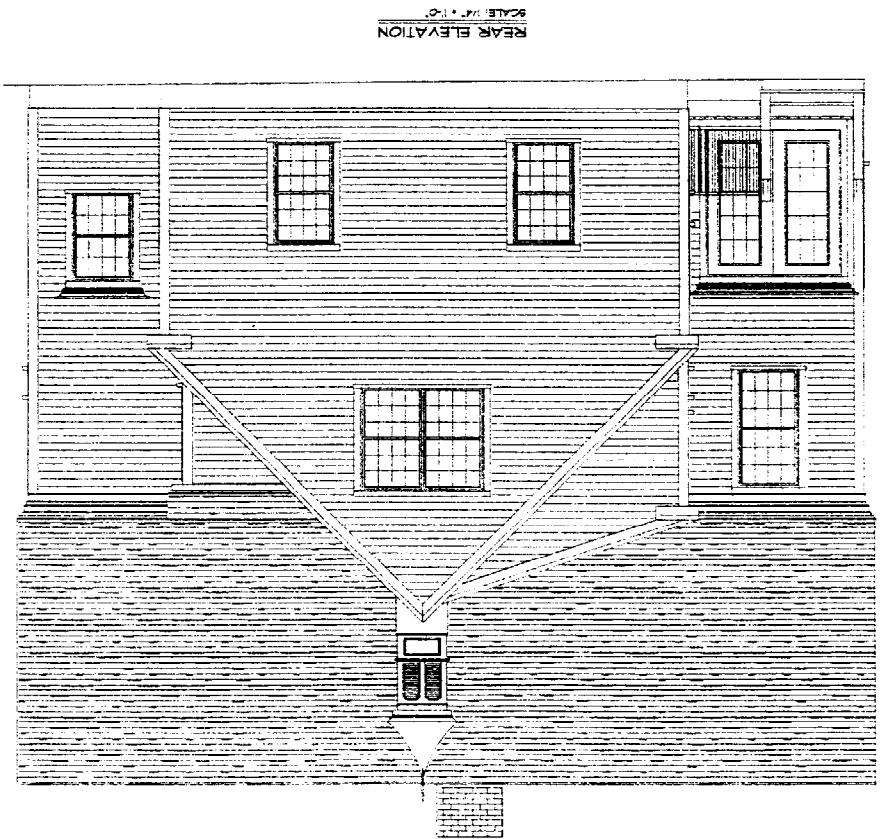
FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

