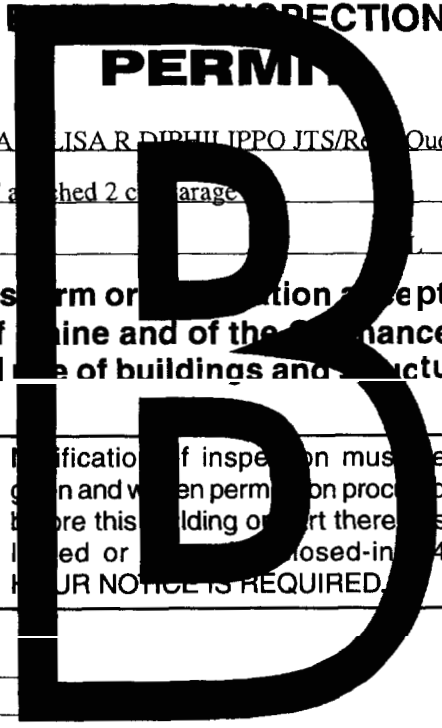


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached



PERMIT ISSUED
Permit Number: 060341
AUG 11 2006
CITY OF PORTLAND

This is to certify that DIPHILIPPO MICHAEL A LISA R DIPHILIPPO JTS/R Quel

has permission to build a 2 story cape cod w/ attached 2 car garage

AT 15 TIDE MILL RD

212 A045001

provided that the person or persons form or tion repting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is closed or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Ally C. August 8/10/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0341	Issue Date: AUG 10 2006	DBL: 212 AC45001
-----------------------	----------------------------	---------------------

Location of Construction: 15 TIDE MILL RD	Owner Name: DIPHILIPPO MICHAEL A & LISA	Owner Address: 21 TIDE MILL RD	Phone:
Business Name:	Contractor Name: Rene Ouellette	Contractor Address: 511 Merrow Road Auburn	Phone: 207 838037
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R2

Past Use: Vacant Land	(Proposed Use): Single Family Home/ build a 2 story cape cod w/ attached 2 car garage	Permit Fee: \$2,436.00	Cost of Work: \$260,000.00	CEO District: 3
--------------------------	--	---------------------------	-------------------------------	--------------------

Proposed Project Description: build a 2 story cape cod w/ attached 2 car garage	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:	INSPECTION: Use Group: R3 Type: GB 8/10/06 Signature: <i>[Signature]</i>
--	---	--

Permit Taken By: Idobson	Date Applied For: 03/14/2006	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

1. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 12 - zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0050</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>5/24/06</i> <i>ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
--	---	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0341	Date Applied For: 03/14/2006	CBL: 212 A045001
------------------------------	--	----------------------------

Location of Construction: 15 TIDE MILL RD (lot #18)	Owner Name: DIPHILIPPO MICHAEL A & LISA	Owner Address: 21 TIDE MILL RD	Phone:
Business Name:	Contractor Name: Rene Ouellette	Contractor Address: 511 Merrow Road Auburn	Phone (207) 783-8037
Tenant/Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ build a 2 story cape cod w/ attached 2 car	Proposed Project Description: build a 2 story cape cod w/ attached 2 car garage
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/26/2006

Note: **Ok to Issue:**

- 1) This property shall be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 08/10/2006

Note: **Ok to Issue:**

- 1) 806.1 Ventilation required.
Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall be provided with corrosion-resistant wire mesh, with 1/8 inch (3.2 mm) minimum to 1/4 inch (6.4 mm) maximum openings.
- 806.2 Minimum area.
The total net free ventilating area shall not be less than 1 to 150 of the area of the space ventilated except that the total area is permitted to be reduced to 1 to 300, provided at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1 to 300 when a vapor barrier having a transmission rate not exceeding 1 perm (57.4 mg/s . m2Pa) is installed on the warm side of the ceiling.
- 806.3 Vent clearance.
Where eave or cornice vents are installed, insulation shall not block the free flow of air. A minimum of a 1-inch (25.4 mm) space shall be provided between the insulation and the roof sheathing at the location of the vent.
- 3) Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers. Glazing in any part of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface.

THE TUB AREA ABOVE THE GARAGE

- 4) **PLANS DEMONSTRATING COMPLIANCE WITH ALL OF THESE CONDITIONS MUST BE SUBMITTED AND APPROVED PRIOR TO FRAMING:**

- 1) All Stairs must be 36 inches in width with a 10 inch minimum net tread (measured nosing to nosing and a 7 3/4 inch maximum riser. If the treads are only 10 inches net, there must be a nosing from 3/4 of an inch to 1 1/4 inches. Headroom must be 80 inches measured from a line parallel to the edge of the stair nosings, straight upward.

Location of Construction: 15 TIDE MILL RD (lot # 18)	Owner Name: DIPHILIPPO MICHAEL A & LISA	Owner Address: 21 TIDE MILL RD	Phone:
Business Name:	Contractor Name: Rene Ouellette	Contractor Address: 5 11 Merrow Road Auburn	Phone (207) 783-8037
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

5) 2)309.1 Opening protection.

Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.

309.1.1 Duct penetration.

Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.

309.2 Separation required.

The garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2-inch (12.7 mm) gypsum board or equivalent.

6) 3 12.1 Guards required.

Porches, balconies or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

Porches and decks which are enclosed with insect screening shall be provided with guards where the walking surface is located more than 30 inches (762 mm) above the floor or grade below.

3 12.2 Guard opening limitations.

Required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches (102mm) or more in diameter.

Exceptions:

1. The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches (152 mm) cannot pass through.

2. Openings for required guards on the sides of stair treads shall not allow a sphere 4 3/8 inches (107 mm) to pass through.

7) [F] R313.1 Smoke alarms.

Smoke alarms shall be installed in the following locations:

1. In each sleeping room.

2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.

