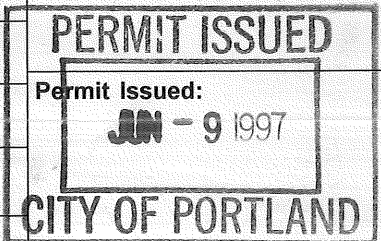


City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Tide Mill Rd (Lot #11) (7170)		Owner: Kufzida, Robert E. Libby		Phone: Rick	Permit No: 970559
Owner Address:		Lessee/Buyer's Name: Rick Libby		Phone:	BusinessName:
Contractor Name: Libby Drywall/Rick Libby		Address: 16 Tide Mill Rd Portland, ME 04102		Phone: 879-6377	
Past Use: Vacant Land		Proposed Use: 1-fam dwelling		COST OF WORK: \$ 138,000.00	PERMIT FEE: \$ 710.00
Proposed Project Description: Construct 1-fam dwelling		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group 193 Type: 5B BOCA 446 Signature: [Signature]	
		Signature:		Date:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:	
Permit Taken By: Mary Grenik		Date Applied For: 23 May 1997			



Zone: R-2 CBL: 212-A-052

Zoning Approval: [Signature]

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor imm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

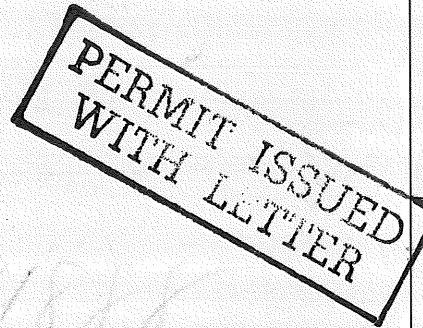
Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: [Signature]



1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

02 June 1997 - Permit Routed
23 May 1997

SIGNATURE OF APPLICANT: Rick Libby ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT 4

COMMENTS

6/13/97 foundation deep - footing in forms in place - Sethacks ok
 ok to pour. - new Structural plans submitted to P.S.A. today 6/13

6-20-97 Dave Vining on site

Pleasant Hill Electric - Gedaro, Jim to be plumbing contractor.

8-28-97 Framing inspection as per drawings submitted and stamped.

Plumbing test conducted on PVC and copper - holding ok.

Continuous Ridge vent w/ continuous soffits, bathrooms are vented through wall, typical. Owner/Builder considering asking for waiver on City (2) two designated / approved trees in front of house, as lot is still wooded w/ much natural vegetation.

9.24.97 Type X sheetrock to be added garage area under Meester/Office.
 Interior finishes being applied. Plumbing fixtures to be set.
 no cabinets (Kitchen) yet. Civil for vents directly to the outside.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Tide Mill Rd (Lot #11) (71?)		Owner: Kurzius, Robert E.		Phone:		Permit No: 970559	
Owner Address:		Buyer's Name: Rick Libby		Phone:		Business Name:	
Contractor Name: Libby Drywall/Rick Libby		Address: 16 Tide Mill Rd Ptd, ME 04102		Phone: 879-6377		Permit Issued: JAN-9 1997	
Past Use: Vacant Land		Proposed Use: 1-fam dwelling		COST OF WORK: \$ 138,000.00		PERMIT FEE: \$ 710.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group R3 Type 5B	
Proposed Project Description: Construct 1-fam dwelling		Signature:		Signature: <i>[Signature]</i>		Zone: R-2 CBL: 212-A-052	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 12/6/17</i> <input type="checkbox"/> Subdivision <i>zone C</i> <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 23 May 1997		Signature:		Date:	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

page Rick 851-4888

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

[Signature]
SIGNATURE OF APPLICANT Rick Libby ADDRESS: DATE: 02 June 1997 - Permit Routed 23 May 1997 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *6/2/97*

[Signature]

CEO DISTRICT **4**

A. Powers



CITY OF PORTLAND, MAINE
Department of Building Inspection

212-A-052

Certificate of Occupancy

LOCATION 71 Tide Mill Rd (Lot #11)

Issued to Rick Libby

Date of Issue 03 November 1997

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970559, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

11-3-97

(Date)

Amy Powers
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Amy Powers, Code Enforcement
FROM: Jim Wendel, Development Review Coordinator
DATE: October 31, 1997
RE: Request for Certificate of Occupancy
71 Tide Mill Road (lot 11)

On October 30, 1997 a review of the site was made for compliance with the approved site plan dated 6-2-97 and offer the following comments:

1. The house number needs to be placed on the house.
2. The cul-de-sac needs to be swept of tracked soil.
3. Confirmation from Public Works that they have the necessary as-built service data could not be established as of the above date. However the applicant indicated to me that Public Works personnel was on-site and had directed them to cut into the installed sewer service to install additional cleanouts.

It is my opinion that with the completion of items 1 and 2 above a **permanent Certificate of Occupancy could be issued** assuming code enforcement has no outstanding issues.

cc: Kandi Talbot, Planner
Nancy Knauber, Public Works

Applicant: Rick Libby

Date: 6/6/97

Address: 71 Tide Mill Rd (LT #11)

C-B-L: 212-A-52

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Now

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - New 1 fam. dwelling - with attached garage

Sewage Disposal - City

Lot Street Frontage - 50' req - 50' shown

Front Yard - 25' req - 25' + shown

Rear Yard - 25' req - 25' + shown

Side Yard - 14' req - 14' + shown

Projections - No decks shown

Width of Lot - 80' req - 110' shown

Height - 2 story

Lot Area - 10,000 sq ft req - 20,115 sq ft shown

Lot Coverage Impervious Surface - 20% max

Area per Family - 10,000 sq ft shown

Off-street Parking - 2 spaces req - 2 spaces shown

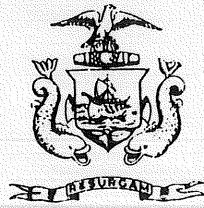
Loading Bays - N/A

Site Plan - minor / minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 12 of 17
Zone C

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 7, 1997

Libby Drywall / Rick Libby
16 Tide Mill Rd.
Portland, Me. 04102

RE: Tide Mill Rd. (Lot # 11) 212-A-052

Dear Sir:

Your application to construct a single family dwelling with attached garage has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal Laws.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL REQUIREMENTS OF THIS LETTER ARE MET.

Site Plan Review Requirements

Building Inspection: Conditions : Approved with conditions, see attached M. Schmuckal

Development Review Coordinator: Approved with conditions: See attached. J. Wendal

Building and Fire Code Requirements

1. Please read and implement items 1, 2, 5, 6, 7, 8, 9, 10, 11, 15, 20, 24, 25 & 26 of the attached building permit report.