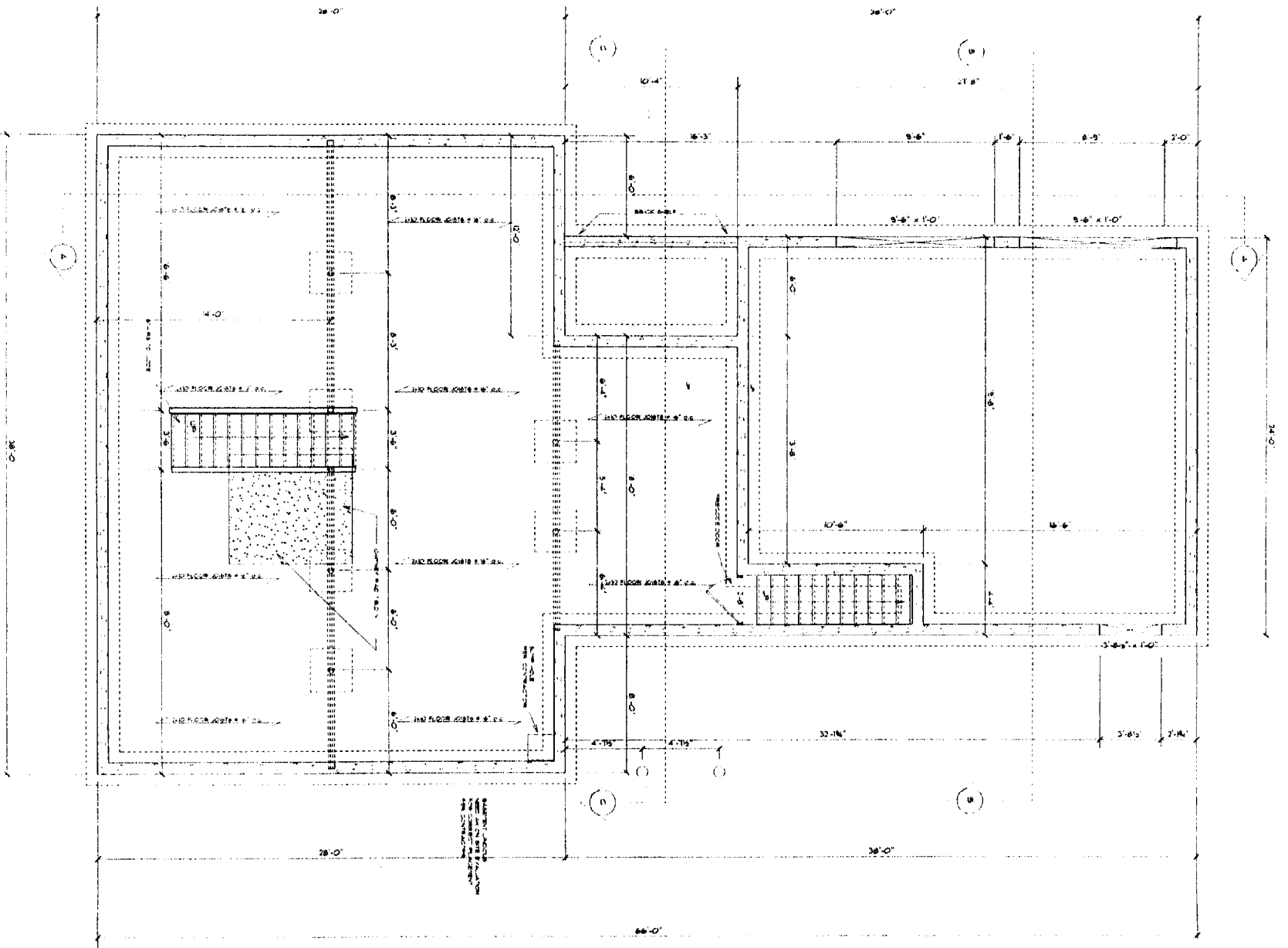


REAR ELEVATION
SCALE 1/4" = 1'-0"

PROJECT NAME:
ROGERS RESIDENCE
LOT 10 TIDE MILL ROAD
PORTLAND ME.

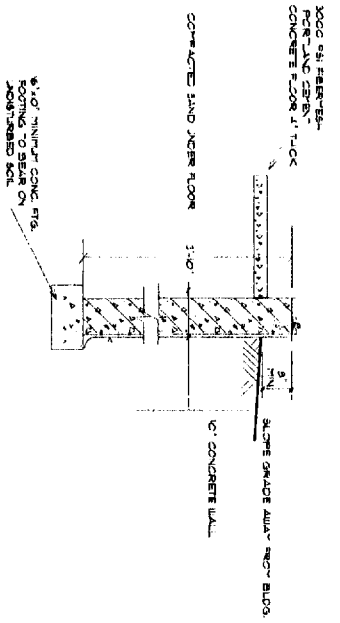
THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN
REVIEWED BY A REGISTERED ARCHITECT OR ENGR.
YOUR DESIGN SHOULD ALWAYS BE ANALYZED DRAWING ARE NOT ENLARGED IN THE
RENDERING OF ARCHITECTURE OR ENGINEERING WORK
DO NOT HOLD THESE PLANS OR ANY SUCH THESE PLANS ARE
PROVIDED AS A SERVICE AND NO LIABILITY OR CONSEQUENCE
SHALL BE ASSUMED FOR ANY ERRORS OR OMISSIONS OR
OR ANY OTHER REASON. THE ARCHITECT'S RESPONSIBILITY
AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY
EACH AND EVERY PART HEREBY BY A REGISTERED
ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE
ACTUAL CONSTRUCTION.

DATE: 12/20/02	SCALE: AS NOTED	DRAWN:	FILE:	SHEET:
REVISIONS: 8/23/02				
REVISIONS: 8/23/02				

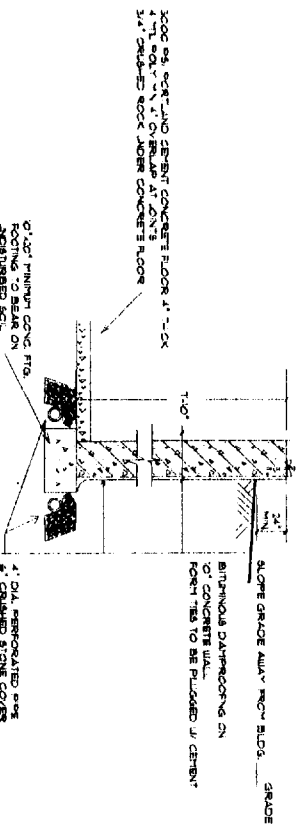


FOUNDATION LAYOUT
SCALE: 1/4" = 1'-0"

