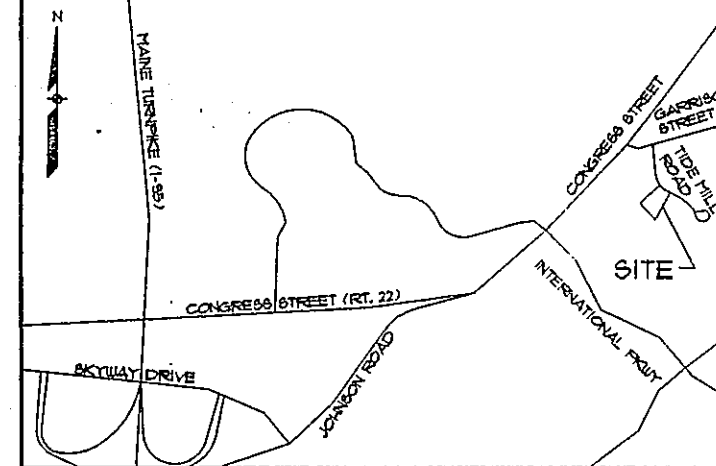


LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
C1/L1	CURVE/LINE NO.	---
	BENCHMARK	---
	BUILDING	
	EDGE PAVEMENT	
	CURBLIN	
	TREELINE	
--122--	CONTOURS	---124---
x30.20	SPOT GRADE	+ 30.20
	RETAINING WALL	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
W	WATER	
	WATER GATE VALVE	
	WATER SHUT OFF	
	HYDRANT	
S	SEWER	
	SEWER MH	
SD	STORM DRAIN	
	CATCH BASIN	
	DRAINAGE MH	
UGU	UNDERGROUND UTILITY	
	TRANSFORMER PAD	
	LIGHT POLE/WALL	

GENERAL NOTES

- THE RECORD OWNERS OF THE PARCEL ARE ERIC AND KRISTINE DAWSON BY DEED DATED DECEMBER 2, 2009 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 21436 PAGE 63.
- THE PROPERTY IS SHOWN AS LOT 49 WITHIN BLOCK A ON THE CITY OF PORTLAND TAX MAP 212 AND IS LOCATED IN THE R-2 RESIDENTIAL ZONE.
- SPACE AND BULK CRITERIA FOR THE R-2 ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE: 10,000 SF.
 MINIMUM STREET FRONTAGE: 50 FEET
 MINIMUM FRONT YARD: 25 FEET
 MINIMUM SIDE YARD: 16 FEET (2.5 STORIES)
 MINIMUM REAR YARD: 25 FEET
 MAXIMUM BUILDING HEIGHT: 35 FEET
 MAXIMUM BUILDING COVERAGE: 20%
 * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION
- TOTAL AREA OF PARCEL IS APPROXIMATELY 21,383 SQUARE FEET.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED SOLELY UPON PLAN REFERENCE A AND FOUND MONUMENTATION (BEARINGS HAVE BEEN ROTATED TO GRID NORTH, SEE NOTE 1). TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN DECEMBER OF 2012.
- PLAN REFERENCES:
 A. SUBDIVISION PLAN OF HARROW FARM ESTATES FOR KELSAR CORPORATION BY R. P. TITCOMB ASSOCIATES, INC., DATED AUGUST 25, 1986 AND RECORDED IN THE CCRD IN PLAN BOOK 160 PAGE 43.
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE NGVD29, BASED ON DUAL FREQUENCY GPS OBSERVATIONS AND VERTCON CONVERSION.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., VERIZON TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
- TOTAL DEVELOPED AREA ASSOCIATED WITH LOT IMPROVEMENT IS APPROXIMATELY 20,000 SQUARE FEET.
- TOTAL PAVED AREA ASSOCIATED WITH LOT IMPROVEMENT IS APPROXIMATELY 2,350 SQUARE FEET.
- SOILS ON THE PROPERTY ARE GENERALLY BELGRADE SERIES VERY FINE SANDY LOAM AS CLASSIFIED BY THE USDA/NRCS MEDIUM INTENSITY SOIL SURVEY OF CUMBERLAND COUNTY.
- THE LOT OWNER SHALL BE RESPONSIBLE FOR PLANTING A MINIMUM OF TWO (2) STREET TREES ON THE PROPERTY AS REQUIRED UNDER SECTION 14-499 OF THE CITY OF PORTLAND LAND USE ORDINANCE. THE SPECIES AND LOCATION OF SAID TREES MAY DIFFER FROM WHAT IS SHOWN ON THIS PLAN SET, BUT SHALL BE IN CONFORMANCE WITH THE "STANDARDS FOR LANDSCAPING AND LANDSCAPE PRESERVATION" CONTAINED IN THE CITY OF PORTLAND TECHNICAL MANUAL AND MUST BE APPROVED BY THE CITY ARBORIST.