Sincerely,

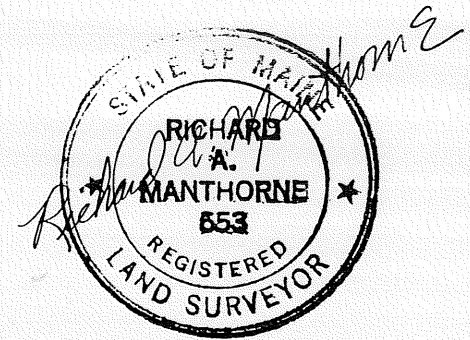
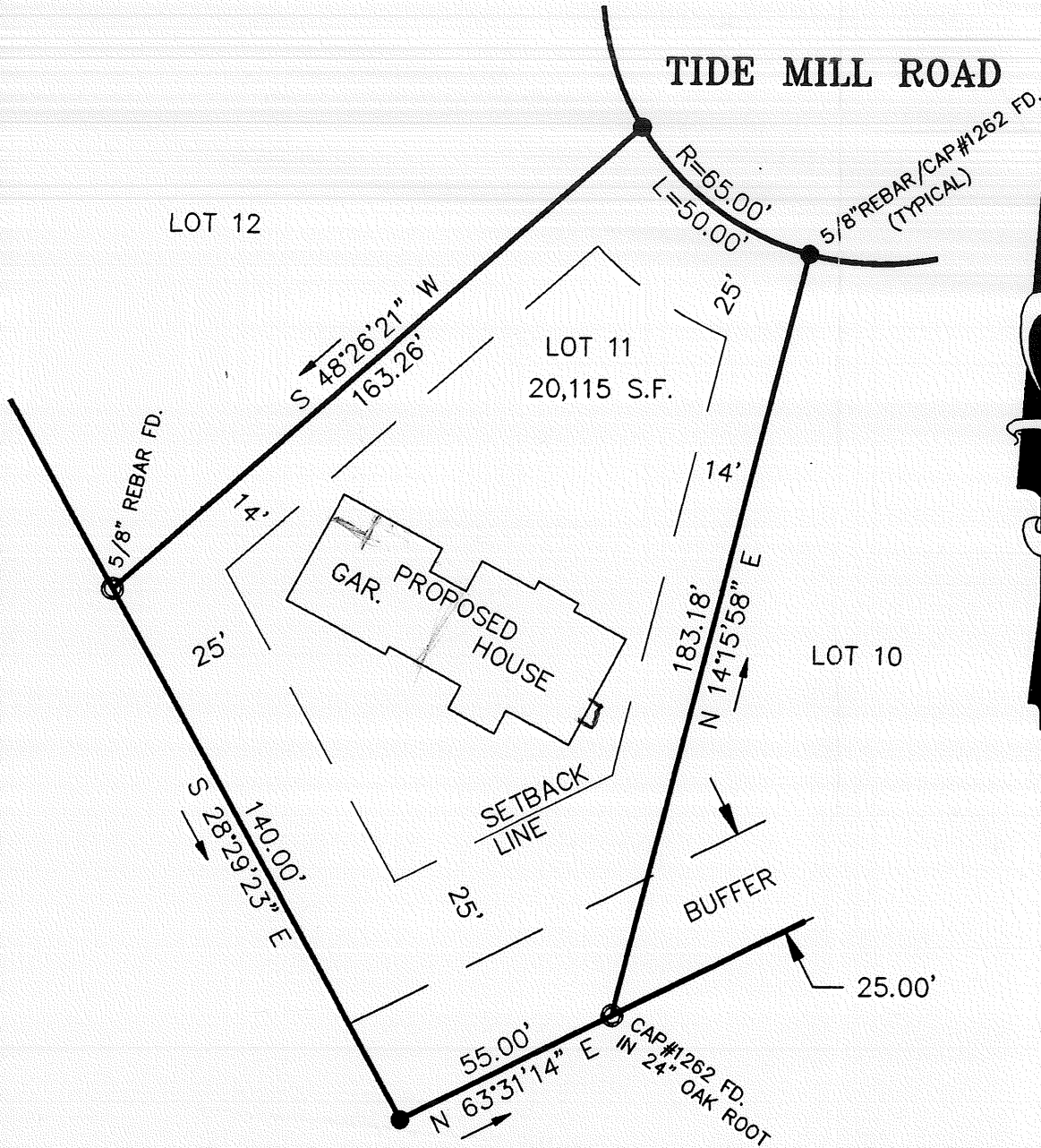

P. Samuel Hoffses
Chief Building Inspector

c: M. Schmuckal
J. Wendal

Tide Mill Rd (Lot #11)

NOTE:

THIS PLAN PREPARED FROM PLAN ENTITLED "HARROW FARM ESTATES" AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 160, PAGE 43.



RICHARD LIBBY
LOT 11
HARROW FARM ESTATES
TIDE MILL ROAD
PORTLAND, MAINE

SCALE: 1" = 40'

MAY 15, 1997

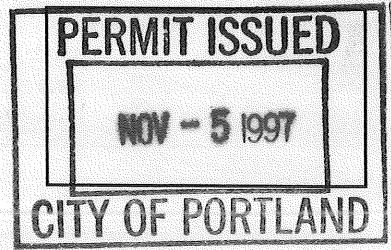
PREPARED BY:
RICHARD A. MANTHORNE, P.L.S.#653
52 COLUMBUS ROAD
CAPE ELIZABETH, MAINE 04107



FILL IN AND SIGN WITH INK

971197

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 71 Tidemill Rd Use of Building Home Date 10/31/97
 Name and address of owner of appliance Rick Libby
Tidemill Rd Portland Me
 Installer's name and address James Gedero
18 Fairway Dr Scarborough Me 04074 Telephone 885 5469

Location of appliance:

- Basement Floor
 Attic Roof

Type of Fuel:

- Gas Oil Solid

Appliance Name: Peerless

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # MS20004350
 Solid Fuel # _____
 Oil # _____
 Gas # _____
 Other _____

Type of Chimney:

- Masonry Lined
 Factory built _____
 Metal
 Factory Built U.L. Listing # _____
 Direct Vent
 Type _____ UL# _____

Type of Fuel Tank

- Oil
 Gas

Size of Tank 330 gal/bn

Number of Tanks 1

Distance from Tank to Center of Flame _____ feet.

Approved

Fire: [Signature]
 Ele.: [Signature]
 Bldg.: [Signature]

Approved with Conditions

- See attached letter or requirement

Cost of permit 3,000.00 / \$35.00

Signature of Installer _____

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970008
I. D. Number

Libby Drywall
Applicant
16 Tide Mill Rd, Portland, ME 04102
Applicant's Mailing Address
Rick Libby
Consultant/Agent
879-6377 **SAA**
Applicant or Agent Daytime Telephone, Fax

5/23/97
Application Date
Tide Mill Rd
Project Name/Description

Tide Mill Rd
Address of Proposed Site
212-A-052
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
 Proposed Building square Feet or # of Units _____ **20115** Acreage of Site _____ Zoning R-2

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$100.00** Date: _____

Inspections Approval Status: Reviewer **Marge Schmuckal**

Approved **Approved w/Conditions** see attached Denied

Approval Date **6/6/97** Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance Marge Schmuckal signature 6/6/97 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970008

I. D. Number

Libby Drywall

Applicant

16 Tide Mill Rd, Portland, ME 04102

Applicant's Mailing Address

Rick Libby

Consultant/Agent

879-6377 SAA

Applicant or Agent Daytime Telephone, Fax

5/23/97

Application Date

Tide Mill Rd

Project Name/Description

Tide Mill Rd

Address of Proposed Site

212-A-052

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 20115 Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$100.00 Date: _____

DRC Approval Status:

Reviewer Jim Wendel

Approved Approved w/Conditions see attache Denied
 Approval Date 6/2/97 Approval Expiration 6/2/98 Extension to _____ Additional Sheets Attached
 Condition Compliance Jim Wendel 6/2/97
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			

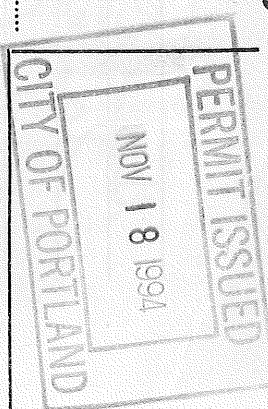


FILL IN AND SIGN WITH INK

941249

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine,



To the INSPECTOR OF BUILDINGS, PORTLAND, ME. 17 Nov 94

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 71 (Lot #2) Tide Mill Rd Use of Building 1-fam No. Stories 2 New Building Existing "
Name and address of owner of appliance Richard Libby
Installer's name and address Cricket Hill Oil Burner Service Telephone 883-6878
To install Forced Hot water heating system Oil Fired

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? No
If so, how protected? Kind of fuel? #2 Oil 4'
Minimum distance to burnable material, from top of appliance or casing top of furnace 4'
From top of smoke pipe 3' From front of appliance min 10' From sides or back of appliance 6'/10'
Size of chimney flue 8" Other connections to same flue No
If gas fired, how vented? Rated maximum demand per hour 200,000
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes 157N

IF OIL BURNER

Name and type of burner Burnham Labelled by underwriters' laboratories? Yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 6 to 7"
Location of oil storage basemetn Number and capacity of tanks 2- 330 gallon
Low water shut off Yes Make Superstore No. SS-46
Will all tanks be more than five feet from any flame? Yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Ray Doyer Cricket Hill
master Oil Burner 02944
Cost of Work: 4,000. 40.00
Amount of fee enclosed?