TYPICAL FROSTWALL SECTION - GARAGE



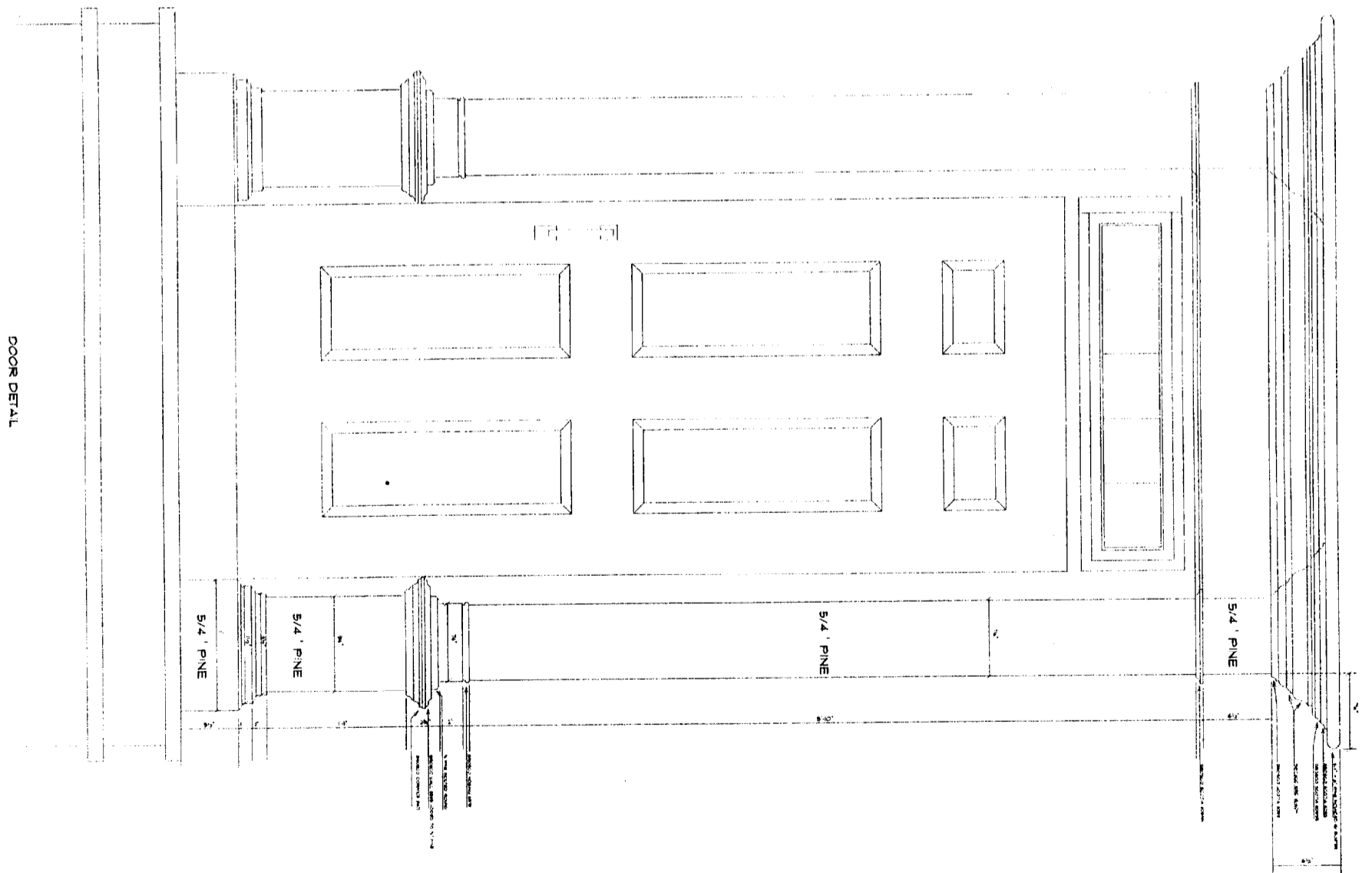
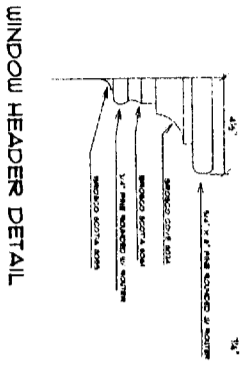
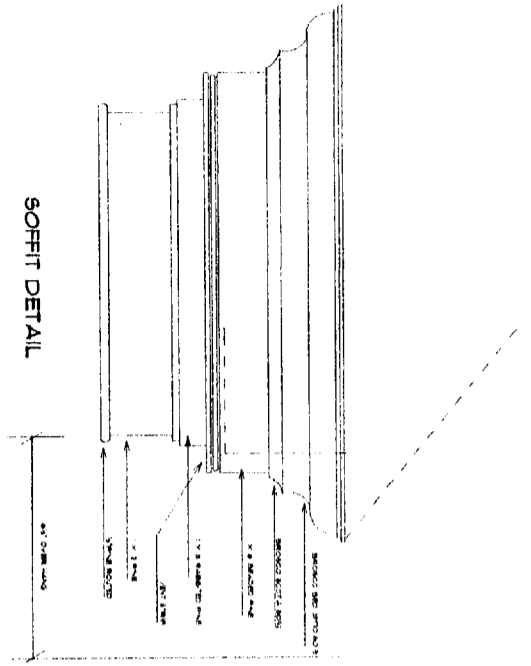
TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE



PROJECT NAME:
ROGERS RESIDENCE
LOT 10 TIDE MILL ROAD
PORTLAND ME.

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. & PALANZA DRAFTING... ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

REVISIONS 8/19/03	
REVISIONS 8/19/03	
DATE 7/1/2003	
SCALE AS NOTED	
DRAWN	
CHECKED	
DATE	
FILE	
SHEET	OF



PROJECT NAME:
 ROGERS RESIDENCE
 LOT 10 TIDE MILL ROAD
 PORTLAND ME.

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. PALANZA DRAFTING, ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE BOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

REVISIONS & NOTES

DATE: 10/20/03

SCALE: AS NOTED

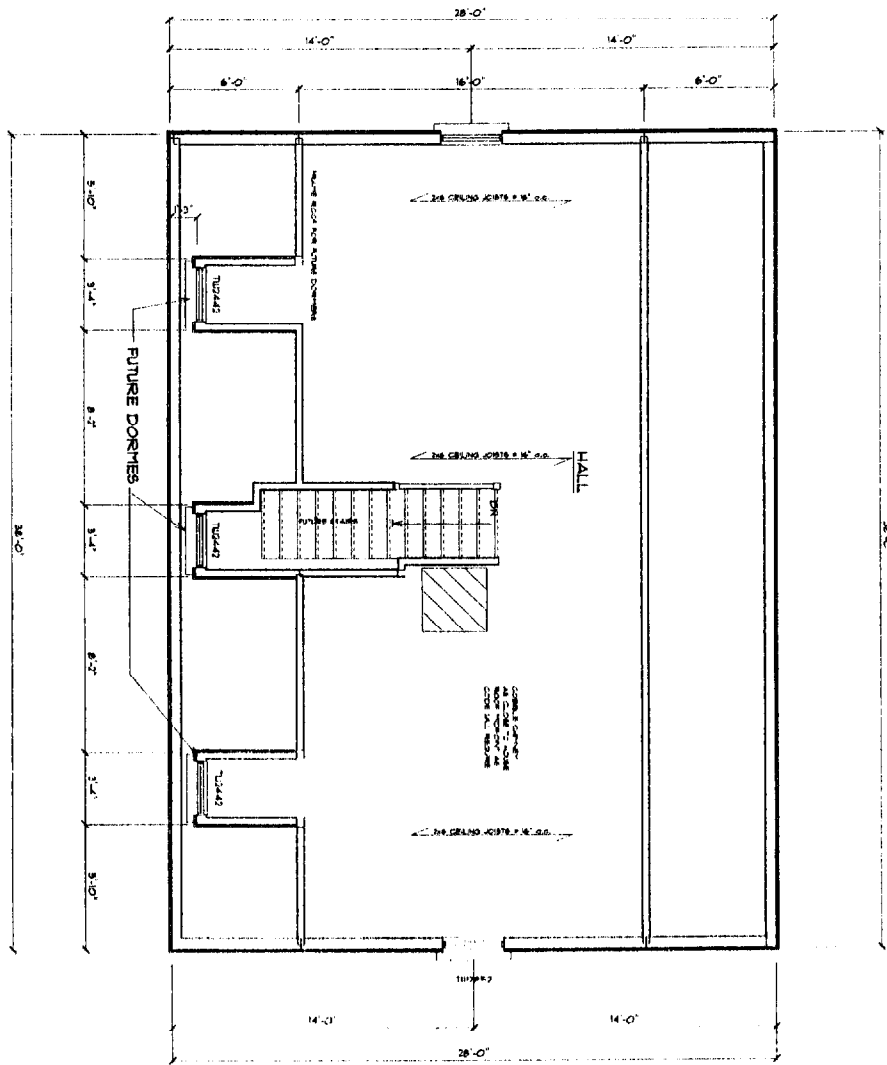
DRAWN:

FILE:

