

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

DEPT. OF BUILDING & CONSTRUCTION CITY OF PORTLAND	Permit No: 02-1062	Issue Date: OCT 30 2002	CBL: 212 A053001
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Location of Construction: 75 Tide Mill Rd	Owner Name: Kurzius Robert E	Owner Address: Po Box 562	Phone: 207-633-6100
Business Name: n/a	Contractor Name: Mike East Coast Development LLC	Contractor Address: 33 [unclear]	Phone: 2077768187
Lessee/Buyer's Name: n/a Mike Rogers	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant	Proposed Use: New Single Family / Build 3,752 sq. ft. Colonial with 2 car garage.	Permit Fee: \$1,708.00	Cost of Work: \$230,000.00	CEO District: 3
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Proposed Project Description: Build New 3,752 colonial with 2 car garage, 8' x 9' 6" deck	FIRE DEPT. APPROVAL: <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB
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Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: gg	Date Applied For: 09/16/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 12 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2002-0200 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MMX OK with conditions Date: 9/27/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

See 2002 0200

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 75 Tide Mill Road (Lot 10 of Harrow Farm Estate)		
Total Square Footage of Proposed Structure 3,752 +/- SF	Square Footage of Lot 15,228 SF	
Tax Assessor's Chart, Block & Lot Chart# 212 Block# A Lot# 053	Owner: Robert Kurzius	Telephone: 633-6100
Lessee/Buyer's Name (if Applicable) Michael Rogers	Applicant name, address & telephone: Michael Rogers 440 Forest Avenue, Portland 04101 775-5600	Cost Of Work: \$ 230,000.00 Fee: \$ 2,008.00
Current use: Undeveloped lot - vacant		1,433- 300 1933 + COSTS-
If the location is currently vacant, what was prior use: no prior use		
Approximately how long has it been vacant: n/a		
Proposed use: Single family residence		
Project description: Construct a four bedroom, 2.5 bath, Colonial with a two car garage.		
Contractor's name, address & telephone: East Coast Development LLC, 33 Eastfield Rd, Portland 04101 776-8187		
Who should we contact when the permit is ready: Michael Rogers		
Mailing address: 440 Forest Avenue, Portland, ME 04101		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 318-9984 <i>when ready</i>		

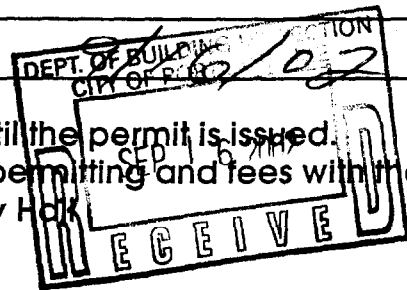
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Fax 774-6848-

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 09/02/02
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 021062

This is to certify that Kurzius Robert E/East Coast Developm
has permission to Build New 3,752 colonial w/ 2 car garage, 6' 9" 10" deck
AT 75 Tide Mill Rd L 212 A053001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
10/29/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Applicant: Eastcoast Dev. LLC

Date: 9/27/02

Address: 75 Tide Mill Rd

C-B-L: 212-A-53

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development # 02-1062

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - to construct new Colonial single family with attached garage

Sewage Disposal - City

Lot Street Frontage - 50' min - 50' shown on Assessor

Front Yard - 25' min - 25' ~~shown~~ scaled

Rear Yard - 25' min - 29' scaled

Side Yard - 16' req - 16.8' & 27.7' shown
2 1/2 story shown

Projections - side 8' x 11' Deck & stairs

Width of Lot - 80' req - 80' exactly

Height - 35' max - 26' scaled to midpoint in pitch

Lot Area - 10,000^{sq ft} 15,228^{sq ft}

Lot Coverage/ Impervious Surface - 20% MAX of 3045.6^{sq ft} MAX

Area per Family - 10,000^{sq ft} min

Off-street Parking - 2 spaces req - 2 shown in garage

Loading Bays - N/A

Site Plan - minor/minor 2002-0200

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 12 - Zone X

28 x 38 = 1064

24 x 28 = 672

8 x 11 = 88

10.5 x 17.5 = 183.75

2007.7'

Get field
verified
by survey

2-1062

Building

Approved

Mike Nugent

10/29/2002

10/07/2002



Mike Nugent

Garage Header design must be approved prior to framing MJN

09/18/2002

gg

10/29/2002

mjn

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0200

Application I. D. Number

09/16/2002

Application Date

75 Tide Mill Rd. (lot #10 Harrow Farm

Project Name/Description

Rogers, Michael

Applicant

440 Forest Ave., Portland, ME 04101

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 775-5600

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Address of Proposed Site

212 A053001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3752 sq. Ft.

15228 sq. Ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 09/16/2002

DRC Approval Status:

- Approved Denied
- See Attached

Approval Expiration 10/01/2003 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 10/01/2002
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0200

Application I. D. Number

09/16/2002

Application Date

75 Tide Mill Rd. (lot #10 Harrow Farm

Project Name/Description

Rogers, Michael

Applicant

440 Forest Ave., Portland, ME 04101

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 775-5600 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

75 - 75 Tide Mill Rd, Portland, Maine

Address of Proposed Site

212 A053001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 75 TIDEMILL ROAD, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**440 Forest Avenue
Portland, ME 04101
Cell: 318-9984
FAX: 774-6848**

October 16, 2002

Mr. Michael Nugent
Building Code Department
City of Portland
389 Congress Street
Portland, ME 04101

RE: 77 Tide Mill Road Building Permit Application Issues

Dear Michael:

Below are answers to issues you enumerated in your October 10, 2002, letter to me seeking additional information for the proposed house at 77 Tide Mill Road:

1. Soil profile: Mixture of loam, gravel and clay.
2. Filter Fabric: Muslin cloth.
3. Walls: 8" walls.
4. Anchor Bolts & Spacing: ½", 6" O/C.
5. Sill & Band: 2" X 6" PT, 2" X 10" rim joist.
6. Floor joists: 16" O/C.
7. Floor system specifications for room above garage: See the attached Romaro Structures trim 14"-24' truss design.
8. Adventec sheathing: ¾" T&G 50 year warranty.
9. Fasteners: 16D on framing, 8D on sheathing, 8D ring shank with adhesive on floor sheathing.
10. Type of Door from Garage to Mudroom: 90 minute fire rated metal with spring load hinges.
Sill height above the garage door: At least 1' drop TBD.
11. Door & Window Schedule with safety glazing and egress locations: The door schedule was provided with the building specifications but I also attached it.

Openings for the majority of the windows are 6.77 SF (28" X 32"). Each bedroom has a minimum of one 6.77 SF window opening. See attached Rivco window specifications.

12. Access to enclosed space above the attic: There is no enclosed space above the attic.
13. Is the attic proposed living space: No, currently storage space only.
14. Chimney plans: See attached completed chimney plan code checklist.
15. Structural headers not shown: 2" X 8" solid, except over garage doors which will be laminated LVLs, size TBD by engineer on site.
16. Type of Heat: Oil fired FHW boiler.
17. Hand rail/Guard rail detail: 2" X 2" balusters per city code. Second floor staircase will be open for a minimum of 6'. Railing shall continue along wall. Basement stairs will have enclosed risers and walls in addition to a railing.
18. Smoke detectors, type & location: Hard wired with battery backup in all bedrooms, first & second floor hall, garage and basement.

Please call should you have any additional questions. Thank you.

Very truly yours,

A handwritten signature in black ink, appearing to read "Michael C. Rogers", written in a cursive style.

Michael C. Rogers

Attachments

457006 69273

DESIGN INFORMATION

This design is for an industrial building component and has been based on information provided by the client. The designer does not accept responsibility for changes as a result of any change in conditions, specifications and/or design information. The designer and the client shall be responsible for the design and the client shall be responsible for the construction of the building. It is the client's responsibility to provide all necessary information and to verify the accuracy of the information provided. The designer shall not be responsible for any errors or omissions in the design or construction of the building. The client shall be responsible for the construction of the building. The designer shall not be responsible for any errors or omissions in the design or construction of the building. The client shall be responsible for the construction of the building.

FABRICATION NOTES

Prior to fabrication, the fabricator shall review the drawing to verify that the drawing is in accordance with the information provided and to verify that the drawing is in accordance with the information provided. The fabricator shall be responsible for the construction of the building. The designer shall not be responsible for any errors or omissions in the design or construction of the building. The client shall be responsible for the construction of the building.

PRECAUTIONARY NOTES

All building and erection requirements are to be followed in accordance with the Building Code of the City of New York. The client shall be responsible for the construction of the building. The designer shall not be responsible for any errors or omissions in the design or construction of the building. The client shall be responsible for the construction of the building.