3. On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.

All smoke alarms shall be listed and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

[F]R3 13.2 Power source.

In new construction, the required smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

8) 807.1 Attic access.

In buildings with combustible ceiling or roof construction, an attic access opening shall be provided to attic areas that exceed 30 square feet (2.8 m²) and have a vertical height of 30 inches (762 mm) or greater. The rough-framed opening shall not be less than 22 inches by 30 inches (559 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

9) Glazing, in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch (610 mm) arc of the door in a closed position and whose bottom edge is less than 60 inches (1524 mm) above the floor or walking surface.

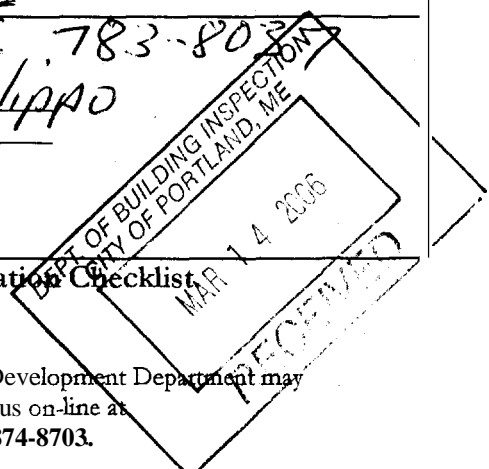
BOTH SIDES OF THE ENTRY DOOR



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>15 Tide Mill Rd</u>		
Total Square Footage of Proposed Structure <u>3050</u>	Square Footage of Lot <u>14331 -</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>212-A-045-001</u> Block# <u>18</u> Lot# <u>18</u>	Owner: <u>MICHAEL A. DiPhilippo</u> <u>LISA R. DiPhilippo</u>	Telephone: <u>828-3703</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>MICHAEL A. DiPhilippo</u> <u>21 TIDE MILL</u> <u>PORTLAND ME. 04102</u>	Cost Of Work: \$ <u>260,000 -</u> Fee: \$ <u>2361</u> C of O Fee: \$ <u>75</u>
Current Specific use: <u>NEW CONSTRUCTION RESIDENTIAL LOT</u>	Proposed Specific use: <u>RESIDENTIAL</u>	
Project description: <u>2-STORY CAPE COD WITH ATTACHED</u> <u>2 CAR GARAGE.</u>		
Contractor's name, address & telephone: <u>RENE OUELLETTE 783-8083</u> <u>511 MERROW RD AUBURN ME. 04210</u>		
Who should we contact when the permit is ready: <u>MICHAEL DiPhilippo</u>		
Mailing address: <u>21 TIDE MILL RD</u> Phone: <u>828-3703</u> <u>PORTLAND ME. 04102</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature of applicant:	Date: <u>02-06-06</u>
-------------------------	-----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

5/26/06 revised

Applicant: Michael DiPhilippis
Address: 15 Tide Mill Rd

Date: 3/17/06
C-B-L: 212-A-45
permit # 06-0341

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R2

Interior or corner lot -

Proposed Use/Work - build new single family w/ attached garage (40654')

Sewage Disposal - city

Lot Street Frontage - 50' min - ~~100' scaled~~ 108.14' given

Front Yard - 25' min - ~~35'~~ 37.5' scaled

Rear Yard - 25' min - ~~42'~~ scaled

Side Yard - 1/2 story 12' - right side ~~12'~~ 31'
2 story 14' - left 16.5'

Projections -

Width of Lot - 80' min - ~~102'~~ 119' 102' scaled

Height - 35' max - 28.5' scaled

Lot Area - 10,000 sq ft min - 14,331 given (assessing map)

Lot Coverage Impervious Surface - 29% 2866.2

26721
~~89 x 54 = 2106
1 x 12 = 12
1 x 8 = 8
3 x 24 = 72

2198~~

Area per Family - 10,000 sq ft

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - N/A

Site Plan - minor minor 2006-0050

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 12c - 200x

daylight basement

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	6/12	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	12" TJI 110 @ 16 OC.	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	ROOF 5/8 PLY FLOORS 5/8 APA.	
Fastener Schedule (Table R602.3(1) & (2))	OK	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	N L L O	
→ Emergency Escape and Rescue Openings (Section R310)	NEED	
Roof Covering (Chapter 9)	ASP HALT SH UNDERLAYMENT	
* Safety Glazing (Section R308) STAIRWAY WINDOWS	NEED.	
Attic Access (Section R807)		
Chimney Clearances/Fire Blocking (Chap. 10)	NEED	
Header Schedule (Section 502.5(1) & (2)	OK	
→ Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration		

<p>→ Type of Heating System</p>		
<p>Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)</p>		
<p>→ Smoke Detectors (Section R313) Location and type/Interconnected</p>		
<p>→ Draftstopping (Section R502.12) and Fireblocking (Section R602.8)</p> <p>Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207) N A</p>		
<p>→ Deck Construction (Section R502.2.1)</p>	<p>Oa</p>	

NEED

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning copy

2006-0050

Application I. D. Number

Marge Schmuckal

311412006

Application Date

Diphilippo Michael A &

Applicant

21 Tide Mill Rd , Portland, ME 04102

Applicant's Mailing Address

Rene Ouellette

Consultant/Agent

Agent Ph: (207)783-8037 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Single Family Home

Project Name/Description

15 - 15 Tide Mill Rd, Portland, Maine

Address of Proposed Site

212 A045001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3050

Proposed Building square Feet or # of Units

14331

Acreage of Site

Zonina

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 3/14/2006

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required' Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

From: Jay Reynolds
To: Single Family Signoff
Date: 6/1/2006 3:01:32 PM
Subject: 15 Tidemill Road

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov

SPACE AND BULK REQUIREMENTS - LOT 18

ZONE - R-2 RESIDENTIAL

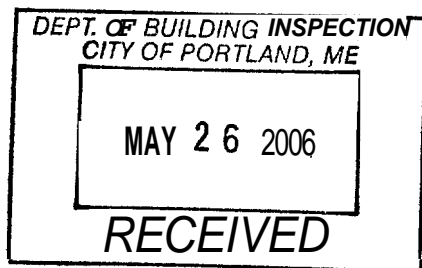
MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT

MINIMUM SETBACKS: 25 FT.
FRONT YARD 25 FT.
REAR YARD 25 FT.
SIDE YARD
1 STORY 12 FT.
1 1/2 STORY 12 FT.
2 STORY 14 FT.
2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 80 FT.


* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.



Used for zoning

S:\Land Projects\1484\dwg\1484-SP.dwg, Layout1, 5/26/2006 9:03:58 AM, bvandamm, Gorrill Palmer Consulting Engineers, Inc.

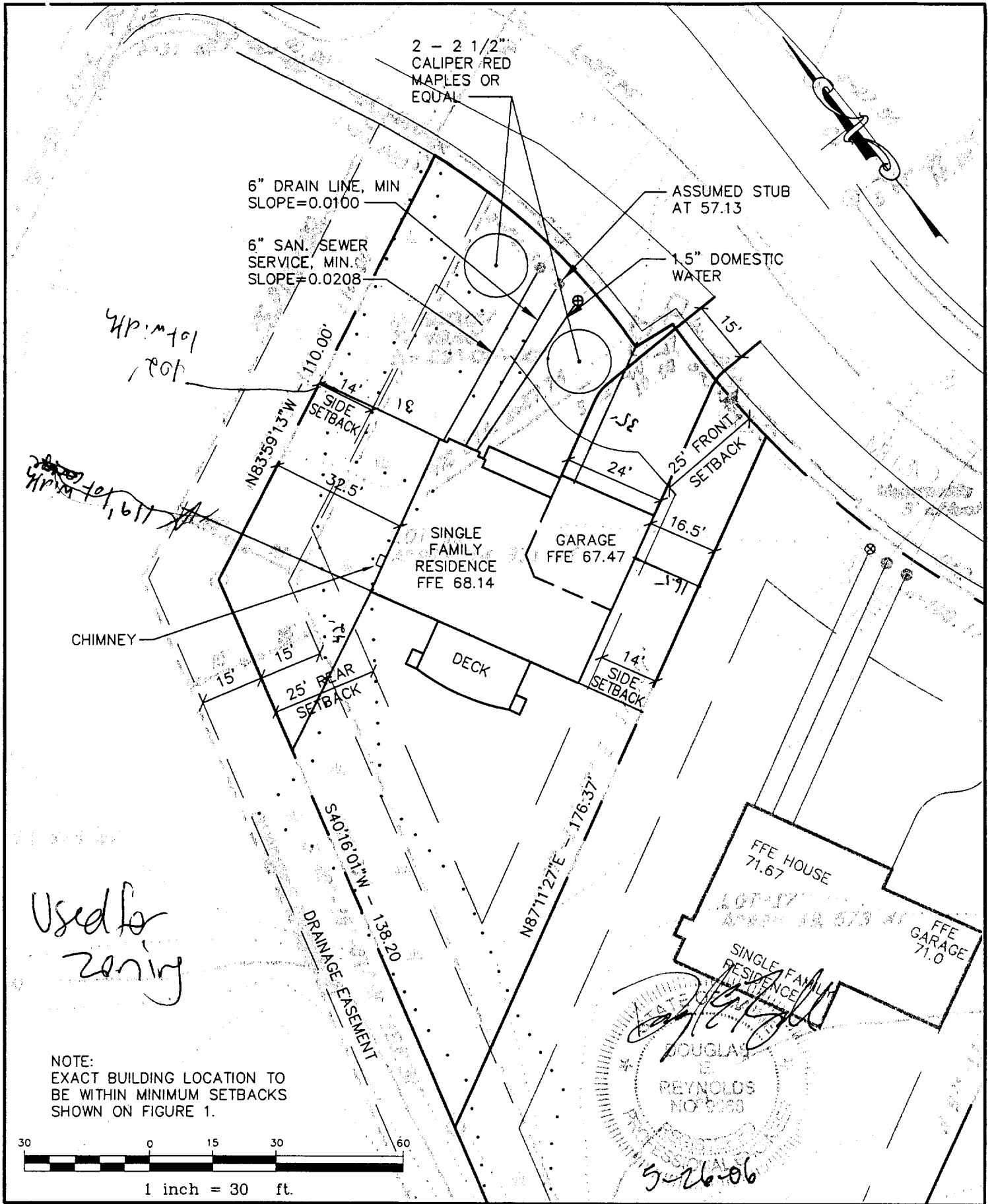
Design:	DER	Date:	JAN 2006
Draft:	CAH	Job No.:	1484
Checked:	DER	Scale:	
File Name:	1484-SPDWG		

 **Traffic and Civil Engineering Services**
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:	General Notes - Lot 18
Project:	TIDE MILL ROAD, PORTLAND

Figure No.	1
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S:\Land Project\1484\dwg\1484-SP.dwg, Layout1, 5/26/2006 9:03:14 AM, b.vandamm, Gomill Palmer Consulting Engineers, Inc.

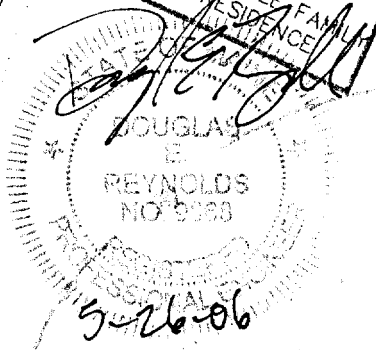
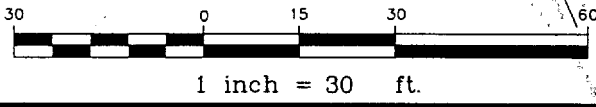


4P.M. 10/1

4P.M. 10/1, 6/11

Used for zoning

NOTE:
EXACT BUILDING LOCATION TO
BE WITHIN MINIMUM SETBACKS
SHOWN ON FIGURE 1.