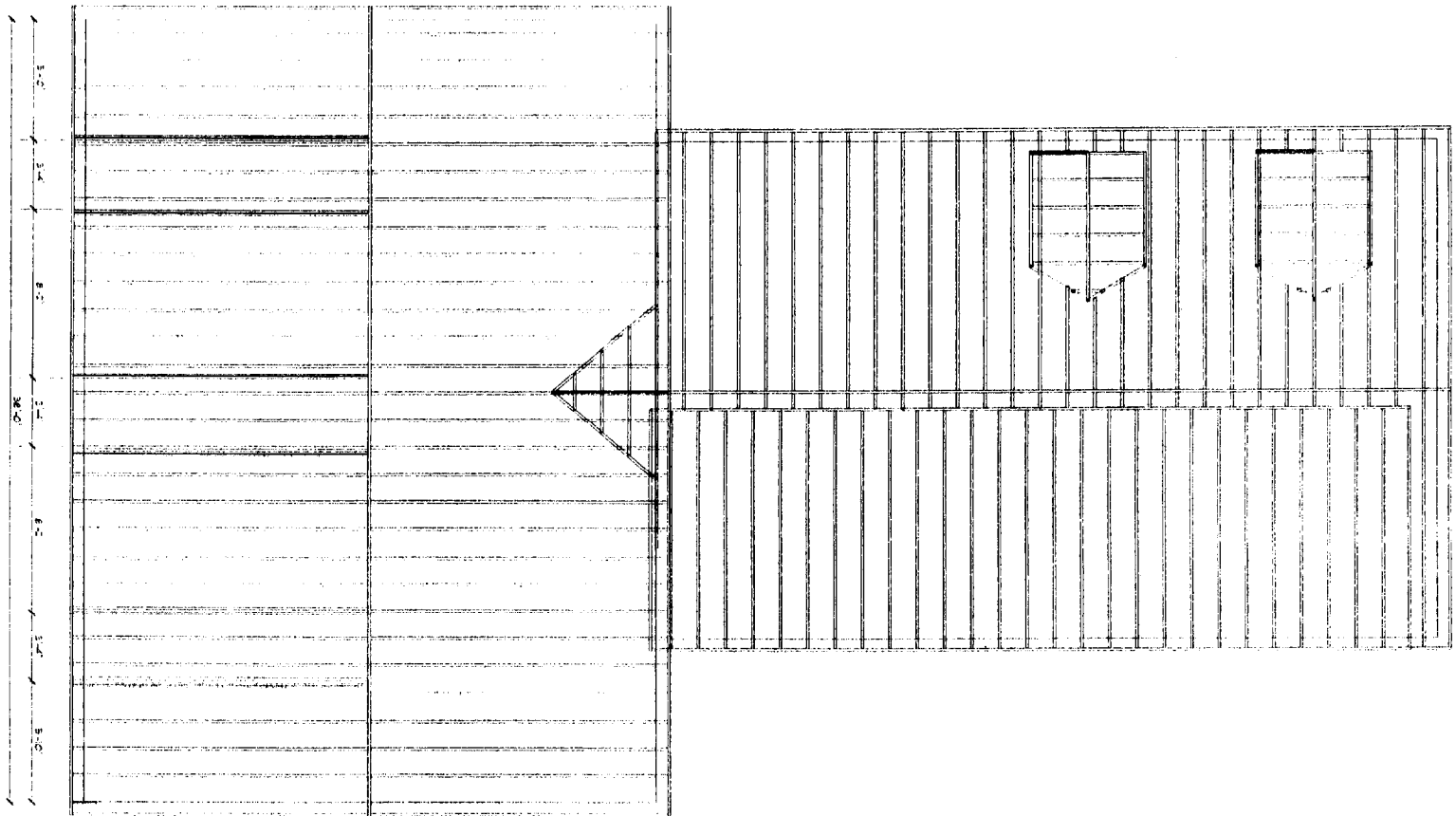
SHEET:

OF

ATTIC PLAN
SCALE 1/2" = 1'-0"



ROOF PLAN



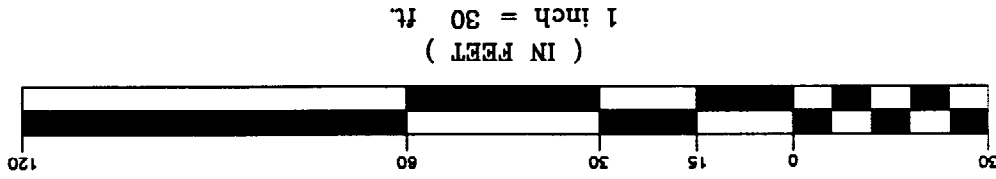
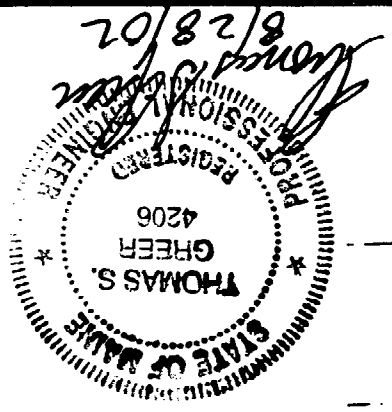
PROJECT NAME:
ROGERS RESIDENCE
LOT 10 TIDE MILL ROAD
PORTLAND ME.

