



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 59 Tide Mill Road Lot #13

Issued to Robert & Barbara Kritzer Date of Issue 5-4-00

CBL 212-A-050

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 991308, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Single Family Dwelling w/attached
2 car Garage

APPROVED OCCUPANCY

Use Group R-3 Type 5-B
Boca 96

Limiting Conditions: Temporary Certificate of Occupancy

All requirements set forth in DeLuca-Hoffman memo dated 5/2/2000 must be completed by June 15, 2000.

This certificate supersedes
certificate issued

Approved:

5/4/00

(Date)

Inspector

Inspector of Buildings

MADE
05/08/00

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 59 Tide Mill Road Lot #13		Owner: Robert & Barbara Kritzer		Phone: 883-1465		Permit No: 991308	
Owner Address: 3 River Bend Land Scarborough		Lessee/Buyer's Name: N/A		Phone: N/A		Business Name: N/A	
Contractor Name: **Richard A. Libby		Address: 71 Tide Mill Road, Ptd, ME 04102		Phone: 879-6377		Permit Issued: NOV 29 1999	
Past Use: Vacant		Proposed Use: Ranch style home with 2 car garage.		COST OF WORK: \$ 173,600.00		PERMIT FEE: \$ 1,068	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A3 Type: S3 Signature: [Signature]	
Proposed Project Description: Ranch style home with attached 2 car garage. Unfinished rooms over the garage.				Signature:		Signature: [Signature]	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: K-2 CBL: 212-A-050	
Permit Taken By: UB		Date Applied For: 11-15-99		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> Imm <input type="checkbox"/>	
				Signature:		Date:	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

***Please Send to:
Richard Libby
71 Tide Mill Road
Portland, ME 04102

CERTIFICATION

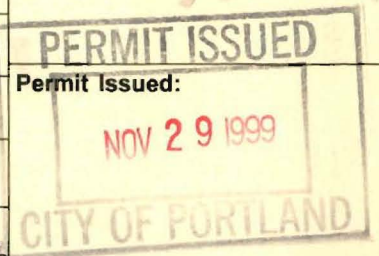
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

11-15-99

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

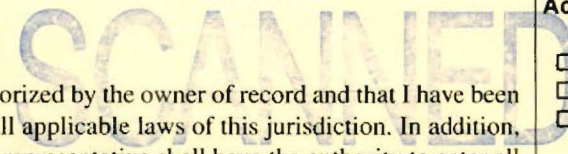


- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: _____



COMMENTS

12/1/99 Footing markers set by surveyor - have not put footing down yet - will check footing framing when complete. By MANUWO w / Tam M

12/16/99 - Foundation set - Rock in and damp proofing in - drains set to public system
Everything OK to FRAME. TAMM

~~12/27/99 - Framing -~~

03/06/00 - Framing inspection complete - status O/C - front porch will be graded to approximately 24 inches from surface - explained that if more than 18 inches above grade the porch area must be enclosed & handrails/guardrails on steps. No other discrepancies noted

5/4/00 Final: garage steps 18" to top, need handrail - corrected on site by Jim
→ Final complete, site work not complete. See DE-LUCA HOFFMAN memo dated 3/28/00

Inspection Record	
Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 16 NOV. 99 ADDRESS: 59 Tide Mill Road Lot #13 CBL: 212-A-054
REASON FOR PERMIT: Single Family Dwelling / garage
BUILDING OWNER: Robert & Barbara Kritzer
PERMIT APPLICANT: _____ (CONTRACTOR) Richard A. Libby
USE GROUP: R-3 CONSTRUCTION TYPE: 5-B CONSTRUCTION COST: \$173,600.00 PERMIT FEES: \$1,068.00

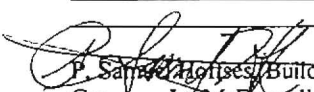
The City's Adopted Building Code (The BOCA National Building Code/1996 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *2, *3, *4, *5, *6, *8, *9, *11, *12, *15, *19, *26, *27, *28, *29, *32, *33, *34, #31

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
- *6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1.2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38"). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- *12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- *15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *see attached site plan/zoning conditions*
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- *33. Bridging shall comply with Section 2305.16.
- *34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
- 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).
- *36. The proposed steel beam shall be designed by a professional engineer or architect and the design submitted to this office for approval be installed.
- *37.


 P. Samuels, Building Inspector
 Cc: Ly. McLaughlin, PFD
 Marge Schmuckal, Zoning Administrator

PSH 10/25/99

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction. 59 TIDE MILL RD. PORTLAND - LOT # 13			
Total Square Footage of Proposed Structure 2180		Square Footage of Lot 18,173	
Tax Assessor's Chart, Block & Lot Number Chart# 212 Block# A Lot# 50		Owner: ROBERT BOB & BARBARA KRITZER	Telephone#: 883-1465
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: 3 RIVER BEND LANE SCARBOROUGH	Cost Of Work: \$ 173,600.00	Fee: \$ 1,068
Proposed Project Description:(Please be as specific as possible) 1-family + 300 sq SITE PLAN RANCH STYLE HOME W/ ATTACHED 2-CAR GARAGE. UNFINISHED ROOMS OVER GARAGE 1,368			
Contractor's Name, Address & Telephone * RICHARD A. LIBBY 71 TIDE MILL RD. PORTLAND 879-6377			Rec'd By: WJS

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

*831-4298 call
851-4888 page*

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan)includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow: Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum):
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building.
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours



4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Ma Amy	Date: 11/15/99
---------------------------------------	-----------------------

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.