Design: DER	Date: JAN 2006
Draft: CAH	Jab No.: 1484
Checked: DER	Scale: 1" = 30'
File Name: 1484-SP.DWG	

GP
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: Layout & Utilities Plan - Lot 18
Project: TIDE MILL ROAD, PORTLAND

Figure No. 2

COORDINATE WITH ABUTTING LOT OWNER TO RELOCATE DRAINAGE DITCH WITHIN DRAINAGE EASEMENT.

APPROXIMATE LOCATION OF INLET PIPE

APPROXIMATE EXISTING GRADE PRIOR TO ROADWAY CONSTRUCTION

SILT FENCE (TYP.)

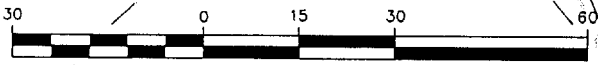
STONE CHECK DAM (TYP.)

ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED

WETLAND FILL APPROXIMATELY 2,210 SF

COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

DRAINAGE EASEMENT



1 inch = 30 ft.

SINGLE FAMILY RESIDENCE
FFE 68.14

GARAGE
FFE 67.47

FFE HOUSE
71.67

FFE GARAGE
71.0

DOUGLAS E. REYNOLDS
NO 9833
REGISTERED PROFESSIONAL ENGINEER

5-26-06

S:\Land Projects\1484\dwg\1484-SP.dwg, Layout1, 5/26/2006 9:03:29 AM, bvandamm, Gornill Palmer Consulting Engineers, Inc.

Design: DER	Date: JAN 2006
Draft: CAH	Job No.: 1484
Checked: DER	Scale: 1" = 30'
File Name: 1484-SP.dwg	

GP Gornill Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

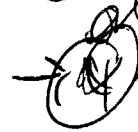
Drawing Name:
Grading & Drainage - Lot 18

Project:
TIDE MILL ROAD, PORTLAND

Figure No.
3

STAMPED
PLANS!

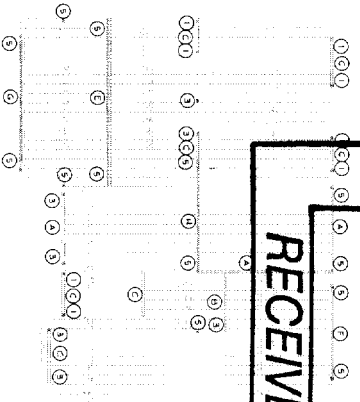
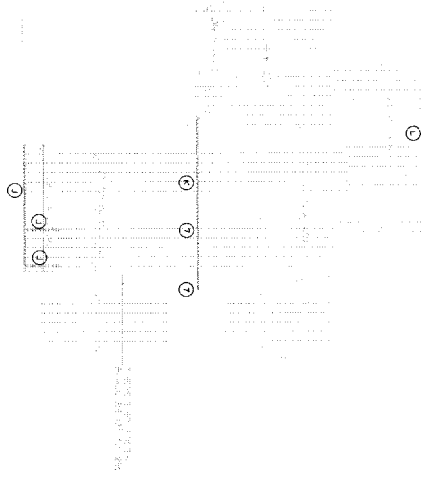
ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	1500 PSF	
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 20"	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	FOUNDATION	
Anchor Bolts/Straps, spacing (Section R403.1.6)	MUST BE 12" FROM CORNERS 2 ANCHORS @ 6 FEET O.C.	
Lally Column Type (Section R407)	NOT SURE 3 1/2 STEEL/CONCRETE 3 1/2 x 14 LVL.	
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	NEED HEADER GIRDER INFO.	
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	210's 12" TJI @ 16 OC.	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	210's 12" TJI @ 16 OC.	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	"	



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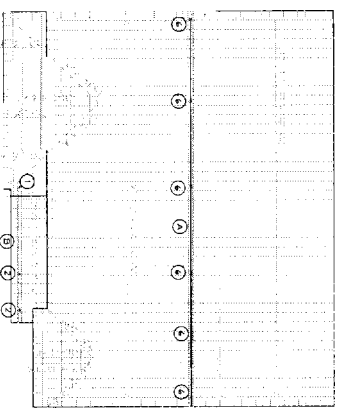
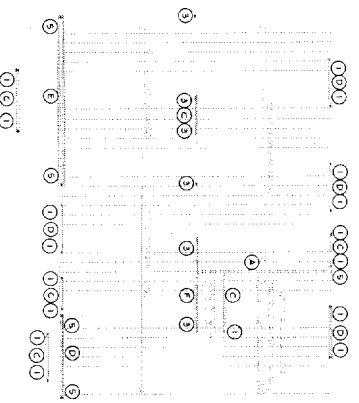
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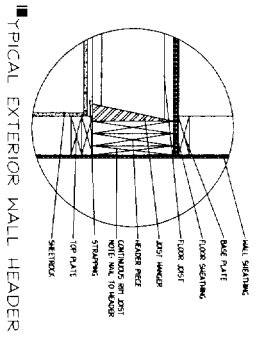


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2. ALL WALLS ARE CONCRETE UNLESS OTHERWISE NOTED.
3. ALL FLOORS ARE CONCRETE UNLESS OTHERWISE NOTED.
4. ALL CEILING ARE CONCRETE UNLESS OTHERWISE NOTED.
5. ALL ROOFS ARE FLAT UNLESS OTHERWISE NOTED.
6. ALL FOUNDATIONS ARE CONCRETE UNLESS OTHERWISE NOTED.
7. ALL STRUCTURAL STEEL IS A36 UNLESS OTHERWISE NOTED.
8. ALL STRUCTURAL WOOD IS SP-1 UNLESS OTHERWISE NOTED.
9. ALL STRUCTURAL GLASS IS CLEAR UNLESS OTHERWISE NOTED.
10. ALL STRUCTURAL PAINT IS RUST PREVENTATIVE UNLESS OTHERWISE NOTED.