APPROVED:

Signature of Installer

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

- 1. 1/2" FILL PIPE
2. 1 1/4" VENT PIPE
3. Burner rigidity & support
4. Name & Label
5. Remote control
6. High limit control
7. Main cut-off switch
8. Low water control
9. High limit control
10. Piping support & protection
11. Valves in supply line
12. Capacity of tanks
13. Tank rigidity & support
14. Oil storage tank
15. Oil storage tank
16. Oil storage tank
17. Oil storage tank
18. Oil storage tank

INSPECTION FILE APPLICANT'S ASSESSOR'S COPY Signature of Installer Richard A. Lacey - for Ray Doyer

NOTES

Revised & over above next
located
Wash Complex 12/22/94

Permit No.

Location

Owner

Date of permit

Approved

- 1. 1/2" ALL PIPE
- 2. 1 1/4" VENT PIPE
- 3. Kind of heat & support
- 4. Burner rigidity & support
- 5. Name & label
- 6. Pressure control
- 7. High limit control
- 8. Main gas shut off
- 9. Low water control
- 10. High limit control & support
- 11. piping support & support
- 12. Valves in supply line
- 13. Capacity of tank
- 14. Tank rigidity & support
- 15. Oil gauge
- 16. Instruction card
- 17. Oil tanks ventilator
- 18. Adequacy to vent oil tank
- 19. Smokeproof surface
- 20. Treatment of surface



This safety alert symbol is used to attract your attention! **PERSONAL SAFETY IS INVOLVED!** When you see this symbol - **BECOME ALERT - HEED ITS MESSAGE.**



DANGER: A **DANGER** designates a condition where failure to follow instructions or heed warning will most likely result in serious personal injury or death or damage to structures.



CAUTION: A **CAUTION** identifies safe operating practices or indicates unsafe conditions that could result in personal injury or damage to structures.



WARNING: A **WARNING** describes a condition where failure to follow instructions could result in severe personal injury or damage to structures.

HIB-91 Summary Sheet

COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES ©



It is the responsibility of the installer (builder, building contractor, licensed contractor, erector or erection contractor) to properly receive, unload, store, handle, install and brace metal plate connected wood trusses to protect life and property. The installer must exercise the same high degree of safety awareness as with any other structural material. TPI does not intend these recommendations to be interpreted as superior to the project Architect's or Engineer's design specification for handling, installing and bracing wood trusses for a particular roof or floor. These recommendations are based upon the collective experience of leading technical personnel in the wood

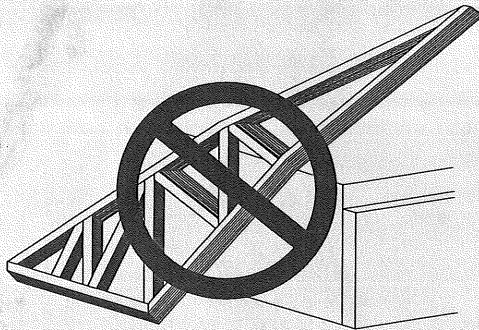
truss industry, but must, due to the nature of responsibilities involved, be presented as a guide for the use of a qualified building designer or installer. Thus, the Truss Plate Institute, Inc. expressly disclaims any responsibility for damages arising from the use, application or reliance on the recommendations and information contained herein by building designers, installers, and others. Copyright © by Truss Plate Institute, Inc. All rights reserved. This document or any part thereof must not be reproduced in any form without written permission of the publisher. Printed in the United States of America.



CAUTION: The builder, building contractor, licensed contractor, erector or erection contractor is advised to obtain and read the entire booklet "Commentary and Recommendations for Handling, Installing & Bracing Metal Plate Connected Wood Trusses, HIB-91" from the Truss Plate Institute.



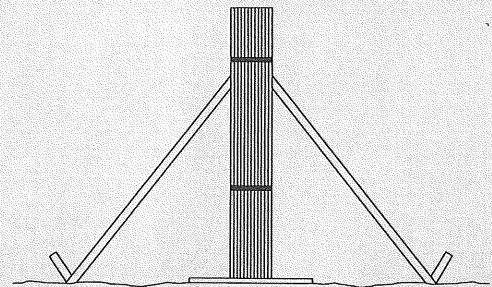
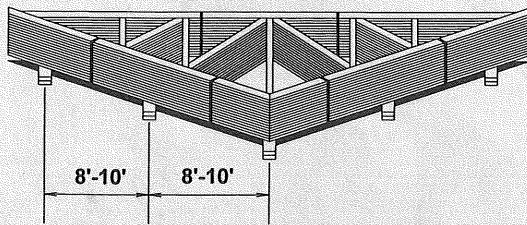
CAUTION: All temporary bracing should be no less than 2x4 grade marked lumber. All connections should be made with minimum of 2-16d nails. All trusses assumed 2' on-center or less. All multi-ply trusses should be connected together in accordance with design drawings prior to installation.



TRUSS STORAGE



CAUTION: Trusses should not be unloaded on rough terrain or uneven surfaces which could cause damage to the truss.



CAUTION: Trusses stored horizontally should be supported on blocking to prevent excessive lateral bending and lessen moisture gain.



CAUTION: Trusses stored vertically should be braced to prevent toppling or tipping.



WARNING: Do not break banding until installation begins. Care should be exercised in banding removal to avoid shifting of individual trusses.



DANGER: Do not store bundles upright unless properly braced. Do not break bands until bundles are placed in a stable horizontal position.



WARNING: Do not lift bundled trusses by the bands. Do not use damaged trusses.

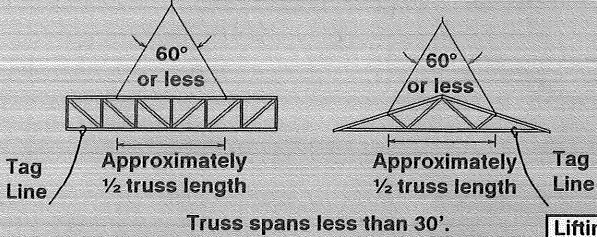


DANGER: Walking on trusses which are lying flat is extremely dangerous and should be strictly prohibited.