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. I, DANIEL A. DALANZA, DRAFTING, AM NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

REVISIONS & NOTES

DATE: 11/20/21
SCALE: AS NOTED
DRAWN:
CHECKED:
DATE:
SHEET: OF

HARROW FARM ESTATES
SITE PLAN LOT 10
 SCALE: 1"=30'
 DATE: AUGUST 26, 2002
 DESG BY: TSG
 PROJECT: 02168
 CONSULTING ENGINEERS, INC.
 FALMOUTH, MAINE



PROPOSED	EXISTING
Sanitary Sewer House Service	Property Line
Underground Electric	Building Setback
Water House Service	Abutter's Property
Foundation Drain	Buffer
Contours	Contours
Spot Grade	Sidewalk w/ Granite Curb
Surface Drainage	Sanitary Sewer
Building	Water Line
Paved Driveway & Walk	Sewer Manhole
	Drain Manhole
	Telephone Utility Box
	Cable T.V. Utility Box
	Electrical Utility Box
	Catch Basin
	Bound Found
	Hydrant
	Gate Valve
	Light Pole

OWNER: MICHAEL C. ROGERS
 440 FOREST AVENUE
 PORTLAND, MAINE 04101

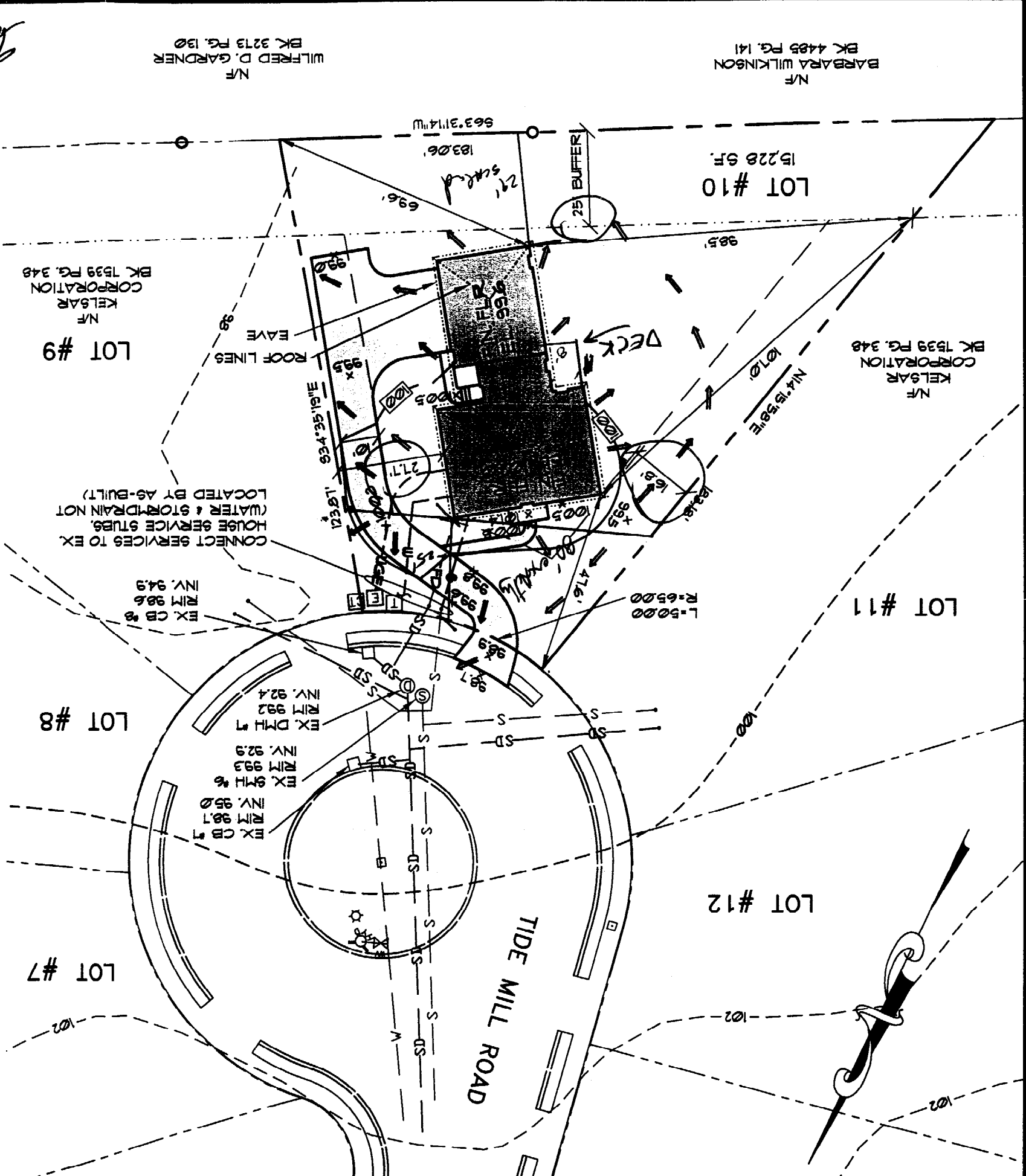
BUILDER: EAST COAST DEVELOPMENT
 5 LILLIAN WAY
 SCARBOROUGH, ME 04074

ENGINEER: PINKHAM & GREER
 440 FOREST AVENUE
 FALMOUTH, MAINE
 CONSULTING ENGINEERS
 FALMOUTH, MAINE

BOUNDARY & TOPOGRAPHY:
 R.P. TITCOMB ASSOCIATES, INC.