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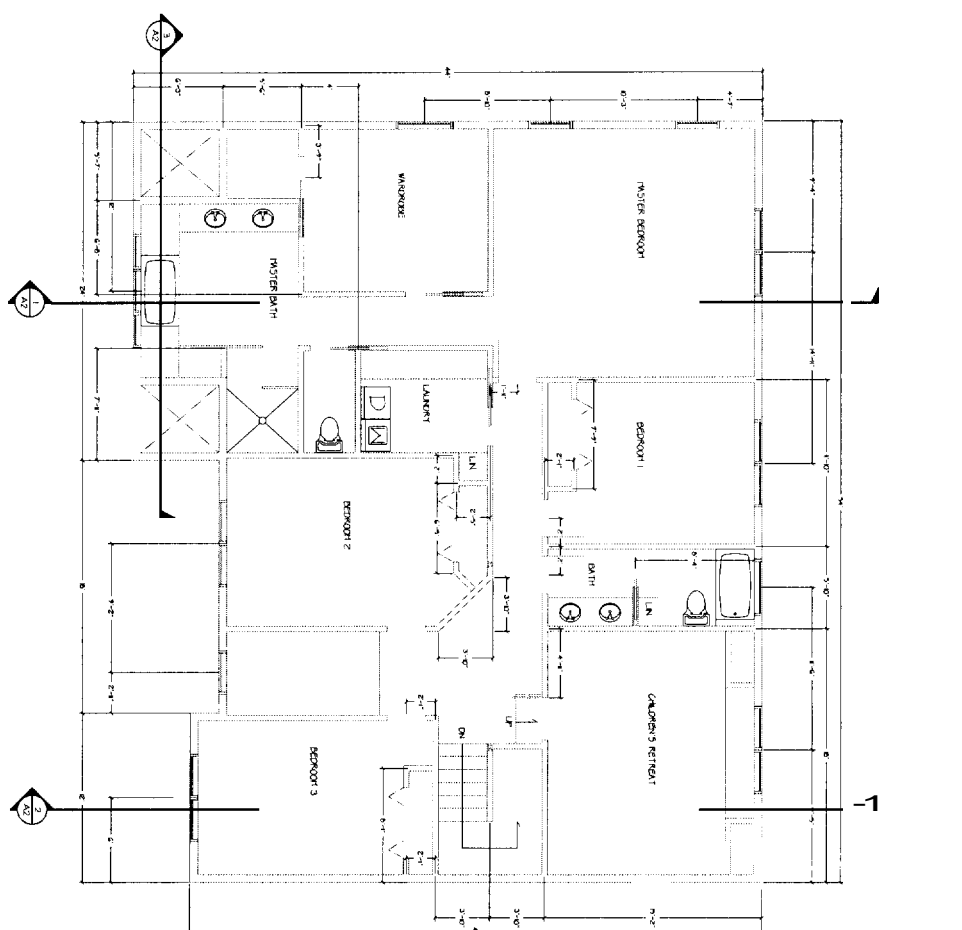
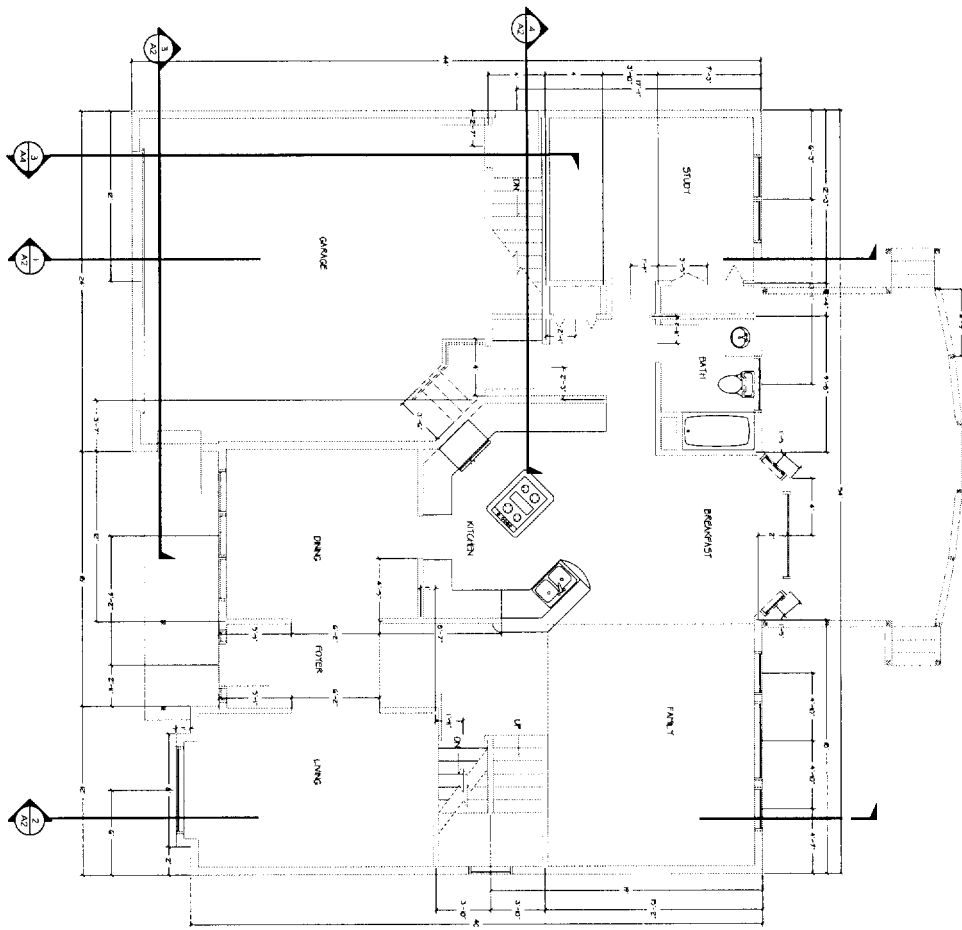
- 1 DOUBLE 1-1/2" X 11-7/8" LVL
- 2 TRIPLE 2X8 PT
- 3 DOUBLE 2X8 SPACERS
- 4 DOUBLE 1-3/4" X 11-1/4" LVL
- 5 DOUBLE 1-1/2" X 8" LVL
- 6 TRIPLE 1-3/4" X 11-1/4" LVL
- 7 SINGLE 1-1/2" X 8" LVL
- 8 WIDE FLAT 3X6 STEEL BEAM
- 9 DOUBLE 2X8 PT
- 10 3-1/2" X 14" LVL
- 11 TRIPLE 2X2 PT
- 12 DOUBLE STUD COLUMN
- 13 4X4 PT COLUMN
- 14 TRIPLE STUD COLUMN
- 15 3-1/2" X 3-1/2" PARALLEL COLUMN
- 16 3-1/2" X 5-1/2" PARALLEL COLUMN
- 17 5-1/2" X 5-1/2" PARALLEL COLUMN
- 18 3-1/2" CONCRETE FILLED TALL COLUMN