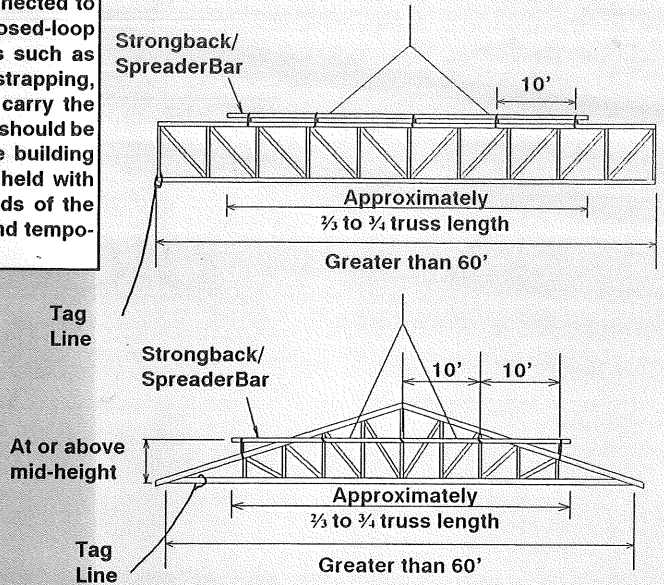
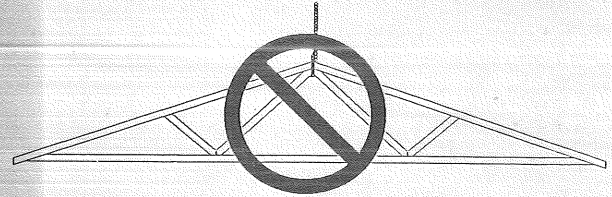
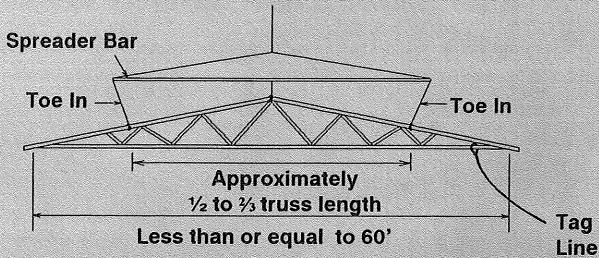
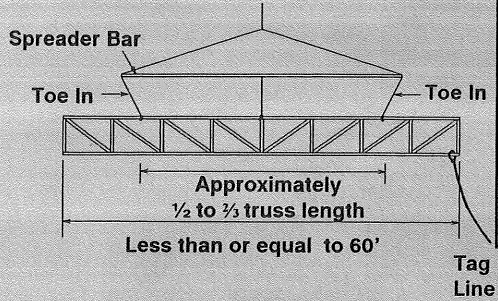
WARNING: Do not attach cables, chains, or hooks to the web members.

WARNING: Do not lift single trusses with spans greater than 30' by the peak.

MECHANICAL INSTALLATION



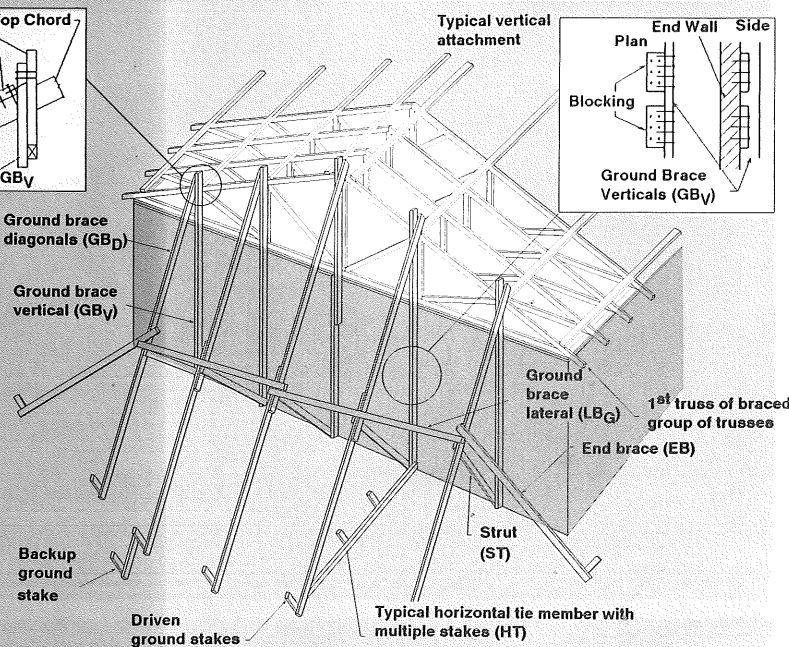
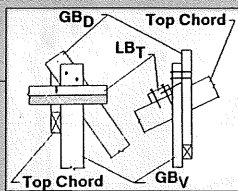
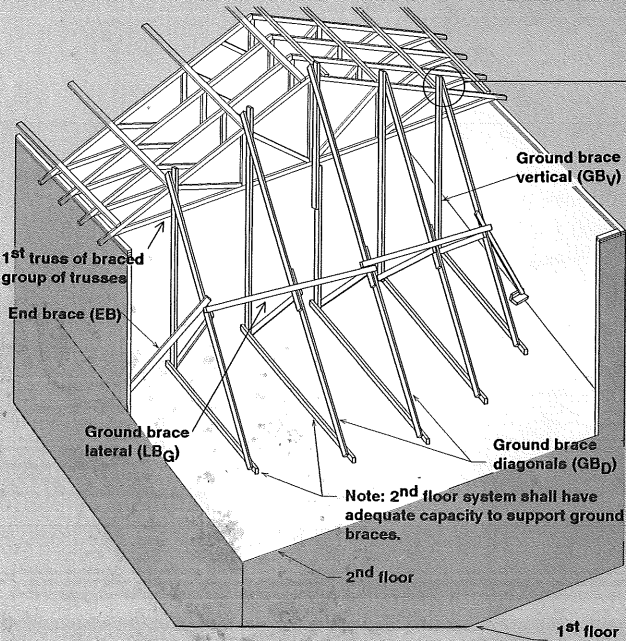
Lifting devices should be connected to the truss top chord with a closed-loop attachment utilizing materials such as slings, chains, cables, nylon strapping, etc. of sufficient strength to carry the weight of the truss. Each truss should be set in proper position per the building designer's framing plan and held with the lifting device until the ends of the truss are securely fastened and temporary bracing is installed.



CAUTION: Temporary bracing shown in this summary sheet is adequate for the installation of trusses with similar configurations. Consult a registered professional engineer if a different bracing arrangement is desired. The engineer may design bracing in accordance with TPI's *Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses, DSB-89*, and in some cases determine that a wider spacing is possible.