 50 GRAY ROAD
 FALMOUTH, MAINE 04105

LEGEND

25' BUFFER FOR THE CONSERVATION AND PRESERVATION OF EXISTING TREE AND SHRUB GROWTH. ALL TREES OR SHRUBS WHICH ARE TO BE PRESERVED SHALL BE CLEARLY MARKED BY THE DEVELOPER AND INSPECTED BY THE CITY ARBORIST FOR PRELIMINARY ACCEPTANCE PRIOR TO THE START OF CONSTRUCTION. FENCING OR OTHER PROTECTIVE BARRIERS SHALL SURROUND THESE TREES OR SHRUBS NEAR CONSTRUCTION SITES AND SHALL BE RETAINED THROUGHOUT THE CONSTRUCTION PERIOD. GRADE CHANGES SHALL NOT OCCUR WITHIN THE DRIPLINE OF TREES TO BE PRESERVED. CHANGES IN THE NORMAL DRAINAGE PATTERN SHALL BE AVOIDED. ALL TREES MARKED FOR PRESERVATION ARE SUBJECT TO CONTINUOUS INSPECTION THROUGHOUT THE CONSTRUCTION PERIOD.



N/F
 WILFRED D. GARDNER
 BK 3213 PG. 130

N/F
 BARBARA WILKINSON
 BK 4485 PG. 141

N/F
 KELSAR CORPORATION
 BK 1539 PG. 348

N/F
 KELSAR CORPORATION
 BK 1539 PG. 348

LOT #9

LOT #10
 15,228 SF.

LOT #11

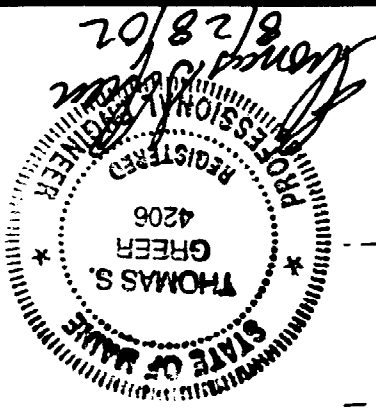
LOT #8

LOT #7

LOT #12

TIDE MILL ROAD

HARROW FARM ESTATES
 TIDE MILL ROAD
 SCALE: 1"=30'
 DATE: AUGUST 26, 2002
 DESG BY: TSG
 PROJECT: 02168
 CONSULTING ENGINEERS, INC.
 PINKHAM & GREER
 FALMOUTH, MAINE