EXCEPT AS SHOWN PLATES ARE TO BE TESTED PER ANSHP1 1-1995

WARNING: THIS DRAWING IS TO BE USED TO CONSTRUCT A CONNECTION. A COPY OF THIS DRAWING TO BE GIVEN TO ERECTING CONTRACTOR.

BRACING WARNING: Bracing plates on this structure must meet the following requirements: 1. Bracing plates must be made of A36 steel. 2. Bracing plates must be welded to the main members. 3. Bracing plates must be installed in accordance with the design. 4. Bracing plates must be installed in accordance with the design.

ROMARO

WO: RT16

2x6 continuous throughout. Attach to each end truss with 3-10d nails. Splice stiffback on truss sections.

Connectment later load of 20 p.s.f. has been applied to the bottom chord per BOCA-96, 1606.2.3

NOTE: Maximum truss spacing is 12' on o.c. ALL COMPRESSION CHORDS ARE ASSUMED TO BE CONTINUOUSLY BRACED UNLESS NOTED OTHERWISE.

TOP SHEETS: 3-22 SEP 11/92 (M)
3-23 SEP 16/92-1.5C 2
BOT SHEETS: 3-23 SEP 16/92-1.5C 2
3-24 SEP 16/92-1.8C 2

ISS: 3-22 SEP 11/92 (M)
3-23 SEP 16/92-1.5C 2
3-24 SEP 16/92-1.8C 2

1) PLATE OFFSETS FROM JOINT CENTER. REFER TO JOINT DETAIL REPORT.

MAX ALLOW LOAD INDICATION:
1/4L23 AT JOINT #25
2x-0.65' D-0.25' Y-0.10'
MAX BENT/CHORD IMPROVIZATION:
Y-0.12'

MSB = 1.15

PERMISSIBLE TO RUN UP TO 12" OFF EACH END OF TRUSS.

DESIGN ONLY VALID WHEN USING TEE-LOC[®] CONNECTOR PLATES.

TI: RT14-24

QTY: 1

Locat	Locat	Locat
1) 0-0-0	12) 16-4-4	23) 23-9-1
2) 1-3-4	13) 17-8-0	24) 24-5-7
3) 2-10-0	14) 20-2-0	25) 21-6-4
4) 6-0-0	15) 22-8-12	26) 19-2-8
5) 5-4-0	16) 24-0-0	27) 7-7-12
6) 7-7-12	17) 24-0-0	28) 7-0-0
7) 8-11-8	18) 22-8-12	29) 5-1-0
8) 11-6-4	19) 21-5-0	30) 2-7-0
9) 12-5-12	20) 18-11-0	31) 1-2-4
10) 15-0-8	21) 15-4-4	32) 0-0-0
11) 15-0-0	22) 15-8-0	

---REMARKS PER BRACING CONNECTIONS---
T-LOC Vert Horiz Uplift T-LOC Type
0-2-12 660 0 0 0 0
23-9-4 639 0 0 0 0 0



Req. Job: 69273	WO: RT16
Draw: 457006	Inss 12/8/14-24
Scale: 3/8\"/>	
TC Lave 40.0 psf	Durfac - Lbr: 1.00
TC Dead 10.0 psf	Durfac - Pfr: 1.00
BC Lave 0.0 psf	O.C. Spacing: 12.0'
BC Dead 5.0 psf	Design Criteria: BOCA
TOTAL 55.0 psf	Code Desc:
	V.01.16.00- 627D- 2

ROMARO STRUCTURES

PHONE (602) 968-8787 FAX (602) 352-3324

Design: Mann Analysis

JOB PATH: D:\200174.MVT

DATE: 04.07.00

77 Tide Mill Road
Exterior Door Specifications
October 16, 2002

- a. Front door: Insulated six panel smooth steel 3'-0"X6'-8", 6'-9/16" jamb, double bore, to include custom door surround trim and direct set transom. Bright brass plated (BBP) handle set, Brass plated slide bolt on upper part of door. Bright brass door knocker.
- b. Door from driveway to rear hall: Insulated 9 light smooth steel 3'-0"X6'-8", 6' & 9/16" jamb, double bore, 5/4 surround trim. BBP Titan lock set and BBP Titan single dead bolt lock set. Brass plated slide bolt on upper and lower part of door.
- c. Door from garage to rear hall: Insulated six panel smooth steel 3'-0"X6'-8", 6' & 9/16" jamb, single bore, fire rated. BBP Titan lock set. Brass plated slide bolt upper.
- d. Door from rear hall to rear yard: Insulated 9 light smooth steel 2'-8"X6'-8", 6' & 9/16" jamb, single bore. BBP Titan lock set. Brass plated slide bolt upper.
- e. Door from garage to rear yard: Insulated 9 light smooth steel 2'-8"X6'-8", 6' & 9/16" jamb, single bore. BBP Titan lock set. Brass plated slide bolt upper & lower.
- f. Family Room Atrium Door: Insulated, clad, full view, 15 light with screen, 6'-0" X 6'-8", single bore. BBP Titan lock set. Brass plated slide bolt upper & lower.
- g. Door from garage to basement: Insulated smooth steel 2'-8"X6'-8", 6' & 9/16" jamb, single bore. BBP Titan lock set. Brass plated slide bolt upper & lower.
- h. Screen/Storm doors are not included.
- i. Outside of all exterior doors shall be primed.
- j. Garage Driveway Door: Insulated 9 light steel, 3'-0" X 6'-8" jamb, single bore. BBP Titan lock set. Brass plated slide bolt upper & lower.
- k. Garage Doors: Two (2) insulated R-12, 9'X8' flat panel, with openers.
- l. Locks: Keyed alike with four master keys.

Egress Data

Technical Data



Vinyl Double Hung
Egress Opening in Square Feet

	24	28	32	36
Width				
22	3.48	4.52	5.05	
24	4.18	4.93	5.51	
28	4.87	5.75	6.43	
36	6.27	7.39	8.27	

Total Square Feet Clear Opening

EGRESS DATA



Inset-tilt Double Hung
Egress Opening in Square Feet

	24	28	32	36
Width				
22	4.06	4.76	5.43	6.10
24	4.42	5.15	5.88	6.61
28	5.09	5.93	6.77	7.62
36	6.49	7.38	8.37	9.43

Total Square Feet Clear Opening



Clad Primed Double Hung
Egress Opening in Square Feet

	24	28	32	36
Width				
22	4.05	4.66	5.27	5.88
24	4.42	5.08	5.75	6.43
28	4.78	5.50	6.25	7.00
28	5.15	5.95	6.75	7.60
36	6.52	7.40	8.30	9.25

Total Square Feet Clear Opening

* Local building codes, and code interpretations should be reviewed with local inspector

5'0" x 6'8"	63" x 81 1/2"	64 1/2" x 82 1/2"	61 1/2" x 80 1/2"
5'4" x 6'8"	67" x 81 1/2"	68 1/2" x 82 1/2"	65" x 80 1/2"
6'0" x 6'8"	75" x 81 1/2"	76 1/2" x 82 1/2"	73 1/2" x 80 1/2"
6'6" x 6'8"	81 1/2" x 81 1/2"	83 1/2" x 82 1/2"	80 1/2" x 80 1/2"
6'0" x 6'0"	75" x 76"	76 1/2" x 77"	

Brickmold dimensions measured from outside edges.

Prehung Remodeling Replacement Doors

Sector-III® Unit Size	Existing Opening		(B) Height: Min. Max.
	(A) Widths: Min. Max.	(C) Height: Min. Max.	
2'6" x 6'8" R	30" 30 1/2"	79 1/2" 80 1/2"	
2'8" x 6'8" R	32" 32 1/2"	79 1/2" 80 1/2"	
3'0" x 6'8" R	36" 36 1/2"	79 1/2" 80 1/2"	
5'0" x 6'8" R	59 1/2" 60"	79 1/2" 80 1/2"	
5'4" x 6'8" R	63 1/2" 64"	79 1/2" 80 1/2"	
6'0" x 6'8" R	73 1/2" 74"	79 1/2" 80 1/2"	

7' height available on special order
Min. HL - 83 1/2", Max. HL - 84 1/2"

Rough opening height, 81 1/2"
Brickmold opening height, 81 1/2"
Brickmold dimensions measured from outside edges.

Prehung Vista II Patio Doors Wood Frames

Door Size	Frame Size	Rough Opening	Brickmold Opening
2'6" x 6'8"	30 1/2" x 80 1/2"	31 1/2" x 80 1/2"	33 1/2" x 81 1/2"
2'8" x 6'8"	32 1/2" x 80 1/2"	33 1/2" x 80 1/2"	35 1/2" x 81 1/2"
3'0" x 6'8"	36 1/2" x 80 1/2"	37 1/2" x 80 1/2"	39 1/2" x 81 1/2"
5'0" x 6'8"	59 1/2" x 80 1/2"	60 1/2" x 80 1/2"	62 1/2" x 81 1/2"
5'4" x 6'8"	63 1/2" x 80 1/2"	64 1/2" x 80 1/2"	66 1/2" x 81 1/2"
6'0" x 6'8"	71 1/2" x 80 1/2"	72 1/2" x 80 1/2"	74 1/2" x 81 1/2"

Single, prehung fixed panels available to create multi-door units. Multi-door unit rough opening sizes depend on wall configurations. Accessories available.