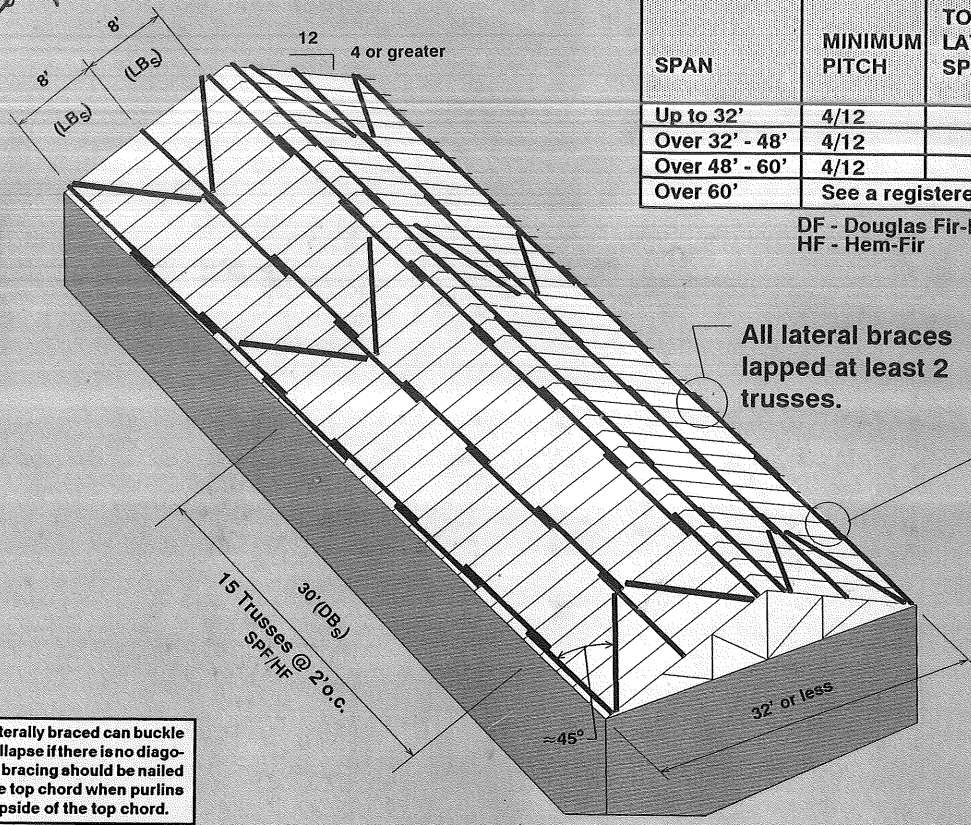
GROUND BRACING: BUILDING INTERIOR

GROUND BRACING: BUILDING EXTERIOR



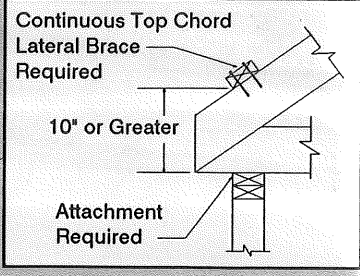
CAUTION: Ground bracing required for all installations.

1/16 T/16 m.71



SPAN	MINIMUM PITCH	TOP CHORD LATERAL BRACE SPACING(LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	4/12	8'	20	15
Over 32' - 48'	4/12	6'	10	7
Over 48' - 60'	4/12	5'	6	4
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir



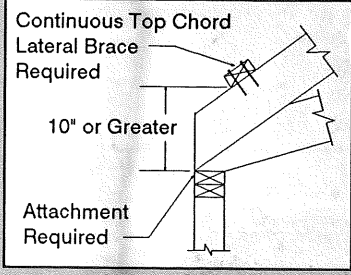
Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

PITCHED TRUSS

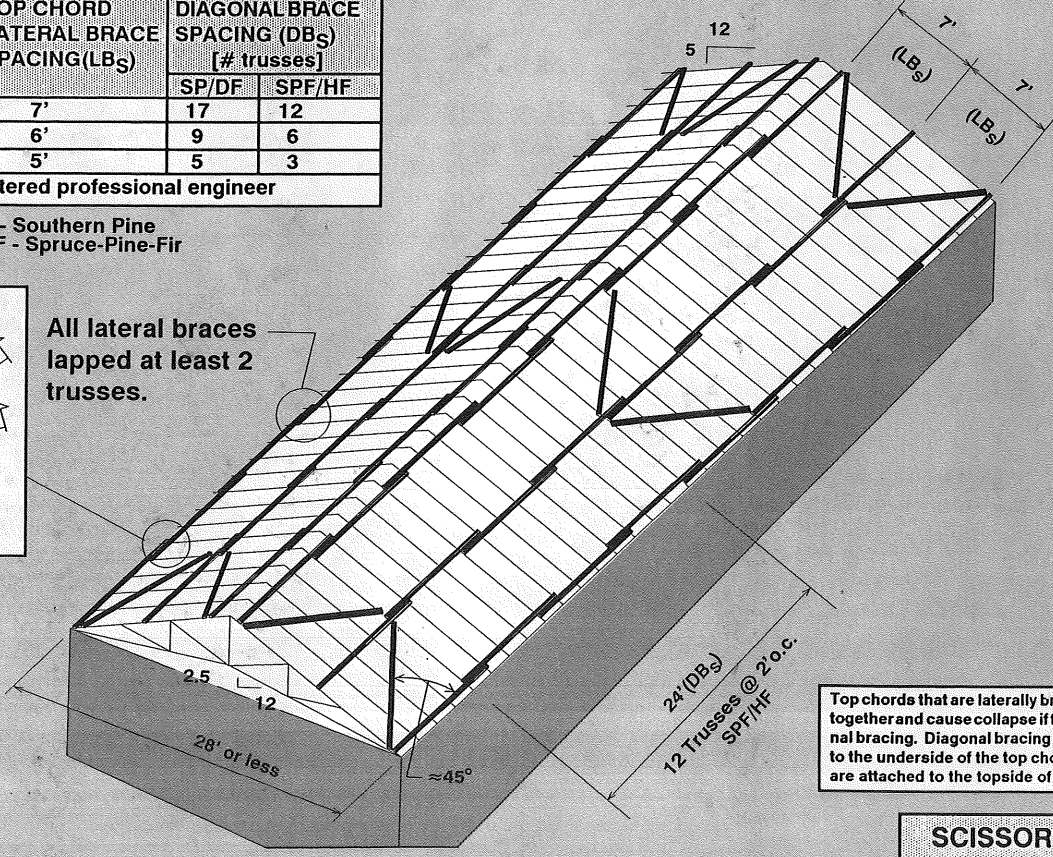
WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

SPAN	MINIMUM PITCH DIFFERENCE	TOP CHORD LATERAL BRACE SPACING(LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s) [# trusses]	
			SP/DF	SPF/HF
Up to 28'	2.5	7'	17	12
Over 28' - 42'	3.0	6'	9	6
Over 42' - 60'	3.0	5'	5	3
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir



All lateral braces lapped at least 2 trusses.



Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

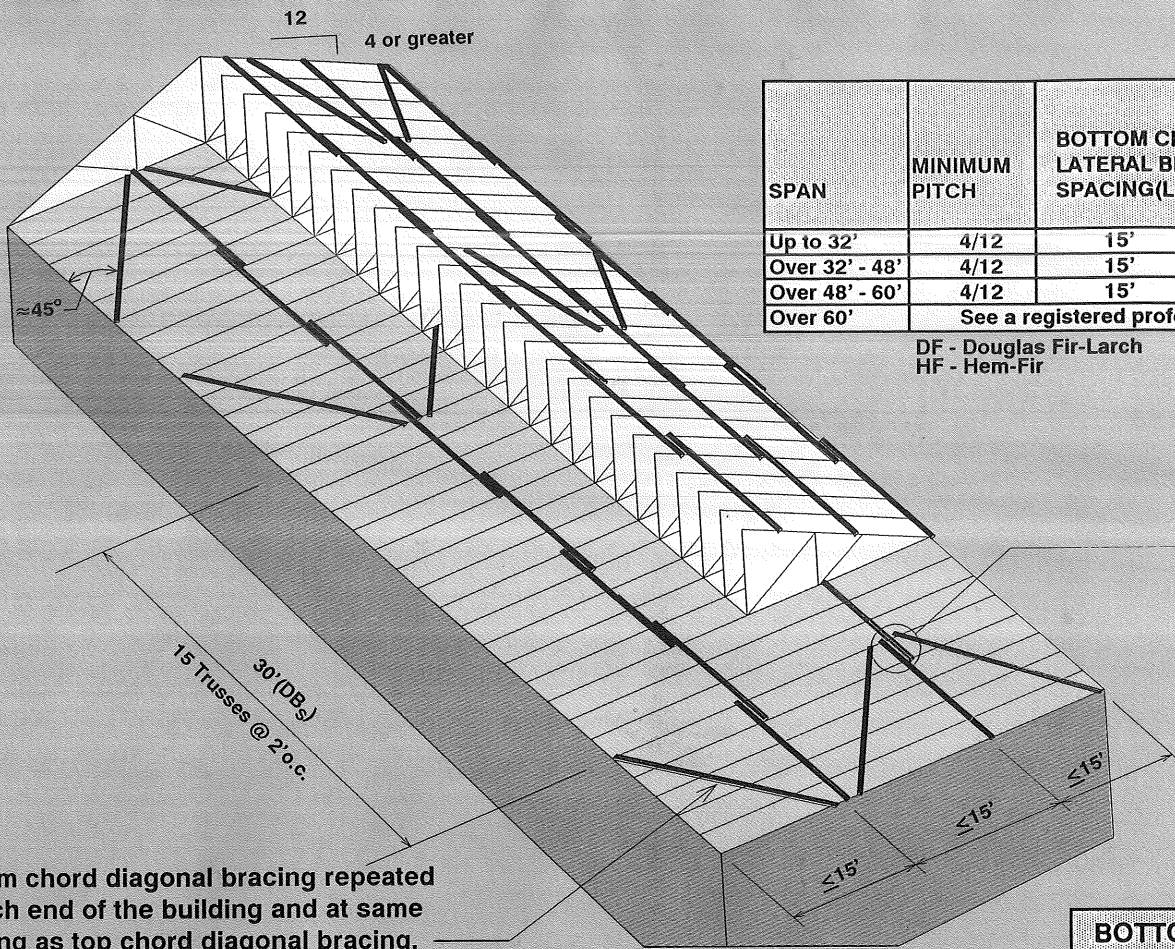
SCISSORS TRUSS

Frame 3

SPAN	MINIMUM PITCH	BOTTOM CHORD LATERAL BRACE SPACING (LB _S)	BOTTOM CHORD DIAGONAL BRACE SPACING (DB _S) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	4/12	15'	20	15
Over 32' - 48'	4/12	15'	10	7
Over 48' - 60'	4/12	15'	6	4
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch
HF - Hem-Fir

SP - Southern Pine
SPF - Spruce-Pine-Fir

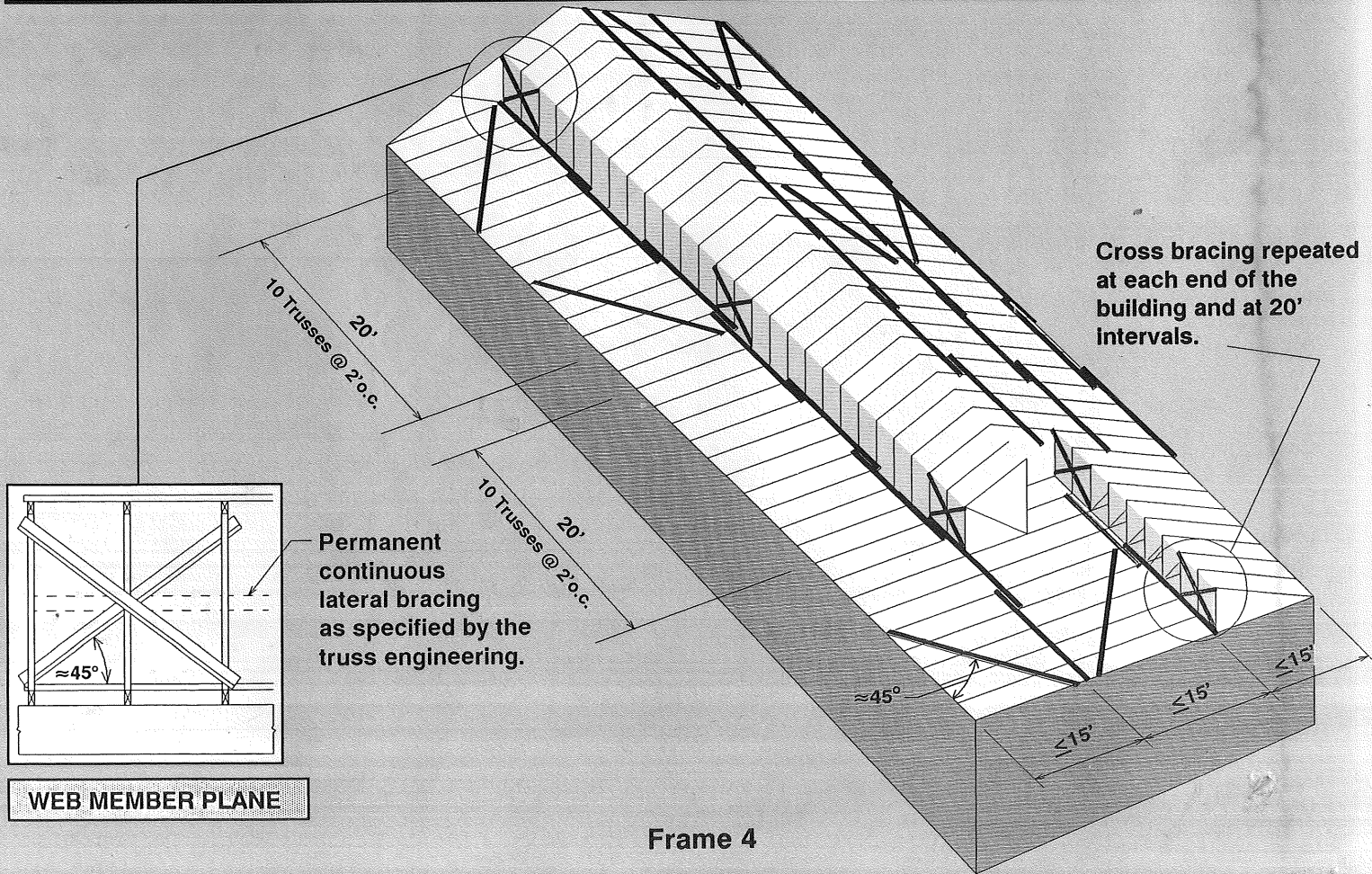


All lateral braces lapped at least 2 trusses.

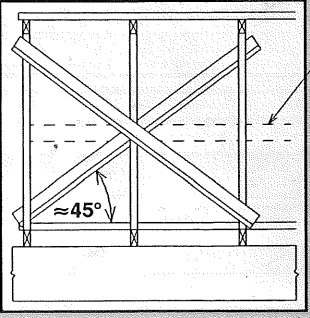
BOTTOM CHORD PLANE

Bottom chord diagonal bracing repeated at each end of the building and at same spacing as top chord diagonal bracing.

WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.



Cross bracing repeated at each end of the building and at 20' intervals.



Permanent continuous lateral bracing as specified by the truss engineering.