LOCATION MAP

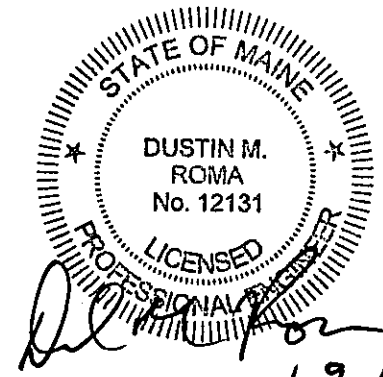
SHEET INDEX

- COVER SHEET (NOTES, LEGEND, LOCATION MAP)
- EXISTING CONDITIONS PLAN
- SITE PLAN
- GRADING/UTILITY PLAN

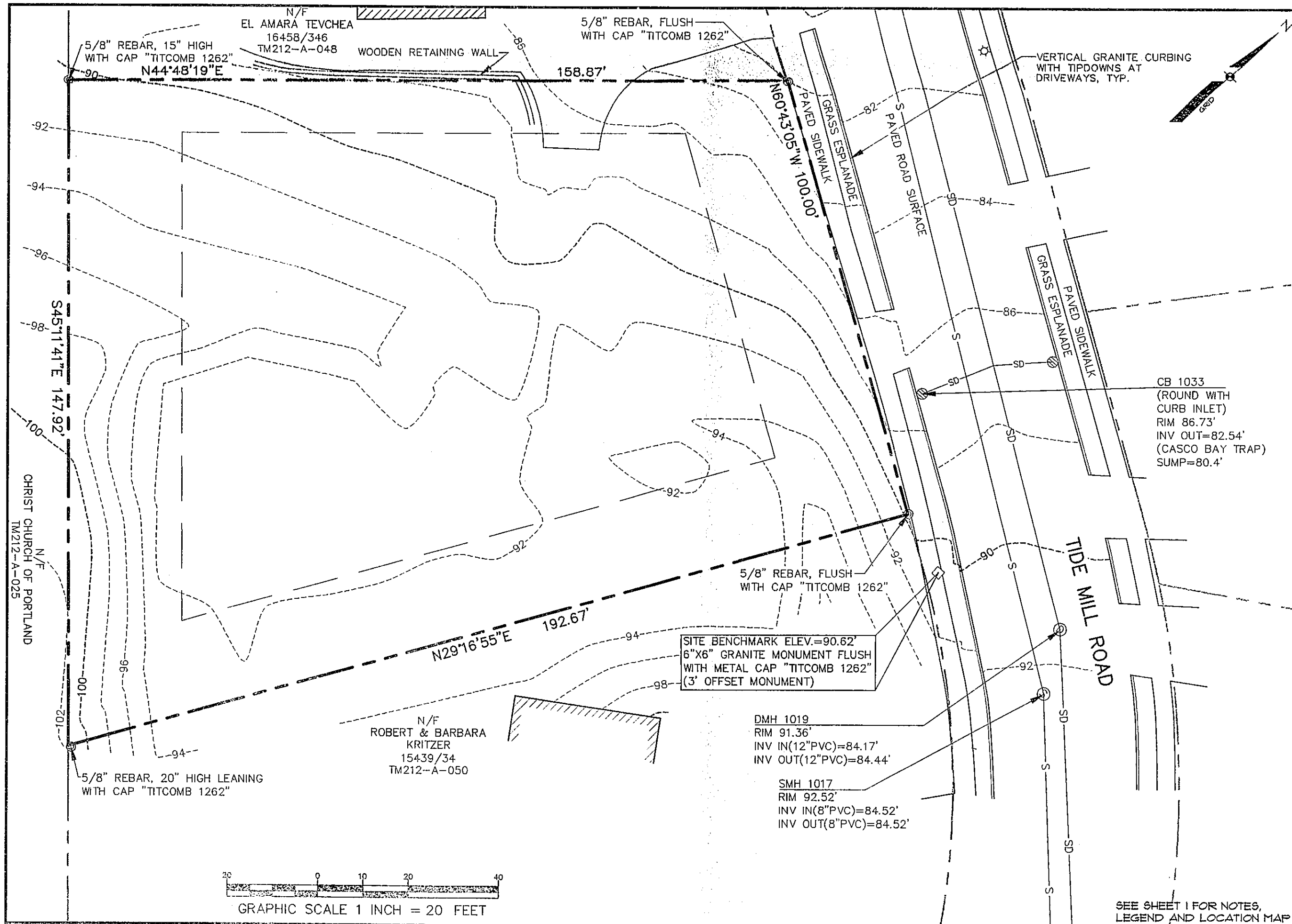
Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, ME 04098-1339
 Tel (207) 866-0277
 250 Goddard Road - Suite B
 Lewiston, ME 04240
 Tel (207) 783-6666
 WWW.SEBAGOTECHNICS.COM