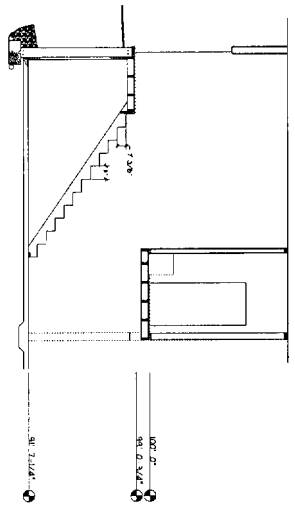
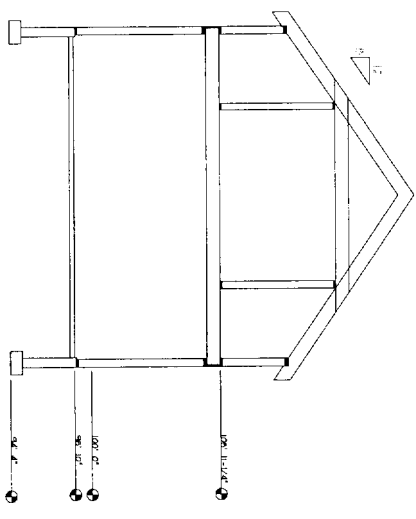
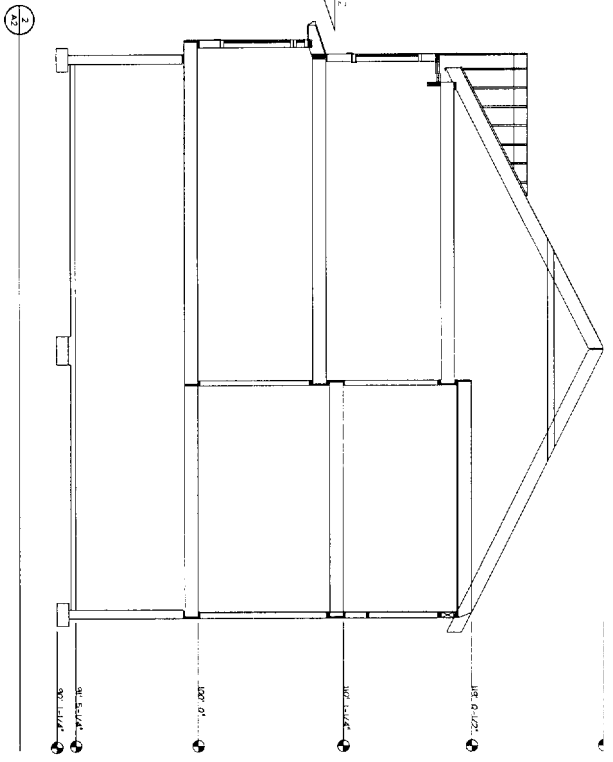
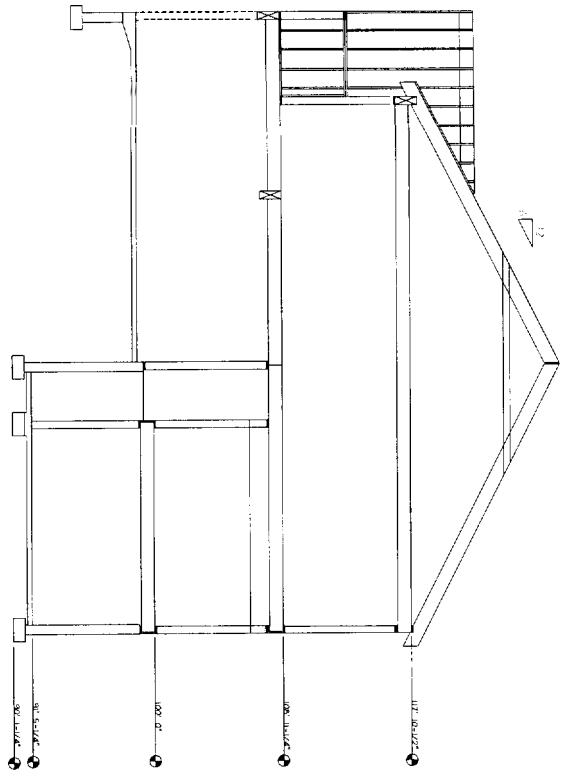
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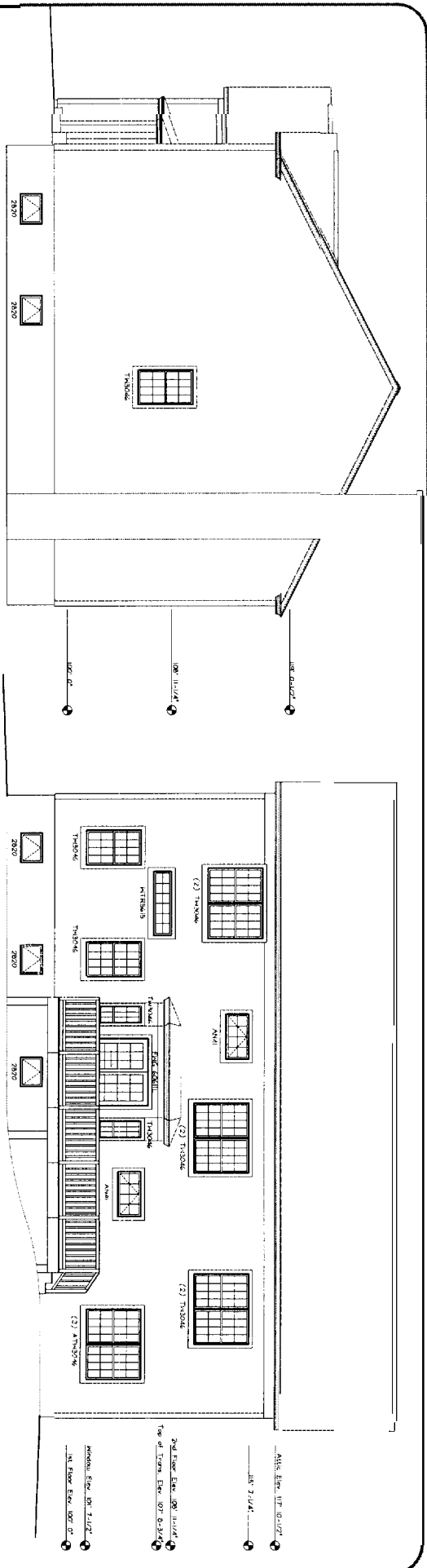
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SOIL MAIN SHEET	218	COMPLETION
NO. OF SHEETS	3	NO. OF SHEETS
(20) 218	(20) 218	(20) 218
Author	Checked	Scale