Transom Lights

For 3'0" Door, 38 1/2" x 95 1/2"
For 4'0" Door, 51 1/2" x 95 1/2"
For 5'0" Door, 65 1/2" x 95 1/2"
For 5'4" Door, 67" x 95 1/2"
For 6'0" Door, 75" x 95 1/2"

Prehung Vinyl-Fit Vista Patio Doors Vinyl Frames

Door Size	Frame Size	Rough Opening	Brickmold Opening
5'0" x 6'8"	58 1/2" x 79 1/2"	61 1/2" x 80 1/2"	62 1/2" x 81 1/2"
5'4" x 6'8"	62 1/2" x 79 1/2"	65 1/2" x 80 1/2"	66 1/2" x 81 1/2"
6'0" x 6'8"	70 1/2" x 79 1/2"	73 1/2" x 80 1/2"	74 1/2" x 81 1/2"

Pictured on Back Cover:
Top Left: Entry Door, PV, CG15 grille

Top Right: Entry Door with Sidelights, M1B, PKSUB, Beacon Hill Series

Lower Left: Patio Doors, PVRK (L/R)

Lower Right: Entry Door, FSF

For special sizes and preparations, contact distributor.

General Products Company, Inc. reserves the right to change specifications without notice, as necessary.

WARRANTIES

Warranties extended on Benchmark products include warranties of 10 years on Legend® doors, 3 years on Benchmark® doors and 1 year on Landmark® doors plus warranty of 10 years on clear glass and 5 years on Designer glass. See your Benchmark dealer for details.

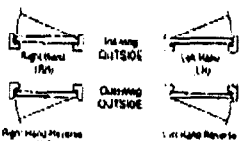
Can't find what you need?
Call us. Ask for the
Benchmark Door specialist.

Distributed by:

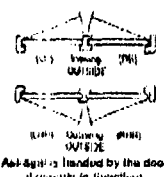
HANDING CHART

Hand is always taken from the outside.

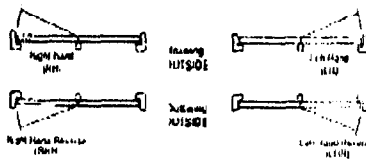
Entry Doors



French Doors



Patio Doors



FIRE LABEL OPTIONS
Each non-lighted Benchmark door is furnished with an affidavit for 1 1/2 hour fire label for installation. Also available with 1 1/2 hour label from Warnock Hersey International, Inc.

ACCEPTANCE
Benchmark insulated steel doors are approved by H.C.D. and F.H.A. Fire Endurance and Close Stream Test under ASTM E-152 and others.

Benchmark
The standard by which others are measured.

General Products Company, Inc.
P.O. Box 7387 Fredericksburg, VA 22404
Phone: 640/898-5700 Fax: 540/898-8002

FLC-103 4/96 40

STATE OF MAINE CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

INSTALLER INFORMATION

Name of Installer Jon Breton
 D.B.A. Breton Masonry
 Name of Installer (if incorporated) _____
 D.B.A. _____
 Legal Address 6 Hillside Drive
(Street and No.) (City or Town)
Wincham, ME 04062 Cumberland
(State) (County) (Zip Code)
 Home Telephone 207 / 318 / 6015 Business Telephone 207 / 892 / 0579
 Years of experience doing fireplace or chimney installations 15

CONSUMER IDENTIFICATION

Consumer's Name Michael Rogers
 Mailing Address 440 Forest Ave
(Street and No.) (City or Town)
Portland, Maine 04104 Cumberland
(State) (County) (Zip Code)
 Home Telephone 207 / 318 / 9984 Business Telephone 207 / 775 / 5600

Installer, please give a brief description of installation being offered.
2 Flue chimney with gas inserts
1 Flue for furnace
1 Flue for fireplace
Brick Patio

I, Jon Breton, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature Jon Breton Date 10/11/02

TABLE R1003.1

CHIMNEYS AND FIREPLACES

TABLE R1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS

ITEM	LETTER ^a	REQUIREMENTS
Hearth slab thickness	A	4"
Hearth extension (each side of opening)	B	8" fireplace opening < 6 sq. ft. 12" fireplace opening ≥ 6 sq. ft.
Hearth extension (front of opening)	C	16" fireplace opening < 6 sq. ft. 20" fireplace opening ≥ 6 sq. ft.
Hearth slab reinforcing	D	Reinforced to carry its own weight and all imposed loads.
Thickness of wall of firebox	E	10" solid brick or 8" where a firebrick lining is used. Joints in firebrick 1/4" max
Distance from top of opening to throat	F	8"
Smoke chamber wall thickness unlined walls	G	6"
Chimney Vertical reinforcing ^b	H	8"
Horizontal reinforcing	J	Four No. 4 full-length bars for chimney up to 40" wide. Add two No. 4 bars for each additional 40" or fraction of width or each additional flue.
Bond beams	K	1/4" ties at 18" and two ties at each bend in vertical steel.
Fireplace lintel	L	Noncombustible material.
Chimney walls with flue lining	M	Solid masonry units or hollow masonry units grouted solid with at least 4 inch nominal thickness.
Walls with unlined flue	N	8" solid masonry.
Distances between adjacent flues	—	See Section R1001.10.
Effective flue area (based on area of fireplace opening)	P	See Section R1001.12.
Clearances: Combustible material Mantel and trim Above roof	R	See Sections R1001.15 and R1003.12. See Section R1001.13. 3' at roofline and 2' at 10'.
Anchorage ^b Strap Number Embedment into chimney Fasten to Bolts	S	3/16" x 1" Two 12" hooked around outer bar with 6" extension 4 joists Two 1/2" diameter.
Footings Thickness Width	T	12" min. 6" each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m².

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure R1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

a. The letters refer to Figure R1003.1.

b. Not required in Seismic Design Category A, B or C.

7780 = 211
 NIPA 31

INSTALLATION STANDARDS

Please check the type of unit(s) that will be installed:

- Factory-Built Chimney and Chimney Units.**

Factory-built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 221 for chimneys, fireplaces, vents and solid fuel appliances.

- Masonry Chimney.**

Masonry chimneys shall be designed, anchored, supported and re-enforced as required by NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

- Metal Chimney.**

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

1. Strength to resist stress
2. Adequate anchoring and bracing
3. Durability
4. Security against leakage
5. Allowances for thermal expansion

- Factory Built Fireplace.**

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

- Masonry Fireplace.**

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

- Other**

Please list on separate sheet of paper if making repairs of pre-existing chimneys, such as repair or replacement of chimney liners, etc.

CONSUMER CHECKLIST

1. Have you asked for references to be provided by the installer?
2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
3. If the installation is a pre-fabricated or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Bd.
4. Does the installer provide any type of written guarantee for the product installation being proposed?
5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

Filing Category: ROOF, WALL AND FLOOR PANELS—Wood**ADVANTECH® VIP+™ WOOD-BASED STRUCTURAL-USE PANELS**

J.M. HUBER CORPORATION
10925 DAVID TAYLOR DRIVE, SUITE 300
CHARLOTTE, NORTH CAROLINA 28221-6704

1.0 SUBJECT

AdvanTech® VIP+™ Wood-based Structural-Use Panels.

2.0 DESCRIPTION**2.1 General:**

The AdvanTech VIP+ wood-based structural-use panels described in this evaluation report are Exposure 1 oriented strand board (OSB). The OSB is manufactured with strands from a single wood species or a combination of wood species blended with an exterior-type adhesive system specified in the quality system manual. The panels are typically produced in 4-by-8-foot (1219 by 2438 mm) sheets. Oversize panels, wider than 4 feet (1219 mm) or longer than 8 feet (2438 mm), or both, are also produced. Four AdvanTech VIP+ panels having the span ratings, grades, and thicknesses shown in Table 1 are recognized in this evaluation report.

AdvanTech VIP+ panels are manufactured to comply with proprietary property requirements and with performance requirements specified in U.S. Voluntary Product Standard PS-2 (UBC Standard 23-3), as outlined in the approved quality control manual.

2.2 Design Capacities:

Design capacities provided in this evaluation report supplement the design provisions provided in ICBO ES evaluation report ER-5637. Table 2 provides design capacities for AdvanTech VIP+ panels. Table 3 provides section properties for AdvanTech VIP+ panels. Table 4 provides equivalent specific gravities for use in design of nailed connections (withdrawal and lateral) under Section 2318 of the 1997 *Uniform Building Code*™ and Part 12 of the ANSI/AF&PA NDS-1997, National Design Specification for Wood Construction (NDS).