RECORD OWNER:
 ERIC & KRISTINE DAWSON
 45 TIDE MILL RD
 PORTLAND, MAINE 04101

COVER SHEET OF:
DAWSON PROPERTY
 45 TIDE MILL ROAD
 PORTLAND, MAINE
 FOR:
CLOUTIER CONSTRUCTION INC.
 49 EASTMAN ROAD
 CAPE ELIZABETH, MAINE 04107



DESIGN BY:	DMR
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	1/9/12
SCALE:	1"=20'
FIELD BK:	772A
PROJ. NO:	11360
DWG:	11360S(COVER)
SHEET 1 OF 4	

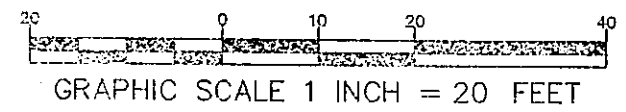


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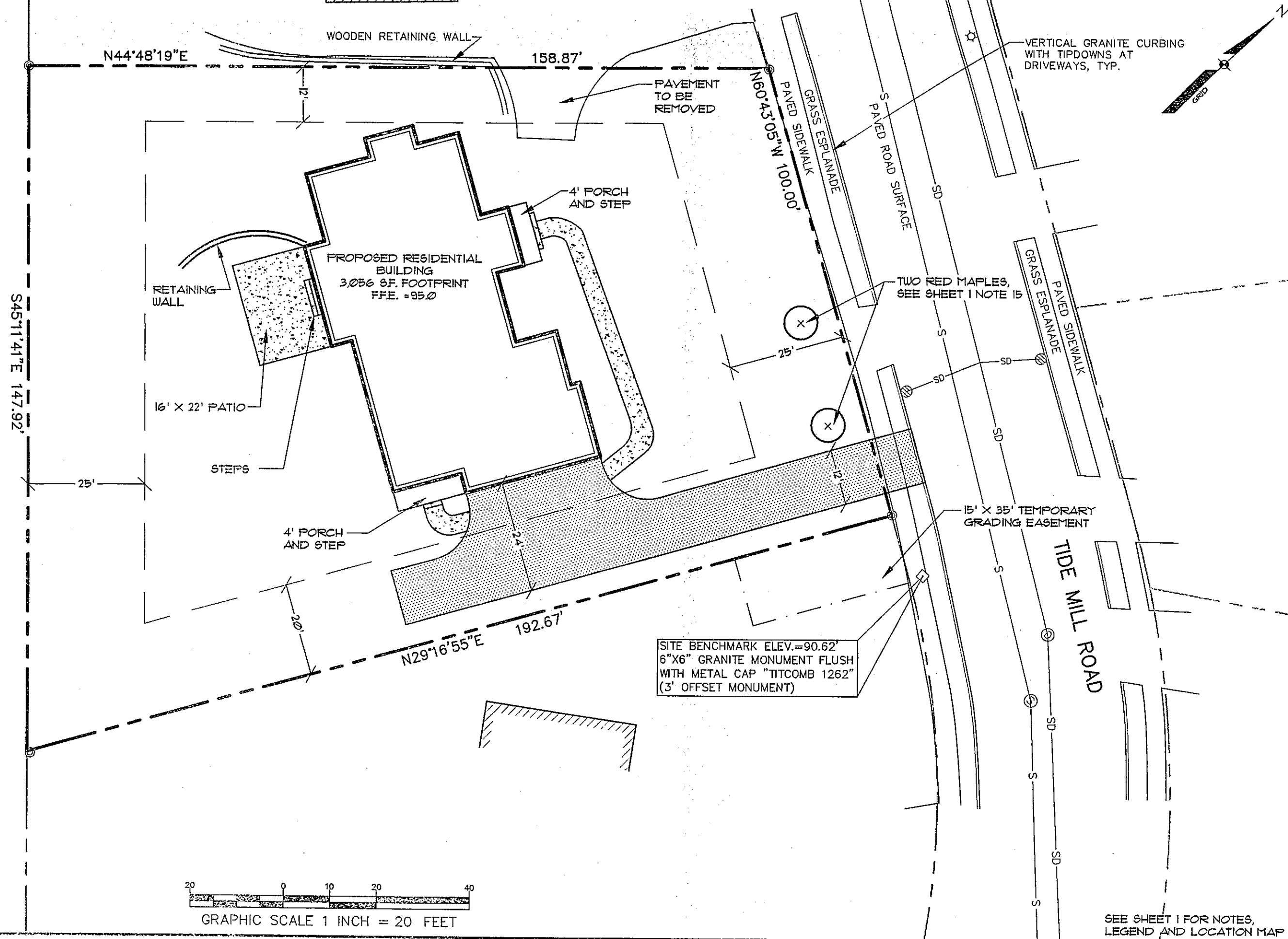
EXISTING CONDITIONS PLAN
 OF: **DAWSON PROPERTY**
 45 TIDE MILL ROAD
 PORTLAND, MAINE
 FOR: **CLOUTIER CONSTRUCTION INC.**
 49 EASTMAN ROAD
 CAPE ELIZABETH, MAINE 04107

DESIGN BY:	DMR
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	1/9/12
SCALE:	1"=20'
FIELD BK:	772A
PROJ. NO:	11360
DWG:	11360S(EC)