WEB MEMBER PLANE

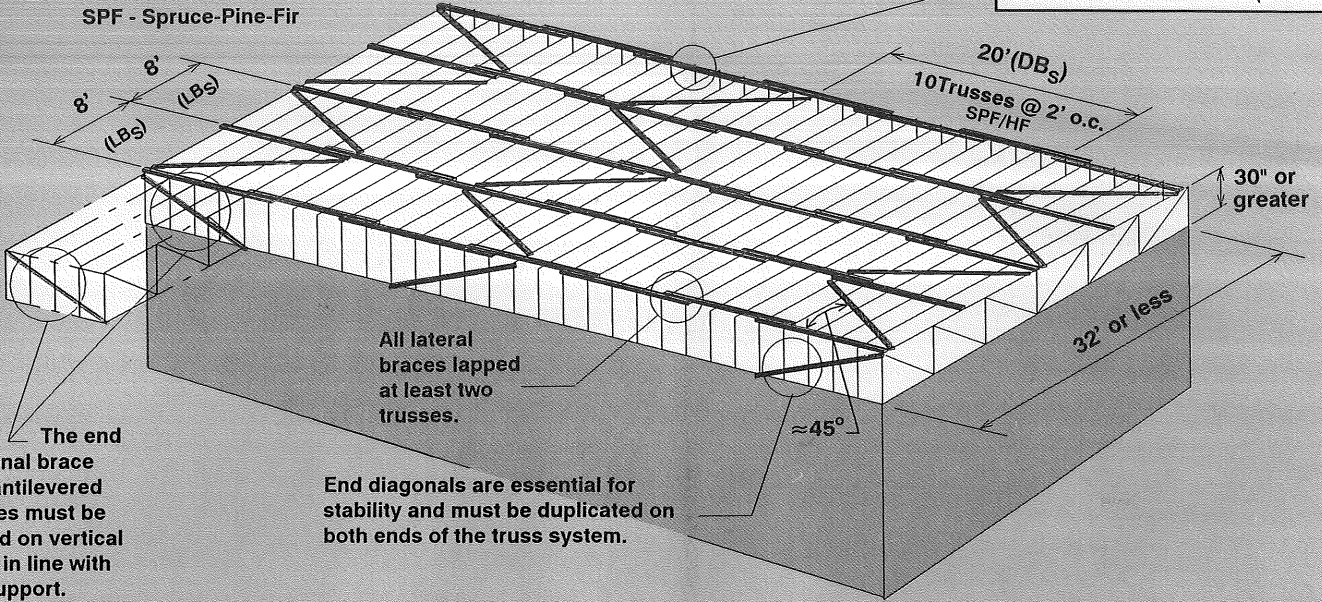
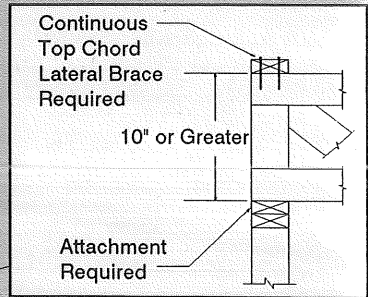
Frame 4

SPAN	MINIMUM DEPTH	TOP CHORD LATERAL BRACE SPACING (LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s)	
			[# trusses]	
			SP/DF	SPF/HF
Up to 32'	30"	8'	16	10
Over 32' - 48'	42"	6'	6	4
Over 48' - 60'	48"	5'	4	2
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch SP - Southern Pine
 HF - Hem-Fir SPF - Spruce-Pine-Fir

2x4/2x6 PARALLEL CHORD TRUSS

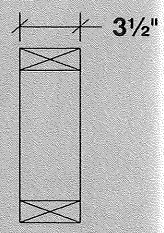
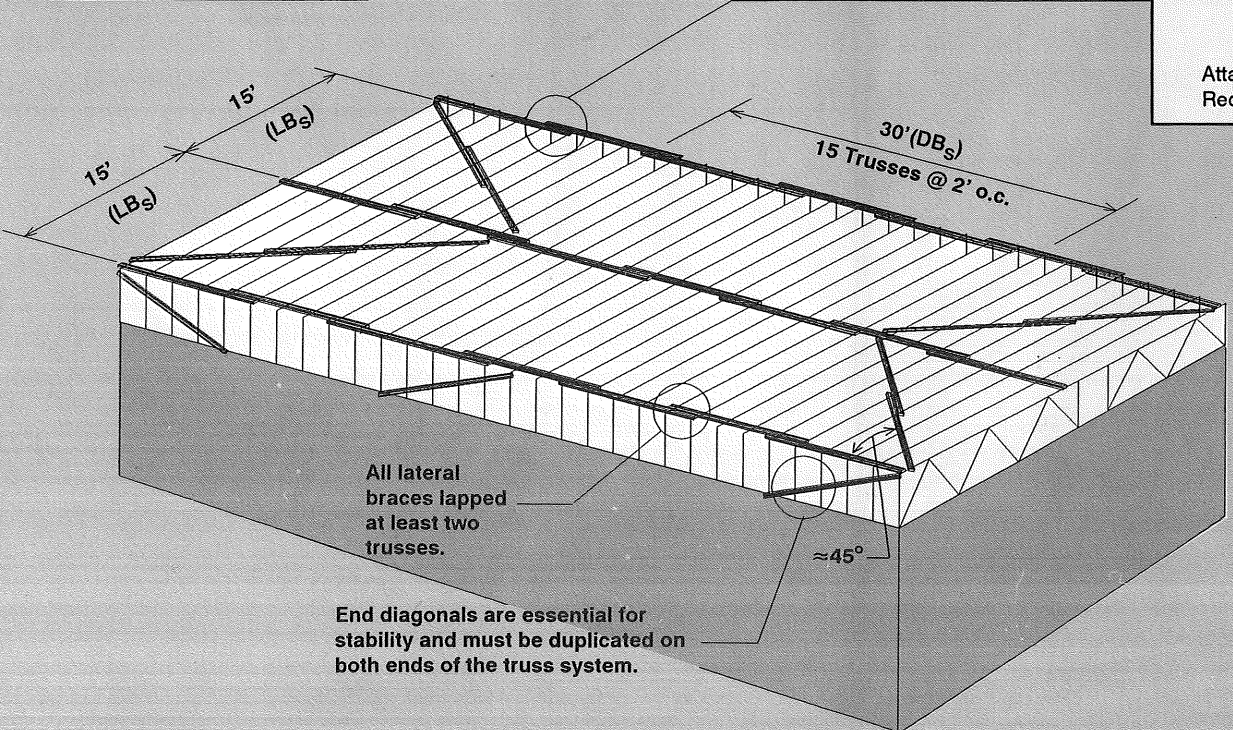
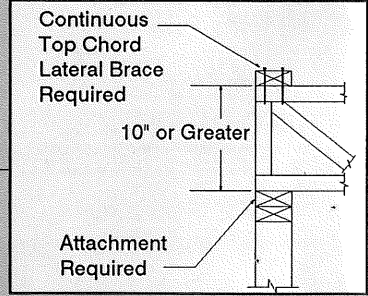
Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

4x2 PARALLEL CHORD TRUSS: TOP CHORD

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



Trusses must have lumber oriented in the horizontal direction to use this brace spacing.

SPAN	MINIMUM PITCH	TOP CHORD LATERAL BRACE SPACING (LB _S)	TOP CHORD DIAGONAL BRACE SPACING (DB _S) [# trusses]	
			SP/DF	SPF/HF
Up to 24'	3/12	8'	17	12
Over 24' - 42'	3/12	7'	10	6
Over 42' - 54'	3/12	6'	6	4
Over 54'	See a registered professional engineer			