2.3 Installation:

AdvanTech VIP+ wood-based structural-use panels must be installed in accordance with the applicable code; and either ICBO ES evaluation report ER-5637 or the manufacturer's published installation requirements, whichever is more restrictive.

2.4 Identification:

AdvanTech VIP+ wood structural-use panels are labeled with a grade stamp that identifies the span rating; exposure durability classification (Exposure 1); panel grade (Structural I Sheathing Span® or Floor Span®); thickness; product standard (PS-2 and PRP-133); manufacturer's name (J.M. Huber Corporation); mill number; the name or logo of the quality control agency (Timberco, Inc.—dba TECO); and the ICBO ES evaluation report number (ICBO ES ER-5866). Refer to Figure 1 for a typical label.

3.0 EVIDENCE SUBMITTED

Data in accordance with the ICBO ES Acceptance Criteria for Wood-based Structural-use Panel Products (AC182), dated April 2001; and a quality control manual.

4.0 FINDINGS

That the AdvanTech® VIP+™ wood-based structural-use panels described in this evaluation report comply with the 1997 *Uniform Building Code*™, the 2000 *International Building Code*®, and the 2000 *International Residential Code*®, subject to the following conditions:

4.1 The panels are installed in accordance with the applicable building code, and either ICBO ES evaluation report ER-5637 or the manufacturer's published installation instructions, whichever is more restrictive.

4.2 The panels are manufactured by J.M. Huber Corporation at their facilities located in Easton, Maine; Commerce, Georgia; Crystal Hill, Virginia; and Spring City, Tennessee. Independent quality control inspections are conducted by Timberco Inc.—dba TECO Corporation (AA-654).

This report is subject to re-examination in one year.

ES REPORTS™ are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICBO Evaluation Service, Inc., express or implied, as to any finding or other matter in this report, or as to any product covered by the report.



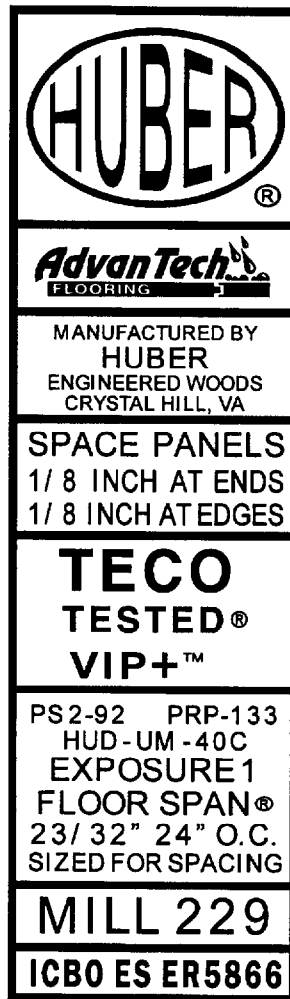


FIGURE 1—TYPICAL LABEL

TABLE 1—SPAN RATINGS, GRADES AND THICKNESSES OF RECOGNIZED PANELS

SPAN RATING	GRADE	NOMINAL PANEL THICKNESS
32/16	Structural I Sheathing Span [®]	$\frac{1}{2}$ inch
40/20	Structural I Sheathing Span [®]	$\frac{5}{8}$ inch
20 o.c.	Floor Span [®]	$\frac{19}{32}$ inch
24 o.c.	Floor Span [®]	$\frac{23}{32}$ inch

For SI: 1 inch = 25.4 mm.

TABLE 2—ADVANTECH VIP+ PANEL DESIGN CAPACITIES¹

SPAN RATING	NOMINAL THICKNESS (in.)	STRENGTH AXIS ²	BENDING STIFFNESS, EI (lbf-in ² /ft)	BENDING STRENGTH, $F_b S$ (lbf-in/ft)	PLANAR SHEAR, $F_v A$ (lbf/ft)	AXIAL COMPRESSION, $F_c A$ (lbf/ft)	AXIAL STIFFNESS, EA (lbf/ft)
32/16	$\frac{1}{2}$	Primary	133,750	920	270	6,960	4,600,000
		Secondary	61,000	560	260	4,900	3,600,000
40/20	$\frac{5}{8}$	Primary	256,000	1,465	505	7,890	6,200,000
		Secondary	114,000	825	450	7,380	4,200,000
20 o.c.	$\frac{19}{32}$	Primary	237,000	1,345	430	8,270	5,900,000
		Secondary	105,250	790	480	6,980	3,900,000
24 o.c.	$\frac{23}{32}$	Primary	375,750	1,675	485	9,880	6,100,000
		Secondary	165,000	1,010	400	8,750	5,100,000

For SI: 1 inch = 25.4 mm, 1 lbf-in²/ft = 9.415 kN-m²/m, 1 lbf-in/ft = 0.371 N-m/m, 1 lbf/ft = 14.59 N/m.

¹Design capacity is a single value that represents the product of the allowable stress and the corresponding section property per 1-foot width of panel for a given load condition.

²Primary strength axis corresponds to the panel length dimension and the secondary direction to the panel width dimension. If an AdvanTech panel is manufactured with the primary direction aligned in the narrow dimension, the primary direction will be stamped on the panel.

TABLE 3—SECTION PROPERTIES FOR ADVANTECH VIP+ PANELS¹

SPAN RATING	NOMINAL THICKNESS (in.)		PANEL WEIGHT (psf)	AREA, A (in ² /ft)	MOMENT of INERTIA, I (in ⁴ /ft)	SECTION MODULUS, S (in ³ /ft)	STATICAL MOMENT, Q (in ⁴ /ft)	SHEAR CONSTANT, Ib/Q (in ² /ft)
	Fraction	Average						
32/16	$\frac{1}{2}$	0.500	1.9	6.000	0.125	0.500	0.375	4.000
40/20	$\frac{5}{8}$	0.625	2.0	7.500	0.244	0.781	0.586	5.000
20 o.c.	$\frac{19}{32}$	0.600	2.0	7.200	0.216	0.720	0.529	4.800
24 o.c.	$\frac{23}{32}$	0.700	2.4	8.400	0.343	0.980	0.735	5.600

For SI: 1 inch = 25.4 mm, 1 in²/ft = 2,117 mm²/m, 1 in³/ft = 53,763 mm³/m, 1 in⁴/ft = 1,365,589 mm⁴/m

¹Based on a rectangular cross-sectional width of one foot.

TABLE 4—EQUIVALENT SPECIFIC GRAVITY VALUES FOR ADVANTECH VIP+ PANELS¹

SPAN RATING	NOMINAL THICKNESS (inch)	NAIL RESISTANCE	
		Lateral	Withdrawal
		Equivalent Specific Gravity	
32/16	$\frac{1}{2}$	0.44	0.47
40/20	$\frac{5}{8}$	0.44	0.47
20 o.c.	$\frac{19}{32}$	0.44	0.47
24 o.c.	$\frac{23}{32}$	0.40	0.47

For SI: 1 inch = 25.4 mm.

¹Equivalent specific gravity values are provided for use in design of nailed connections (lateral and withdrawal) in accordance with Section 12 of the ANSI/AF&PA NDS-1997, *National Design Specification for Wood Construction*, for IBC compliance; and with UBC Section 2318 for UBC compliance.

389 Congress St. Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

facsimile transmittal

To: Mike Rogers From: Mike Nugent

Fax: ~~774 6848~~ 774 6848 Date: October 10, 2002

Phone: Pages: 1

Re: 75 Tidemill Rd. (212 A053)

Urgent For Review Please Comment Please Reply Please Recycle

I have commenced the review of the above project and have the following comments:

- 1) What is the soil profile on the lot?
- 2) Filter Fabric is not shown on the foundation drain, it is required.
- 3) 8" wall or 10" wall, the plans reflect both
- 4) What size anchor bolts and spacing?
- 5) Sill & Band not spec'd
- 6) Floor joists 12" or 16" o.c. it says either or, what will it be
- 7) Need specs on floor system for room above garage
- 8) Advantec sheathing, tell me more
- 9) Fasteners not spec'd
- 10) What type of door will be installed between the garage and living space and what is the sill height above the garage floor
- 11) Please provide a door / window schedule indicating safety glazing locations and egress window designation. The Master suite tub window must be safety glazing.
- 12) Will there be access to the enclosed space above the attic?
- 13) is the attic proposed for living or sleeping space?
- 14) Chimney plans, attached is the code checklist
- 15) Headers not shown
- 16) What type of heat
- 17) Hand rail/ Guard rail details
- 18) Smoke detectors, type & location?