FILL IN AND SIGN WITH INK

Area #3

000195

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

Single Family

*CBL ~~212-A-005~~
212-A-050*

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 59 Tide Mill Rd Use of Building Residence Date 3-14-00
Name and address of owner of appliance Robert Kurzius
59 Tide Mill Rd - Rd
Installer's name and address Caron + Waltz
391 Winslow St. So. Port Telephone 799-2228

Location of appliance:

- Basement
- Attic
- Floor
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: New Yorker

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # MS300005529
- Oil # _____
- Gas # _____
- Other _____

Type of Chimney:

- Masonry Lined
Factory built _____
- Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank

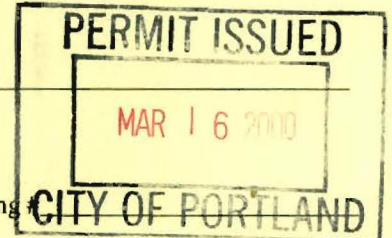
- Oil
- Gas

Size of Tank 275 gallons

Number of Tanks 2

Distance from Tank to Center of Flame 15' A feet.

fee - 30.00



Approved

Fire: _____
Ele.: _____
Bldg.: _____

Approved with Conditions

- See attached letter or requirement

Signature of Installer Robert E. Soucy

ELECTRICAL PERMIT

City of Portland, Me.

Done / JON #3
212-A-50
1 Family



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 12/23/99
 Permit # 03779
 CBL# _____

SITE LOCATION: 59 TIDEMILL RD. (LOT 13)

OWNER ROBERT KRITZER TENANT NA

		TOTAL EACH FEE						
OUTLETS	Receptacles	30	Switches		Smoke Detectors		.20	10.00
FIXTURES	incandescent	20	fluorescent	5	Strips		.20	4.50
SERVICES	Overhead		Underground	✓	TTL AMPS	<800	15.00	15.00
	Overhead		Underground			>800	25.00	
Temporary Service	Overhead		Underground		TTL AMPS		25.00	
							25.00	
METERS	(number of)	1					1.00	1.00
MOTORS	(number of)						2.00	
RESID/COM	Electric units						1.00	
HEATING	oil/gas units		Interior		Exterior		5.00	
APPLIANCES	Ranges		Cook Tops	✓	Wall Ovens	1	2.00	4.00
	Insta-Hot		Water heaters		Fans		2.00	
	Dryers	1	Disposals	1	Dishwasher	1	2.00	6.00
	Compactors	1	Spa		Washing Machine	1	2.00	4.00
	Others (denote)						2.00	
MISC. (number of)	Air Cond/win						3.00	
	Air Cond/cent				Pools		10.00	
	HVAC		EMS		Thermostat		5.00	
	Signs						10.00	
	Alarms/res						5.00	
	Alarms/com						15.00	
	Heavy Duty(CRKT)						2.00	
	Circus/Carnv						25.00	
	Alterations						5.00	
	Fire Repairs						15.00	
E Lights						1.00		
E Generators						20.00		
PANELS	Service		Remote		Main		4.00	
	TRANSFORMER	0-25 Kva					5.00	
		25-200 Kva					8.00	
	Over 200 Kva					10.00		
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL	35.00	
						MINIMUM FEE	25.00	

INSPECTION: Will be ready 8:30 AM or will call _____

CONTRACTORS NAME C.A. LIBBY Electric MASTER LIC. # 03779
 ADDRESS 36 Snowberry Dr. So. Portland, Me. LIMITED LIC. # _____
 TELEPHONE 799-0433 CT106

SIGNATURE OF CONTRACTOR Craig Libby

PLUMBING APPLICATION

Department of Human Sciences
Division of Health Engineering

Single Family
212-A-050

Area 3
240

PROPERTY ADDRESS

Town or Plantation

Portland

Street Subdivision Lot #

59 Tide Mill Rd

PROPERTY OWNERS NAME

Last: *Kuznis* First: *Robert*

Applicant Name:

James Cedaro

Mailing Address of Owner/Applicant (If Different)

28 Tenney Ln Sab

PORTLAND 7198 TOWN COPY

Date Permit Issued: 03.15.00 \$ 184.00 If Double Fee Charged

[Signature] Local Plumbing Inspector Signature L.P.I. # 011214

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant

Date

3-15-00

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

- 1. NEW PLUMBING
- 2. RELOCATED PLUMBING

Type of Structure To Be Served:

- 1. SINGLE FAMILY DWELLING
- 2. MODULAR OR MOBILE HOME
- 3. MULTIPLE FAMILY DWELLING
- 4. OTHER - SPECIFY _____

Plumbing To Be Installed By:

- 1. MASTER PLUMBER
 - 2. OIL BURNERMAN
 - 3. MFG'D. HOUSING DEALER/MECHANIC
 - 4. PUBLIC UTILITY EMPLOYEE
 - 5. PROPERTY OWNER
- LICENSE # 17637

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Number	Type of Fixture	Column 1 Number	Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system.	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	1	Sink
		Drinking Fountain	3	Wash Basin
		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
		Bidet		Laundry Tub
OR <input type="checkbox"/> TRANSFER FEE [\$6.00]		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2	12	Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
			2	Fixtures (Subtotal) Column 2
			14	Total Fixtures
			84.00	Fixture Fee
			20.00	Transfer Fee
				Hook-Up & Relocation Fee
			104.00	Permit Fee (Total)

total