N/F BARBARA WILKINSON BK 4485 PG. 141
 N/F WILFRED D. GARDNER BK 3273 PG. 130

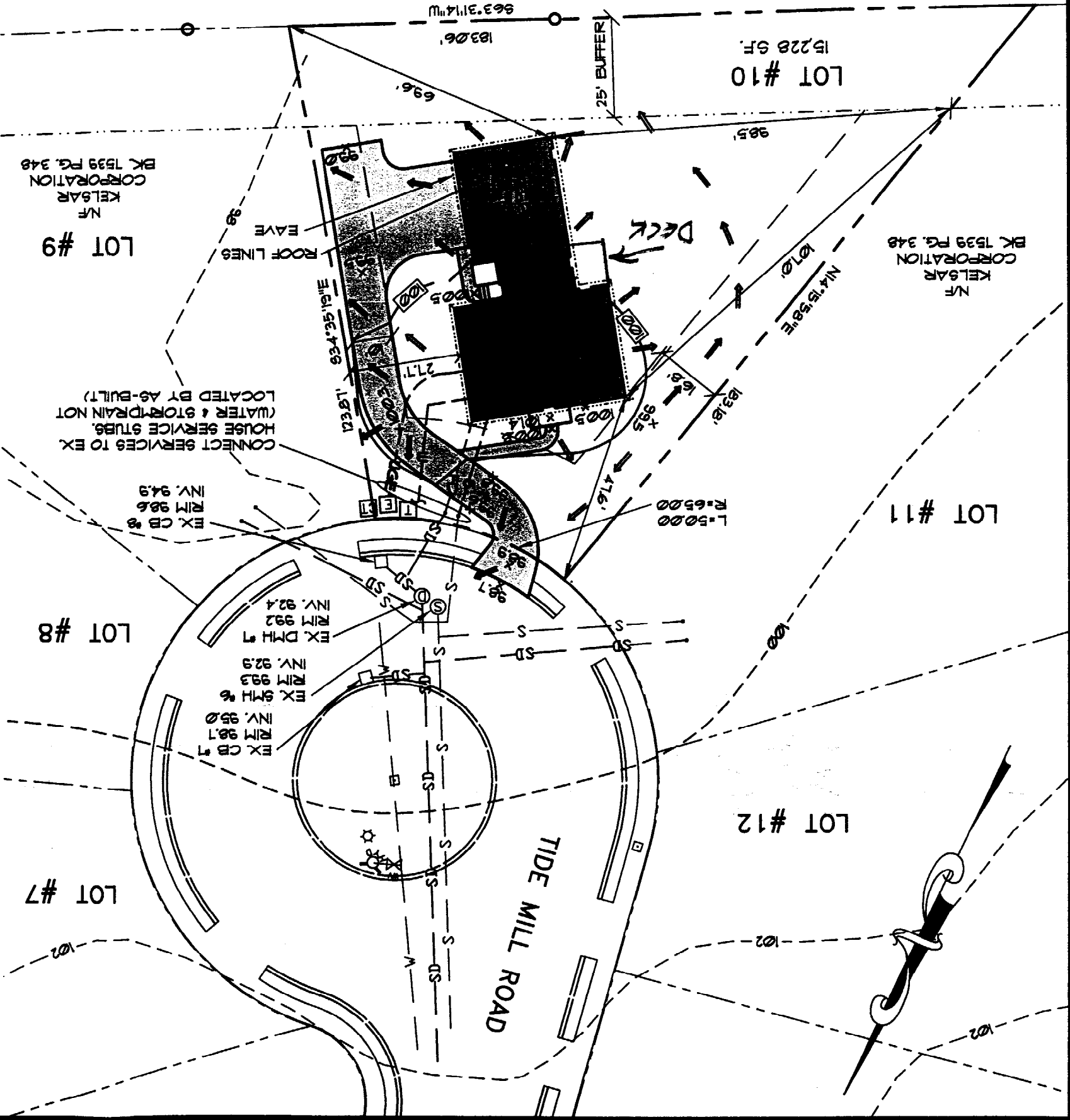
SITE PLAN LOT 10

1 inch = 30 ft
 (IN FEET)



GRAPHIC SCALE

PROPOSED	EXISTING
Sanitary sewer house service	Property line
Underground electric	Building setback
Water house service	Abutter's property
Foundation drain	Buffer
Contours	Contours
Spot grade	Sidewalk w/ granite curb
Surface drainage	Sanitary sewer
Building	Water line
Paved driveway & walk	Water manhole
	Drain manhole
	Telephone utility box
	Cable T.V. utility box
	Electrical utility box
	Catch basin
	Bound found
	Hydrant
	Gate valve
	Light pole



OWNER: MICHAEL C. ROGERS
 440 FOREST AVENUE
 PORTLAND, MAINE 04101

BUILDER: EAST COAST DEVELOPMENT
 5 LILLIAN WAY
 SCARBOROUGH, ME 04074

ENGINEER: PINKHAM & GREER
 440 FOREST AVENUE
 PORTLAND, MAINE
 CONSULTING ENGINEERS
 FALMOUTH, MAINE
 BOUNDARY & TOPOGRAPHY:
 R.P. TITCOMB ASSOCIATES, INC.
 50 GRAY ROAD
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