SHEET 2 OF 4



SEE SHEET 1 FOR NOTES,
 LEGEND AND LOCATION MAP

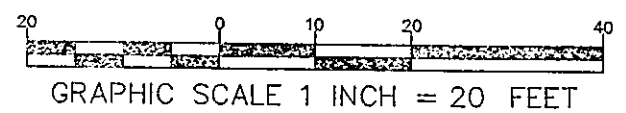


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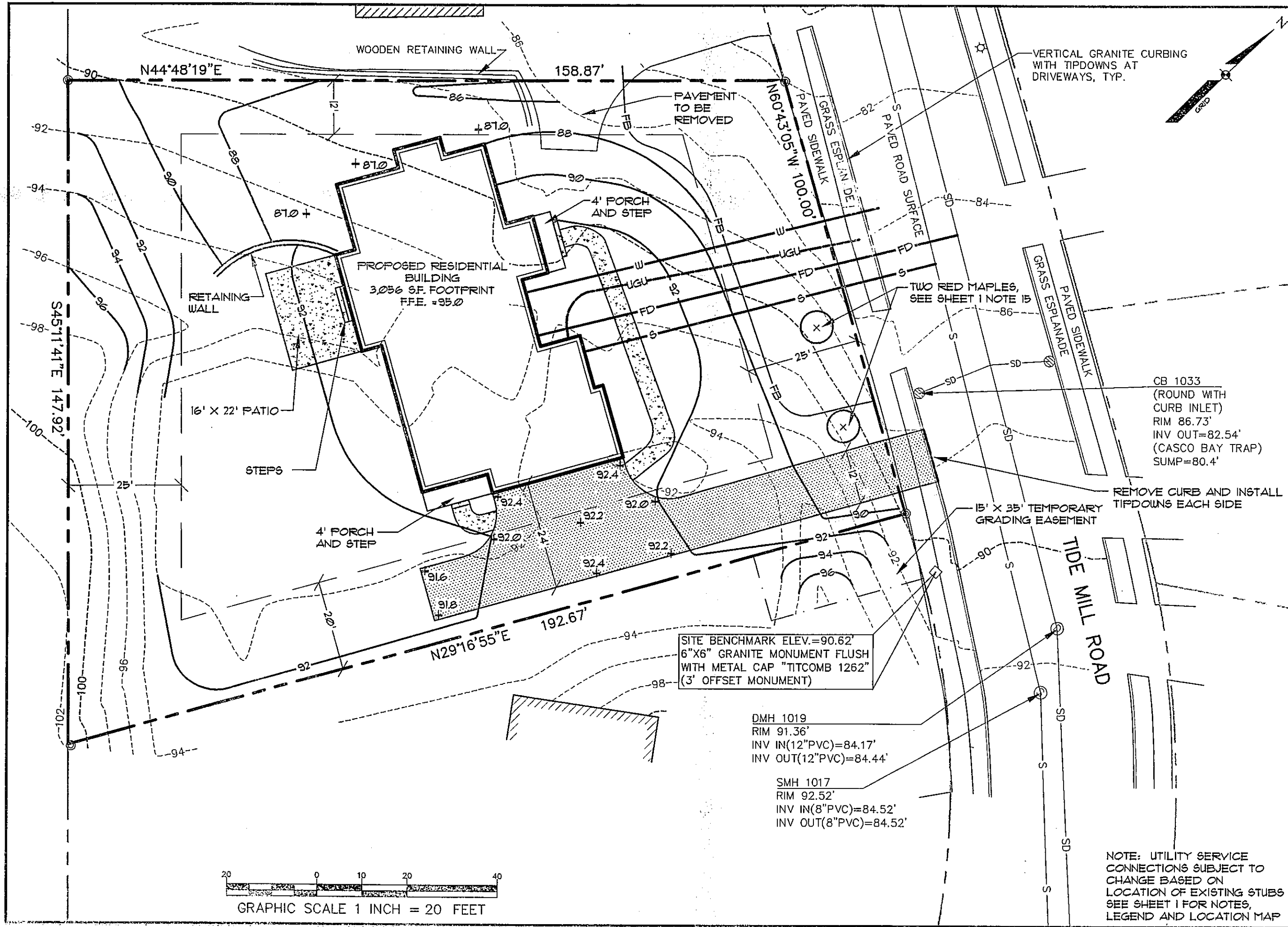
RECORD OWNER:
 ERIC & KRISTINE DAWSON
 45 TIDE MILL RD
 PORTLAND, MAINE 04107

SITE PLAN
 OF: **DAWSON PROPERTY**
 45 TIDE MILL ROAD
 PORTLAND, MAINE
 FOR: **CLOUTIER CONSTRUCTION INC.**
 49 EASTMAN ROAD
 CAPE ELIZABETH, MAINE 04107

DESIGN BY:	DMR
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	1/9/12
SCALE:	1"=20'
FIELD BK:	772A
PROJ. NO:	11360
DWG:	11360S(SITE)



SEE SHEET 1 FOR NOTES,
 LEGEND AND LOCATION MAP



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GRADING UTILITY PLAN

OF: **DAWSON PROPERTY**
45 TIDE MILL ROAD
PORTLAND, MAINE

FOR: **CLOUTIER CONSTRUCTION INC.**
49 EASTMAN ROAD
CAPE ELIZABETH, MAINE 04107

RECORD OWNER:
ERIC & KRISTINE DAWSON
45 TIDE MILL RD
PORTLAND, MAINE 04107

DESIGN BY:	DMR
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	1/9/12
SCALE:	1"=20'
FIELD BK:	772A
PROJ. NO:	11360
DWG:	11360S(GU)

SHEET 4 OF 4

NOTE: UTILITY SERVICE CONNECTIONS SUBJECT TO CHANGE BASED ON LOCATION OF EXISTING STUBS SEE SHEET 1 FOR NOTES, LEGEND AND LOCATION MAP