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BUILDING SYSTEMS 1500 EAST 1500 SOUTH (202) 521-4000		SHEET NO. OF	

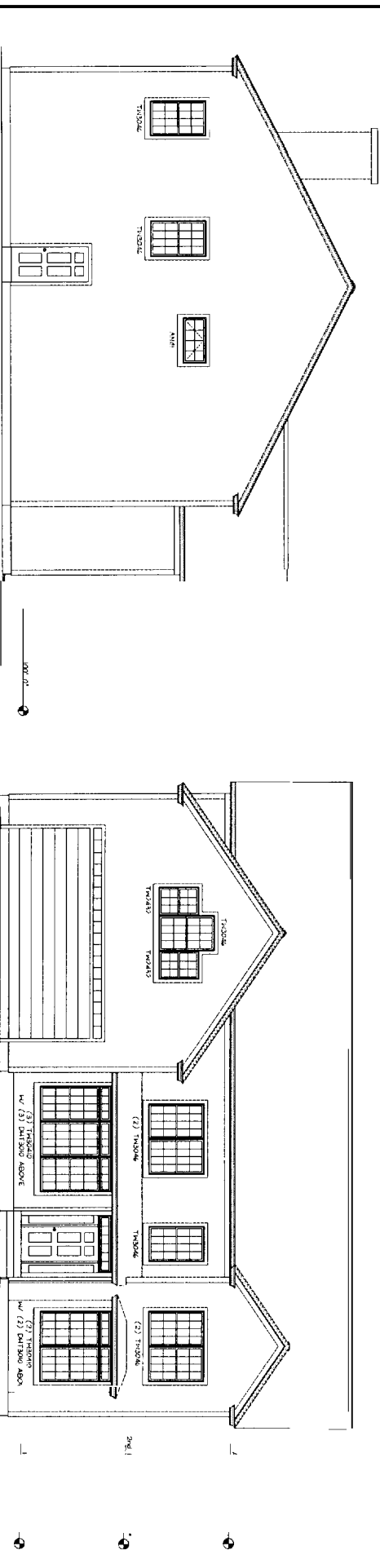


SHEET
 SCALE
 DRAWN
 CHECKED
 DATE



4 SIDE ELEVATION

4 BACK ELEVATION

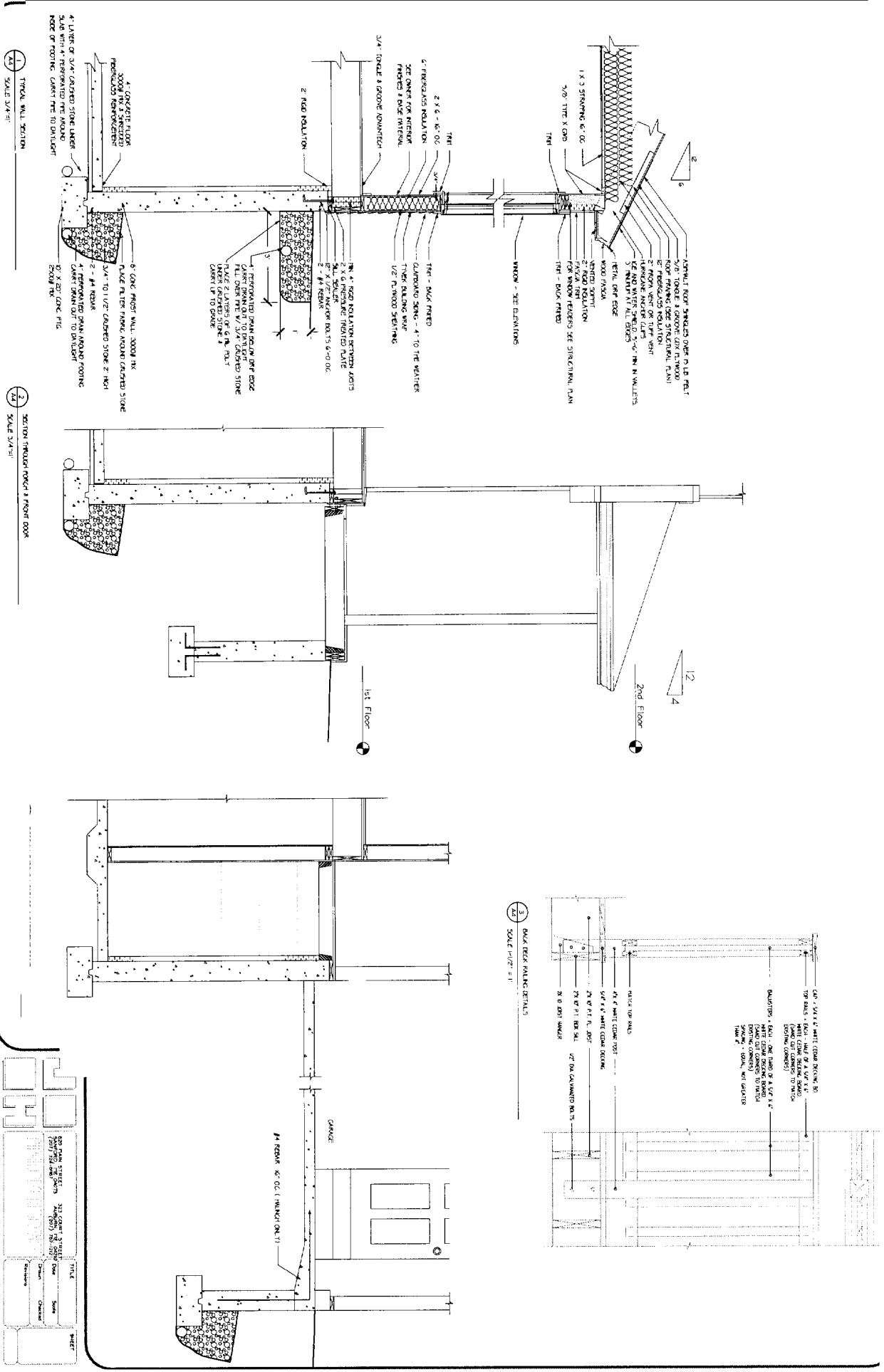


4 SIDE ELEVATION

4 BACK ELEVATION

NOTE: FOR ALL WINDOWS, REFER TO ANDERSON PRODUCT GUIDE ALL WINDOWS & DOORS TO HAVE FINISHED SILLERS

<p>800 MAIN STREET SANDWICH, MA 01903 (508) 881-9600</p>	<p>125 SOUTH STREET ANDERSON, MA 01920 (508) 751-1122</p>	<p>TITLE</p> <p>Scale</p> <p>Date</p> <p>Drawn</p> <p>Checked</p>	<p>SHEET</p>
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1 TYPICAL WALL SECTION
SCALE 3/4"=1'

4'-0" CONCRETE BLOCK
3000 PSI 2" REINFORCED
FIBERGLASS REINFORCEMENT
4" LAYER OF 3/4" DASHED STONE LAGER
SLAB WITH 4" REINFORCED FIBER GLASS
ROOF OF FRONT CANT PIE TO OUTLEAF
ROOF

2 SECTION THROUGH FRONT FRONT DOOR
SCALE 3/4"=1'

3 BACK REAR RAISING DETAILS
SCALE 1/2"=1'

TILE	
NAME	
QUANTITY	
DATE	
FOR PAIR 5 SYSTEM	
DATE	
BY	
CHECKED	
FOR PAIR 5 SYSTEM	
DATE	
BY	
CHECKED	

Location of Construction: 15 TIDE MILL RD (lot #18)	Owner Name: DIPHILIPPO MICHAEL A & LISA	Owner Address: 21 TIDE MILL RD	Phone:
business Name:	Contractor Name: Rene Ouellette	Contractor Address: 5 11 Merrow Road Auburn	Phone (207) 783-8037
lessee/Buyer's Name	Phone:	Permit Type: Single Family	

WINDOW ON THE INTERIOR STAIRWAY

II Insulation plan and "U" values of all exterior doors and windows complying with the 2003 International Energy Conservation Code must be submitted and approved

Dept: DRC **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 06/01/2006

Note: **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 4) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 6) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 06/01/2006

Note: **Ok to Issue:**

Comments:

- 3/17/2006-amachado: Left message. **We** need a full size set of building plans including scalable elevation plans that also show the right side elevation. The building plans have a porch and bay window that the site plan does not. There is no stamped boundary survey.
- 4/7/2006-amachado: Received Stamped boundary survey on March 20,2006. Still waiting for fullsize building plans.
- 5/26/2006-amachado: Mike DiPhilippo came in with revised site plan. Full size building plans came in on 4/26/06.
- 6/13/2006-GG: received approved site plan. /gg
- 6/26/2006-mjn: Faxed a list of plan deficiencies to architect and applicant. Got partially corected plans, will issue with conditions
- 6/23/2006-mjn: Left message with applicant regarding plan deficiencies.