**TABLE R1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

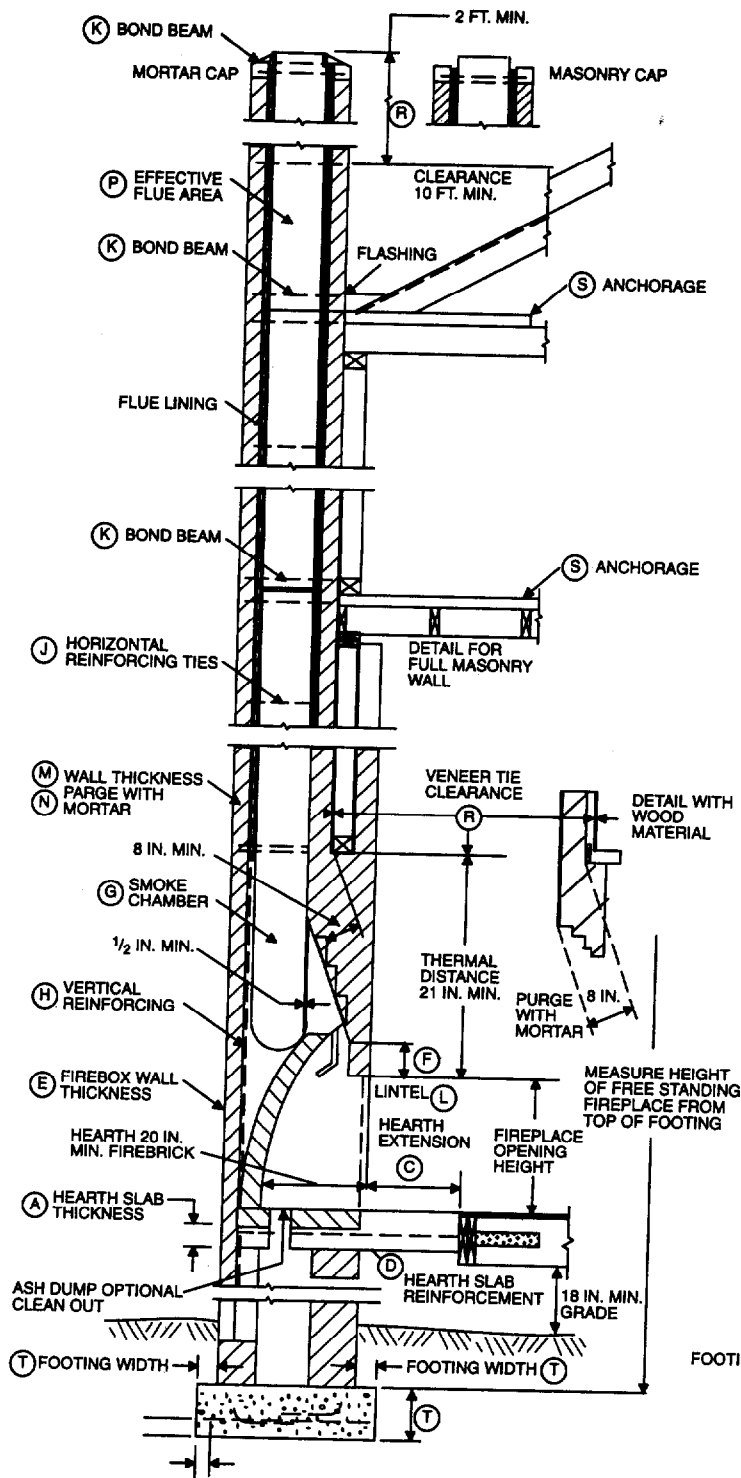
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Hearth extension (each side of opening)	B	8" fireplace opening < 6 sq. ft. 12" fireplace opening ≥ 6 sq. ft.
Hearth extension (front of opening)	C	16" fireplace opening < 6 sq. ft. 20" fireplace opening ≥ 6 sq. ft.
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Thickness of wall of firebox	E	10" solid brick or 8" where a firebrick lining is used. Joints in firebrick 1/4" max.
Distance from top of opening to throat	F	8"
Smoke chamber wall thickness unlined walls	G	6"
Chimney Vertical reinforcing ^b	H	8"
Horizontal reinforcing	J	Four No. 4 full-length bars for chimney up to 40" wide. Add two No. 4 bars for each additional 40" or fraction of width or each additional flue.
Bond beams	K	1/4" ties at 18" and two ties at each bend in vertical steel.
Fireplace lintel	L	Noncombustible material.
Chimney walls with flue lining	M	Solid masonry units or hollow masonry units grouted solid with at least 4 inch nominal thickness.
Walls with unlined flue	N	8" solid masonry.
Distances between adjacent flues	—	See Section R1001.10.
Effective flue area (based on area of fireplace opening)	P	See Section R1001.12.
Clearances: Combustible material Mantel and trim Above roof	R	See Sections R1001.15 and R1003.12. See Section R1001.13. 3' at roofline and 2' at 10'.
Anchorage ^b Strap Number Embedment into chimney Fasten to Bolts	S	3/16" × 1" Two 12" hooked around outer bar with 6" extension 4 joists Two 1/2" diameter.
Footing Thickness Width	T	12" min. 6" each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m².

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure R1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

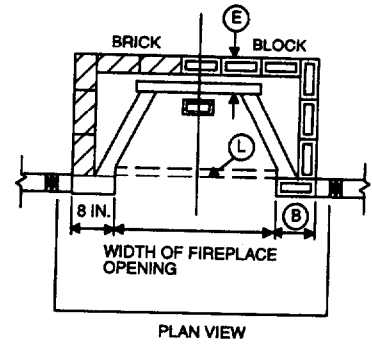
a. The letters refer to Figure R1003.1.

b. Not required in Seismic Design Category A, B or C.

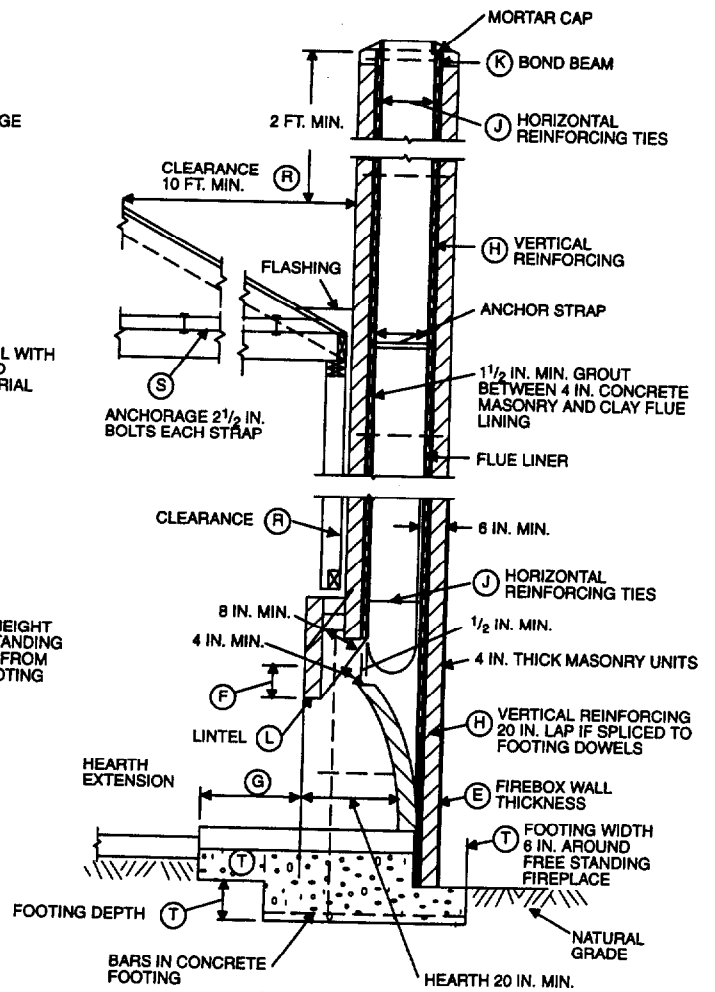


BRICK FIREBOX AND CHIMNEY—
SECTIONAL SIDE VIEW ON WOOD FLOOR

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.



PLAN VIEW



BRICK FIREBOX AND BLOCK CHIMNEY—
SECTIONAL SIDE VIEW ON CONCRETE SLAB

FIGURE R1003.1
FIREPLACE AND CHIMNEY DETAILS

**STATE OF MAINE
CHIMNEY OR FIREPLACE DISCLOSURE**

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

INSTALLER INFORMATION

Name of Installer _____

D.B.A. _____

Name of Installer (if incorporated) _____

D.B.A. _____

Legal Address _____

(Street and No.)

(City or Town)

(State)

(County)

(Zip Code)

Home Telephone ____ / ____ / ____ Business Telephone ____ / ____ / ____

Years of experience doing fireplace or chimney installations _____

CONSUMER IDENTIFICATION

Consumer's Name _____

Mailing Address _____

(Street and No.)

(City or Town)

(State)

(County)

(Zip Code)

Home Telephone ____ / ____ / ____ Business Telephone ____ / ____ / ____

Installer, please give a brief description of installation being offered.

I, _____, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature _____ Date _____

7980-211
NFPA # 31

INSTALLATION STANDARDS

Please check the type of unit(s) that will be installed:

Factory-Built Chimney and Chimney Units.

Factory-built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 221 for chimneys, fireplaces, vents and solid fuel appliances.

Masonry Chimney.

Masonry chimneys shall be designed, anchored, supported and re-enforced as required by NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

Metal Chimney.

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

- 1. Strength to resist stress
- 2. Adequate anchoring and bracing
- 3. Durability
- 4. Security against leakage
- 5. Allowances for thermal expansion

Factory Built Fireplace.

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

Masonry Fireplace.

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

Other

Please list on separate sheet of paper if making repairs of pre-existing chimneys, such as repair or replacement of chimney liners, etc.

CONSUMER CHECKLIST

- 1. Have you asked for references to be provided by the installer?
- 2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
- 3. If the installation is a pre-fabricated or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Bd.
- 4. Does the installer provide any type of written guarantee for the product installation being proposed?
- 5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
- 6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

See
Book 8262
Page 185.

BK7632PG0048

007989

RESTRICTIVE DEED COVENANTS

KNOW ALL MEN BY THESE PRESENTS, that KELSAR CORPORATION, a Maine corporation having its offices and place of business at One India Street, Portland, County of Cumberland, State of Maine, being owner of certain real estate situated in the City of Portland, County of Cumberland, State of Maine, which real estate is more particularly described as follows:

Beginning at an iron pipe set in the ground at the intersection of the southerly sideline of Congress Street and the southerly sideline of Garrison Street; thence from said point of beginning along the southerly sideline of said Garrison Street N 88° 50' 47" E a distance of three hundred and sixty and two hundredths (360.02) feet to an iron pipe found at land now or formerly of Anderson; thence along land of said Anderson S 4° 21' 48" E a distance of three hundred two and seventy-four hundredths (302.74) feet to an iron pipe found; thence along land of said Anderson N 81° 58' 12" E a distance of one hundred thirty-two (132.00) feet to a tree and iron pipe found at land now or formerly of Wilkinson; thence along land of said Wilkinson and land now or formerly of Allied Construction CO., Inc., S 28° 30' 49"E a distance of five hundred twenty-one and forty-seven hundredths (521.47) feet to an iron pipe found in stone at land now or formerly of Dingley; thence along said land of Dingley S 62° 31' 24" W a distance of nine and four hundredths (9.04) feet to an iron pipe found; thence along land of said Dingley, land now or formerly of Gardner, land now or formerly of Wilkinson and land now or formerly of Brown S 62° 03' 24" W a distance of four hundred twenty-three and two hundredths (423.02) feet to an iron pipe set in the ground at land conveyed to Christ Church of Portland by deed dated September 16, 1977, and recorded at the Cumberland County Registry of Deeds in Book 4104, Page 18; thence along said land of Christ Church of Portland N 30° 02' 37" W a distance of nine hundred eighty-nine and forty-three hundredths (989.43) feet to an iron pipe set in the ground at the southerly sideline of Congress Street; thence along the southerly sideline of said Congress Street N 55° 09' 47" E a distance of one hundred thirty-nine and fifty-one hundredths (139.51) feet to an iron pipe set in the ground and the point of beginning.

Said parcel contains 9.2 acres.

Being a portion of the premises conveyed by Horatia Maxfield to Arthur F. Maxfield by deed dated October 16, 1943, and recorded in the Cumberland County Registry of Deeds in Book 1730, Page 37.

Reference is made to the Estate of Arthur F. Maxfield, Cumberland County Probate Docket Number 75641. Arthur F. Maxfield devised his property to Agnes M. Maxfield, William R. Maxfield and Marion E. Conner. Reference is made to the probated estate of William R. Maxfield, Cumberland County Probate Docket Number 78512 and the probated estate of Marion E. Conner, Cumberland County Probate Docket Number 83-2406.

Reference is made to a Subdivision Plat entitled "HARROW FARM ESTATES" for KELSAR CORPORATION, dated August 25, 1986, and prepared by R.P. Titcomb

Associates, Inc., Falmouth, Maine, and recorded in the Cumberland County Registry of Deeds on January 30, 1987, in Plan Book 160, Page 43.

Being the same premises conveyed to KELSAR CORPORATION by warranty deed of Lawrence I. Miller and Charles S. Hoag, dated December 17, 1986 and recorded in the Cumberland County Registry of Deeds in Book 7539, Page 340

Whereas, the owner has created a subdivision of said real estate containing nineteen single family house lots in an R-2 Zone of the City of Portland, which subdivision has been duly authorized and approved by the said City of Portland, and the plats and plan of which subdivision entitled as above stated are recorded in the Cumberland County Registry of Deeds in Plan Book 160, Page 43.

Whereas, it is the desire and intention of the owner to sell the said Nineteen (19) lots above described and to impose on them mutual, beneficial restrictions under a general plan or scheme of improvement for the benefit of all the lots in the said subdivision and the future owners of said lots;

Now, therefore, the owner hereby declares that all of the property above described is held and shall be held, conveyed, and improved subject to the following limitations, restrictions, conditions, and covenants, all of which are declared and agreed to be in furtherance of a plan for the subdivision, and improvement and sale of the lots, and are established and agreed upon for the purpose of enhancing and protecting the value, desirability, and attractiveness of the lots and every part thereof. All of the limitations, restrictions, conditions, and covenants shall run with the land and shall be binding on all parties having or acquiring any right, title, interest or estate in the above described real estate or any part thereof:

1. Municipal Restrictions. No building shall be erected, placed, modified, or altered, and no other act shall be undertaken on a lot in the erection, placement, modification, or alteration of buildings or landscaping which would be in violation of a) the Municipal Building Code of the City of Portland, Maine, as written on the date hereof for R-2 Residential Zoning, b) any restriction described on the Subdivision Plats hereinabove referenced, or c) the terms and conditions of the Conservation Letter approved by the City of Portland, attached hereto as Schedule A and incorporated herein by reference. No variance of any of the above shall be sought by any future owner of a lot, unless, without such variance, a lot would be rendered entirely unimprovable.

2. Single Family Residences. All lots shall be known, described, and used for residential purposes only. Only one (1) private, single family residential dwelling house may be erected, placed, altered or permitted to remain on any lot. Occupancy is limited to one (1) family related by blood, marriage, or adoption. Lots shall not be used for any business purpose of any kind whatsoever, including, but not limited to, commercial, manufacturing or apartment house purposes.

BK7632PG0050

3. Garages. Each and every residence erected, placed, altered or permitted to remain on any lot shall have an attached garage adequate for housing no less than two (2) and no more than (3) automobiles. The garage shall: a) be architecturally compatible with the residential building, b) have operating overhead doors, and c) be used for substantially garage purposes only.

4. Dwelling Size and Quality. No residential dwelling shall be permitted on any lot:

- a) containing less than two thousand (2,000) square feet of living area exclusive of garage, breezeway, and open porches and decks,
- b) having an architectural style other than Colonial or other Traditional New England architectural styles, it being the intention of these covenants to exclude certain architectural styles including, but not limited to, cottages, bungalows, and styles traditional to other geographical areas of the World but not to New England,
- c) having exterior siding on both dwelling and garage of other than red or white cedar shingles, shakes or clapboards, clear, stained or painted, brick or stone veneer, or a combination of any of the above,
- d) having other than a poured concrete foundation or slab, which is no more than four (4) feet above gradation along the front side of the dwelling,
- e) having a height of more than thirty-four (34) feet at its peak (excluding chimneys only), said restriction also to apply to the garage,
- f) having a roof pitch on both dwelling and garage of less than an eight/twelve (8/12) pitch,
- g) having other than a finished roof of asphalt, wood shake, or slate shingles,
- h) having exposed chimneys and front entry stairs of other than brick or stone construction,
- i) unless the quality of workmanship and materials shall be substantially the same or better quality than that which can be produced on the date of these covenants for the minimum permitted dwelling size.

5. Time for Completion. Every residential dwelling, including garage, landscaping, and paved driveway, shall be fully completed and finished within six (6) months of the date of pouring and backfilling of the foundation therefor.

6. Driveways. All dwellings shall have a paved driveway of stable and permanent construction of at least sixteen (16) feet in width at the entrance to the garage.

7. Utilities. Building connections for all utilities, including, but not limited to, water, electricity, telephone, and television cables, shall be run underground from the proper connecting points to the building structure.

8. Signs. No signs of any kind shall be displayed to the public view

on any lot except for one professional sign advertising the property for sale by the original owner, an original builder or an owner of a single family structure.

9. Temporary Structures and Outbuildings. No structure of a temporary character, trailer, basement, tent, shack, garage, barn, or other outbuilding shall be used on any lot at any time as a residence either temporarily or permanently.

10. Garbage and Trash Containers. No lot shall be used or maintained as a dumping ground for rubbish, trash or other waste. All trash, garbage and other waste shall be allowed to exist on a lot only in connection with the construction or occupancy of a dwelling, and shall be kept in sanitary containers and, except during pickup, if required to be placed at the curb, all containers shall be kept within an enclosure.

11. Shrubs. For the purpose of concealing the exposed foundation wall on the front side on a dwelling structure, there shall be planted or placed in front of said foundation wall a minimum of eight (8) shrubs or other natural vegetation suitable and adequate to accomplish said purpose.

12. Nuisances. Nothing shall be done or maintained on any lot which may be or become a nuisance or hazard to the neighborhood or subdivision.

13. Boats and Motor Vehicles. No boats, recreational vehicles, or other motor vehicles, except registered four-wheel passenger automobiles, shall be placed, parked or stored upon any lot, nor shall any maintenance or repair be performed upon any boat or motor vehicle upon any lot, except within a garage where totally isolated from public view.

14. Artificial Vegetation. No artificial grass, plants or other artificial vegetation shall be placed or maintained upon the exterior portion of any lot.

15. Landscaping. All open spaces on a lot, excluding driveways, shall be landscaped with loam and seeded for lawns. No trees or other natural barriers may be removed in violation of the aforementioned Conservation Letter or details described on the recorded plats.

16. Antennae. No aerial or antenna or satellite message receiving dish or device shall be placed or erected upon any lot, or affixed in any manner to the exterior of any building permitted by these covenants.

17. Animals. No animals, livestock, or poultry of any kind shall be raised, bred, kept or permitted on any lot. However, dogs, cats and other common household pets may be kept on lots so long as they are not kept, bred, or maintained for commercial purposes. No animals shall be allowed to run loose at any time.

18. Easements. Easements, if any, for the installation and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat. Within these easements, no structure, planting, or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities, or which may change the direction of flow of drainage channels in the easements, or which may obstruct or retard the flow of water through drainage channels. The easement area and drainage channels and all improvements, if any, in it shall be maintained continuously by the owner of the lot, except for those improvements for which a public authority or utility company is responsible.

19. Sewage Disposal. Each lot is supplied with access to public sewer. No individual sewage-disposal system shall be permitted on any lot.

20. Resubdivision. No lot shall be re-subdivided into building lots other than those shown on the recorded plats heretofore referred to.

21. Architectural Control. No building shall be erected, placed, or altered on any lot until the construction plans and specifications and a plan showing the location of the structure have been approved by the KELSAR CORPORATION as to quality of workmanship and materials, harmony of external design with existing structures, and as to location with respect to topography and finish grade elevation. Approval shall not be unreasonably withheld..

22. Enforcement. If any person or persons or any other legal entity shall violate any of the restrictions and covenants herein, it shall be lawful for any person, persons or other legal entities owning any lot or lots in this Subdivision to prosecute proceeding at law or in equity against the person, persons or legal entity violating or attempting to violate or planning to violate any such restriction and covenant, either to prevent him, them or it from so doing or to correct such violation or to recover damages or other relief for such violation. KELSAR CORPORATION may, but shall not be obligated to, nor shall any person seek to obligate same, prosecute proceedings to enforce these covenants. Invalidation of any one of these restrictions by court order or judgment shall in nowise affect any of the other provisions or parts of provisions hereof which shall remain in full force and effect.

IN WITNESS WHEREOF, the said KELSAR CORPORATION, by and through its President, Christopher C. Holt, has caused these presents to be signed, acknowledged and delivered in its name and behalf as the duly authorized officer of same this 6th day of February 1985, 1987.

KELSAR CORPORATION

By Christopher C. Holt
Christopher C. Holt, President

BK7632PG0053

STATE OF MAINE
CUMBERLAND, ss.

Date: *February 6, 1987*

Then personally appeared the above named Christopher C. Holt, President of the said KELSAR CORPORATION, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said KELSAR CORPORATION.

Anthony Holt

Anthony Holt, Attorney at Law

Exhibit A

BK 7632 PG 0054

Kelsar Corporation

One India Street
Portland, Maine 04101

January 13, 1987

Camela Barton
City Arborist
Portland Public Works Department
389 Congress Street
Portland, ME 04101

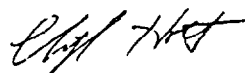
Re: Harrow Farm Estates Conservation Letter

Dear Ms. Barton,

This letter is submitted in accordance with Exhibit O to the Technical Supplement to the City of Portland Subdivision Ordinance.

The above-referenced subdivision plan contains a designated zone entitled "25' Buffer" for the conservation and preservation of existing tree and shrub growth. All trees or shrubs which are to be preserved shall be clearly marked by the Developer, Kelsar Corporation, and inspected by the City Arborist for preliminary acceptance prior to the onset of any construction. Fencing or other protective barriers shall surround these trees or shrubs near construction sites and shall be retained throughout the construction period. Grade changes shall not occur within the drip line of trees to be preserved. Changes in the normal drainage pattern shall be avoided. All trees marked for preservation are subject to continuous inspection throughout the construction period.

Sincerely,



Christopher Holt
President

jb

RECEIVED
RECORDED REGISTRY OF DEEDS

1987 FEB 11 PM 4:08

CUMBERLAND COUNTY

James J. Walsh

Developers (207) 773-5949

Soil type/Presumptive Load Value (Table 401.4.1) *CLAY / 6.0 PM / 0.25 MPa / 3600 PSI / 250 KPa / 17500 KPa*

Component Plan Reviewer Inspection/Date/Findings

STRUCTURAL
 Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)
 10" x 20" House
 10" x 16" GARAGE

Foundation/Drainage Dampproofing (Section 406)
 8" OR ~~10" OR~~ BITUMINOUS PIPE STONE
 4" PER FOOT STAIRS

Ventilation (Section 409.1) Crawls Space ONLY

Anchor Bolts/Straps (Section 403.1.4)
 BARS STAIN - 1/2" 6" O.C.

Lally Column Type, 4" Steel
 Spacing and footing sizes (Table 502.3.4(2))
 30" x 30" Generally

Built-Up Wood Center Girder
 Dimension/Type
 3 - 2x12's

Sill/Brand Joist Type & Dimensions NOT SHOWN

First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1)) 16" O.C.
 2x12's

Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))

NEED ON DETAIL ON OPEN FLOOR SYSTEM IN GARAGE
 11" TRUSS'S (REMARKS)

**75 Tide Mill Road
Work Specifications
9/16/02**

1. Roof System:

- h. 2"X10" rafters, 2"X12" ridge pole.
- b. Sheathing: 5/8" Advantek.
- h. Felt paper 15 lb.
- i. W.R. Grace Ice and Water Shield on all edges and any slope and all valleys, minimum 3' Cover full dormer (upper, lower and both sides of dormer) and "A" dormers.
- j. Fiberglass shingles: Owens Corning 25 year architectural self-sealing shingles (color TBD).
- k. Drip edge: 8" copper per allowance (2).
- g. Vents: 12"X18" Gable vents and also vented through the cupola.
- h. Fascia & rakes: Per plan.
- i. Soffit vent: Metal continuous.
- j. Soffit: #2 pined wood per plan.
- k. Gutters: 1.) Cover rear (driveway side) steps and extending the front length of the garage, and 2.) Cover rear side entrance extending the rear length of the garage. Wood or metal TBD.
- l. Diverter: Copper over the front door only per allowance (2).

2. Exterior Siding: 6" smooth pre-painted (with designated color) Cemplank (Fiber-cement Plank) clapboard with maximum exposure to weather not to exceed 4&1/2". Caulk between exposed joints.

3. Deck System – Basement, First Floor, Second Floor, Third Floor:

- a. Basement 4" concrete (3,000 psi) with fiber mesh.
- b. 3-1/2" columns steel, concrete filled per plan.
- c. Girders built up with three (3), 2"X12"s KD/SD spruce supported by beam pocket.
- d. Sills: 2"X6" pressure treated with sill seal.
- e. Joists: 2"X10" KD/SD spruce 16" O/C.
- f. Bridging: 1"X3" or solid.
- g. Deck: 3/4" T&G Advantek glued & ring shank nailed, Durarock will be installed in areas where ceramic tile will be laid which are the bathrooms, laundry room and rear entry way as per plan.
- n. Both stairs to basement: 2"X12" KD/SD stringers, pine handrail, 2"X10" KD/SD stair treads with 3/4" pine risers.
- o. Stairs from first to second floor: Natural Ash wood stairs with 3/4" poplar risers, at bottom of stairs 6'+/- open Natural Ash handrail with pine balusters.
- p. Second floor hall: 6'+/- lineal open Natural Ash rail with pine balusters and two Newell posts with rosette.
- q. Stairs from second to third floor: 2"X12" KD/SD stringers, pine handrail, 2"X10" KD/SD stair treads with 3/4" pine risers

- r. Third floor: Lay entire deck with $\frac{3}{4}$ " T&G Advantek glued and ring shank nailed.
- s. Open engineered floor joists (not an "I" joist) installed for living space above garage.

4. Exterior Walls:

- a. Shoe: Single 2" X 6" KD/SD spruce.
- b. Plate: Double 2" X 6" KD/SD spruce.
- c. Studs: 2" X 6" KD/SD spruce 16" O/C.
- d. Headers: 2"X8" KD/SD spruce except garage doors which are TBD on site.
- e. Sheathing: 1/2" Advantek.
- g. Interior walls: Shoe, plate, and wall: 2"X4", 16" O/C, solid 2"X8" headers for all openings.
- g. Interior wet walls: 2"X6", 16" O/C.
- h. Wind barrier: Typar or Tyvek.

Check ADDAN SHEATHING 3RD
 // Lower? SEE TABLE SUB

Attic or additional Floor Joist Species 503.3.1(1) & Table 503.3.2(1)	2x10's - Spacing?	
Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x10's 16" o.c. ROOF BEM FOR BEAMER?	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	Floors - 3/4" x 6" Roof - 1/2" x 12" x 7/16"	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))		
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside) Fire separation	90 min Door S/S Type R NO DOOR SPOGS NOT STAIN -	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	NOT STAIN -	
Egress Windows (Section 310)	NOT SPEC'S	
Roof Covering (Chapter 9)	#205 ASTH A2LT UNDER LAYMENT NOT STAIN.	
Safety Glazing (Section 308)	NEEDED NOT STAIN	
Attic Access (BOCA 1211.1)	NO STAIN	
Draft Stopping around chimney	NEED PLAN NOT STAIN	

Header Schedule	NOT STAIRS	
Type of Heating System	NOT STAIRS	
Stairs		
Number of Stairways	4	
Interior	4	
Exterior	1	
Treads and Risers (Section 314)	3/8 OR 5/8 7/8 X 10 WET	
Width	SCALED @ 36" WET	
Headroom	NOT STAIRS	
Guardrails and Handrails (Section 315)	NOT STAIRS	
Smoke Detectors Location and type/Interconnected	NO STAIRS OK STAIRS	
Plan Reviewer Signature		

See Chimney Summary Checklist

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

October 11, 2002

Michael Rogers
440 Forest Ave.
Portland, ME 04101

RE: 77 Tide Mill Road

CBL: 212 A 053001

Dear Mr. Rogers:

On October 10, 2002, the Portland Planning Authority granted permission for you to commence clearing and grubbing the wooded lot at 77 Tide Mill Road. The Planning Division has signed off on your application, and we understand that the Inspections Services Division is reviewing your building permit. No construction will be permitted until the building permit has been issued.

If there are any questions, please contact Jay Reynolds at 874-8632.

Sincerely,

Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Program Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
✓ Jodine Adams, Inspections
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File
Correspondence File

054927

QUITCLAIM DEED WITHOUT COVENANT
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS, that PEOPLES HERITAGE SAVINGS BANK, a Banking corporation organized and existing under the laws of the State of Maine and having a place of business at One Portland Square, in the County of Cumberland and State of Maine, for consideration paid, does hereby remise, release, bargain, sell, convey, and forever quitclaim to Robert E. Kurzius, of Naples, Florida, whose mailing address is 4451 Gulf Shore Blvd. North, #605, Naples, FL 33940, the land in Portland, County of Cumberland and State of Maine, described as follows:

A certain lot or parcel of land, with the buildings thereon, situated near the southerly side of Congress Street in the City of Portland, County of Cumberland and State of Maine, more particularly bounded and described as follows:

Beginning at an iron pipe set in the ground at the intersection of the southerly sideline of Congress Street and the southerly sideline of Garrison Street; thence from said point of beginning along the southerly sideline of said Garrison Street N 88° 50' 47" E a distance of three hundred sixty and two hundredths (360.02) feet to an iron pipe found at land now or formerly of Anderson; thence along land of said Anderson S 4° 21' 48" E a distance of three hundred two and seventy-four hundredths (302.74) feet to an iron pin found; thence along land of said Anderson N 81° 58' 12" E a distance of one hundred thirty-two (132.00) feet to a tree and iron pipe found at land now or formerly of Wilkinson; thence along land of said Wilkinson and land now or formerly of Allied Construction Co., Inc. S 28° 30' 49" E a distance of five hundred twenty-one and forty-seven hundredths (521.47) feet to an iron pipe found in stone at land now or formerly of Dingley; thence along land of said Dingley S 62° 31' 24" W a distance of nine and four hundredths (9.04) feet to an iron pipe found; thence along land of said Dingley, land now or formerly of Gardner, land now or formerly of Wilkinson and land now or formerly of Brown S 62° 03' 24" W a

0K9305PG0187

distance of four hundred twenty-three and two hundredths (423.02) feet to an iron pipe set in the ground at land conveyed to Christ Church of Portland by deed dated September 16, 1977, and recorded in the Cumberland County Registry of Deeds in Book 4104, Page 18; thence along said land of Christ Church of Portland N 30° 02' 37" W a distance of nine hundred eighty-nine and forty-three hundredths (989.43) feet to an iron pipe set in the ground at the southerly sideline of Congress Street; thence along the southerly sideline of said Congress Street N 55° 09' 47" E a distance of one hundred thirty-nine and fifty-one hundredths (139.51) feet to an iron pipe set in the ground and the point of beginning.

Excepting therefrom Lots 2, 3, 4, 7 and 16 of Stroudwater Hill subdivision, formerly known as Harrow Farm Estates as shown on Property Plan of Harrow Farm Estates Subdivision dated August 25, 1986 and recorded in said Registry of Deeds in Plan Book 160, Page 43.

Being Lots 1, 5, 6, 8, 9, 10, 11, 12, 13, 14, 15, 17, 18, and 19 of said Harrow Farm Estates, plus any interest of KMS Management Corp. in Tide Mill Road and any and all other common elements.

Reference is made to a mortgage deed to the Grantor herein from Kelsar Corporation dated December 16, 1986 and recorded in the Cumberland County Registry of Deeds in Book 7540, Page 1, for the breach of the conditions of which, Grantor exercised the Statutory Power of Sale contained in said Mortgage and held a duly noticed public sale on September 8, 1990. Grantee herein, being the highest bidder for the above-described property, is given this deed for the price bid and duly paid.

IN WITNESS WHEREOF, the said PEOPLES HERITAGE SAVINGS BANK has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Frederick G. Proctor, its Assistant Vice President, thereunto duly authorized, this 14 day of November 1990.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:



PEOPLES HERITAGE SAVINGS BANK

By: 

Frederick G. Proctor

Its: Assistant Vice President

I calculated the permit as follows:

* Site Plan Review	\$ 300	
* Basic Permit	30	
* Construction (\$7/\$1,000 of construction)	1,603	(\$7 X \$229)
* Certificate of Occupancy	<u>75</u>	
Total of enclosed check	\$2,008	

Interconnected hard wired smoke detectors with battery backup will be installed per code in the following locations: all four second floor bedrooms, second floor hall, first floor hall, attic and basement.

The heating system will consist of a cast iron oil-fired forced hot water boiler with fin tube baseboard and a four zone manifold thermostatically controlled system. The system will be designed to maintain a minimum ambient temperature of no less than 76 degrees F on a 0 degree day. There will be a sprinkler head over the boiler.

All windows are wood double hung with tilt out sashes. All bedrooms meet the code requirement of having a minimum of one egress window with a minimum net clear opening of 5.7 square feet. In fact, the vast majority of windows throughout the house have a glass size of 28"X28" and total clear opening of 5.93 SF.

Given the wooded density of the lot, I have not identified the trees to be kept, but at a minimum, two trees will be kept along the right front side of the lot as shown on the Property Plan. I will identify the trees that will remain when the excavator is ready to clear the lot.

Finally, a silt fence will be installed along the right property line and a vinyl fence will be installed (and retained throughout the construction period) in front of the 25' conservation area located in the rear of the property.

Please call should you have any questions. Thank you.

Very truly yours,



Michael C. Rogers

Enclosures