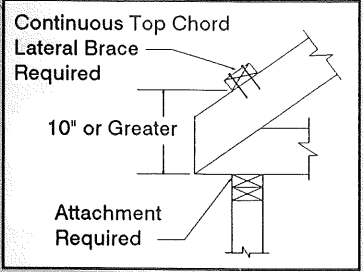
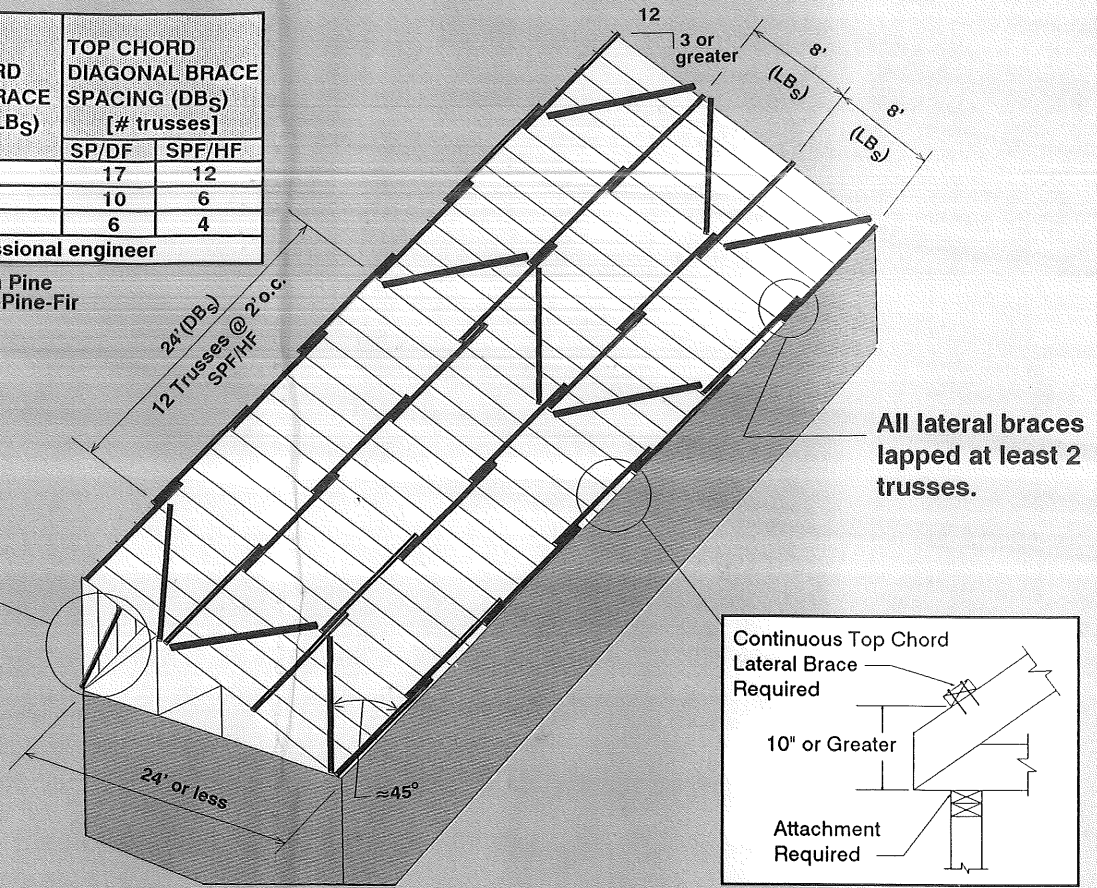
DF - Douglas Fir-Larch
HF - Hem-Fir

SP - Southern Pine
SPF - Spruce-Pine-Fir

Diagonal brace also required on end verticals.

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

MONO TRUSS

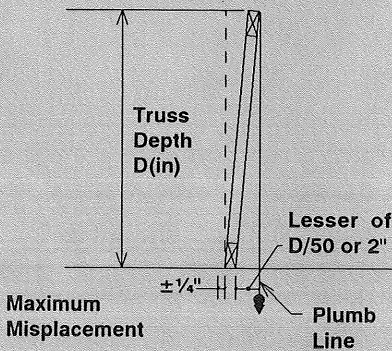


WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

INSTALLATION TOLERANCES

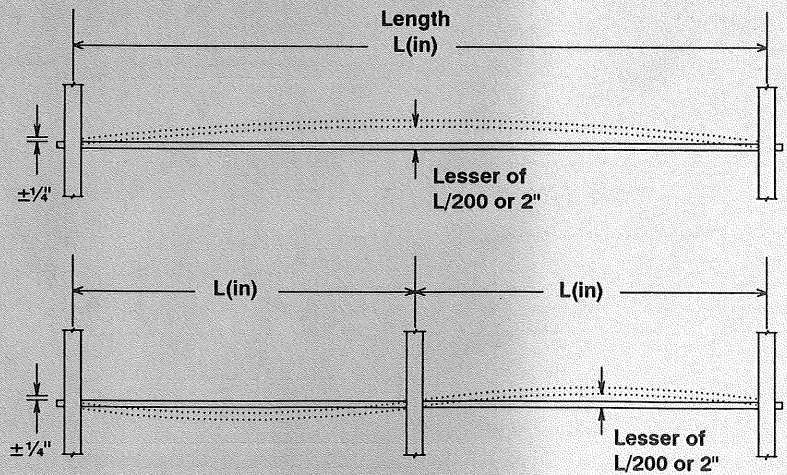
PLUMB

D(in)	D/50	D(ft)
12"	1/4"	1'
24"	1/2"	2'
36"	3/4"	3'
48"	1"	4'
60"	1-1/4"	5'
72"	1-1/2"	6'
84"	1-3/4"	7'
96"	2"	8'
108"	2"	9'



OUT-OF-PLUMB INSTALLATION TOLERANCES.

BOW



L(in)	L/200	L(ft)
50"	1/4"	4.2'
100"	1/2"	8.3'
150"	3/4"	12.5'

L(in)	L/200	L(ft)
200"	1"	16.7'
250"	1-1/4"	20.8'
300"	1-1/2"	25.0'

OUT-OF-PLANE INSTALLATION TOLERANCES.

WARNING: Do not cut trusses.

DANGER: Under no circumstances should construction loads of any description be placed on unbraced trusses.

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

19970008

I. D. Number

Libby Drywall
Applicant
16 Tide Mill Rd, Portland, ME 04102
Applicant's Mailing Address
Rick Libby
Consultant/Agent
879-6377 SAA
Applicant or Agent Daytime Telephone, Fax

5/23/97
Application Date
Tide Mill Rd
Project Name/Description

Tide Mill Rd
Address of Proposed Site
212-A-052
Assessor's Reference: Chart-Block-Lot

DRC Conditions for Approval

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size must be planted on your street frontage prior to issuance of a Certificate of Occupancy. *X trees walked*
3. The number for your street " Tide Mill Road " will be provided by the City and must be displayed on the street frontage of your house prior to issuance of a certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. PLEASE make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. PLEASE schedule any property closing with these requirements in mind.
5. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. ✓
6. As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy. ✓
7. The site contractor shall establish finish grades at the building foundation bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
8. The development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
9. Eroded soil shall be contained on site. Tide Mill Road shall be swept clean of tracked soil from vehicles as necessary. *11/3/97*

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
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Applicant or Agent Daytime Telephone, Fax

5/23/97

Application Date

Tide Mill Rd

Project Name/Description

Tide Mill Rd

Address of Proposed Site

212-A-052

Assessor's Reference: Chart-Block-Lot

Inspections Conditions for Approval

1. Separate permits shall be required for future decks and/or pool

BUILDING PERMIT REPORT

DATE: 6/June/97 ADDRESS: Tide Mill Rd (Lot # 11)

REASON FOR PERMIT: To Construct a single Family dwelling / attached garage.

BUILDING OWNER: Kurzius, Robert E.

CONTRACTOR: Libby Drywall / Rick Libby

PERMIT APPLICANT: _____ APPROVAL: X1, X2, X5, X6, X7, X8, X9, X10, X11, X15 ~~DENIED~~
X20, X24, X25, X26

CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
8. Headroom in habitable space is a minimum of 7'6".
9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
26. This permit is being issued with the understanding that a new set of plans must be submitted and approved by this office - This new set of plans must bear the seal of a Professional Architect or Structural Engineer - Your plans submitted have too many questions on steel beams spans and supports Lumber species and grade - Foundation work ONLY UNTIL this office receives these plans


P. Samuel Hoffes, Chief of Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal