

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-014	Issue Date: AUG 24 2001	CBL: 212 A025001
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Location of Construction: 1888 Congress St	Owner Name: Christchurch Of Portland	Owner Address: 1900 Congress St	Phone: 207 775-1900
Business Name: n/a	Contractor Name: E.G. Johnson & Company	Contractor Address: 3 Cliff Street Portland	Phone: 2077731630
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Commercial	Zone: R-2

Past Use: Comm. Church	Proposed Use: Same: 34' X 34' Addition and Some Interior Renovations	Permit Fee: \$684.00	Cost of Work: \$110,000.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>A-1</i> Type: <i>513</i>	

Proposed Project Description:
34' X 34' Addition and Some Interior Renovations

Signature: *[Handwritten Signature]*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: cih	Date Applied For: 08/17/2001	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>NA</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan # 2001-013A</p> <p>Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>8/23/01</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input checked="" type="checkbox"/> Conditional Use <i>to the PLANNING BD. for institutional Expansion</i></p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 1900 Congress Street

Total Square Footage of Proposed Structure	<u>1156</u>	Square Footage of Lot	<u>218.540</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>212</u> Block# <u>A</u> Lot# <u>025</u>	Owner: <u>CHRISTCHURCH</u>	Telephone: <u>775-1900</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>E. G. Johnson Co.</u> <u>3 CLIFF ST.</u> <u>PORTLAND Me 04102 773-1630</u>	Cost Of Work: <u>\$ 110,000.00</u> Fee: <u>\$ 684.00</u>
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Current use: Church

If the location is currently vacant, what was prior use: —

Approximately how long has it been vacant: —

Proposed use: Church / CLASS ROOMS
(1925 sq ft)

Project description: 34x34 Addition / Interior RENOVATIONS

Contractor's name, address & telephone: E. G. Johnson Company Mail

Who should we contact when the permit is ready: Randy Johnson

Mailing address: 3-Cliff Street Portland, Me 04102

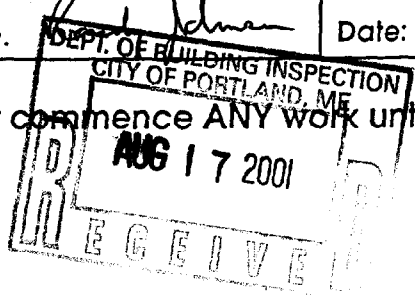
Phone: 773-1630

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: E. G. Johnson Co. [Signature] Date: 8-17-01

This is not a permit, you may not commence ANY work until the permit is issued



[Handwritten signature]

BUILDING PERMIT REPORT

DATE: 20 August 2001 ADDRESS: 1888 Congress Street CBL: 212-A-025
 REASON FOR PERMIT: 34'x34' addition / interior redo.
 BUILDING OWNER: Christ Church of Pitt.
 PERMIT APPLICANT: _____ / CONTRACTOR: E.G. Johnson & Son
 USE GROUP: A-4 CONSTRUCTION TYPE: 50 CONSTRUCTION COST: 110,000.00 PERMIT FEES: 684.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5
*11, *13, *24, *28, *29, *30, *31, *33, *34, *35, *36, 21, 22, 1

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

8/17

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms.
- In each story within a dwelling unit, including basements

21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

*24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

*26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

*28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

*29. All requirements must be met before a final Certificate of Occupancy is issued.

*30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

*31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

32. Please read and implement the attached Land Use Zoning report requirements. *All requirements & conditions on the attached site development review sheets shall be met.*

*33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

*34. Bridging shall comply with Section 2305.16.

*35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

*36. All flashing shall comply with Section 1406.3.10.

37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

38 Portland City Ordinance requires a metal box connection for the fire alarm system

[Signature]
 F. Samuel Hodges, Building Inspector
 Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

Inspection Services
Michael J. Nugent
Manager



Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

Congratulations!!!!

Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto

As an applicant for Site Review, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.

**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Christ Church Applicant 6/5/01 Application Date
1900 Congress St, Portland Applicant's Mailing Address Church Addition Project Name/Description
JOHN SHIELDS - ARCHITECT Consultant/Agent 1900 Congress St Address Of Proposed Site
JOHN SHIELDS Applicant/Agent Daytime telephone and FAX 212-A-025 Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other(Specify) _____
1,156 new addition Proposed Building Square Footage and /or # of Units 5 +/- Acreage of Site R-2 Zoning
 Major Site Plan Minor Site Plan

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>John Shields</u>	Date: <u>June 5, 2001</u>
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Site Review Fee: Major \$500.00 Minor \$400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

A R C H E T Y P E

June 5, 2001

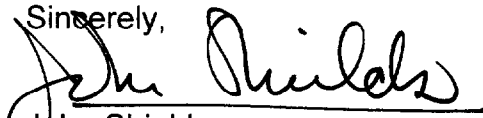
City of Portland
Building Inspection Division
389 Congress Street
Portland, Maine 04101

RE: Addition to Christ Church
1900 Congress Street, Portland, Maine

Enclosed is a submission for a Conditional Use Permit and Site Plan Review on the above project. I have enclosed nine copies of the submission. The submission includes the following items.

- Boundary and Topographic Survey dated June 1, 2001 by Titcomb Associates.
- Site Plan dated June 5, 2001 by Archetype Architects, P.A.
- Written statements for the Conditional Use Permit required by Section 14-78(2) and 14-474.
- Written statements for the Site Plan Review required by Section 14-525(c).

Sincerely,



John Shields
Architect

June 5, 2001

Subject: Addition to Christ Church – Conditional Use Permit
Written Statements required by Sec. 14-78(2) and 14-474

References:

City of Portland Ordinance, Chapter 14, Land Use, Division 3. R-2 Residential Zone, Sec. 14-78 Conditional Use.

Sec. 14-78 (2)(i –iii) Institutional

- i. The addition to the existing church is on the same lot as the church itself.
- ii. The addition will not displace or convert existing residential uses.
- iii. The addition to the church does not constitute a combination of the referenced uses.

Sec. 14-474(b)(1) Application

- a. **Applicant** – Christ Church
- b. **Owner** - Christ Church
- c. **Address** – 1900 Congress Street, Portland, Maine 04102.
- d. **Zoning** – R-2 Residential Zone
- e. **Authorizing Reference** – Sec. 14-78(2)(c)
- f. **Site Plan** – attached.

June 5, 2001

Subject: Addition to Christ Church - Minor Site Plan Submission
Written Statements required by Sec. 14-525(c)

References:

City of Portland Ordinance, Chapter 14, Land Use, Article V. Site Plan, Sec. 14-521.

- 1. Proposed Use – Church.** The existing building includes a worship space on the upper level and offices, kitchen and classrooms on the lower level. Also existing is a portable classroom located in the parking lot. The new addition includes three classrooms to replace the portable classroom.
- 2. Areas –** Total land area – 5 acres +/- . Total ground coverage of existing building and new addition 3,796 square feet. Existing upper level 2,640 square feet, existing upper level 2,640 square feet, total existing building 5,280 square feet. New addition 1,156 square feet, storage space in new addition truss space 408 square feet. Total building, existing and new 6,844 square feet.
- 3. Easements –** None.
- 4. Solid Waste –** Ordinary household trash in minimal quantities. Disposal is by a parishioner once a week.
- 5. Off Site Facilities –** Currently connected to municipal water and sewer, driveway connects to Congress Street.
- 6. Surface Drainage -** The building and parking area is located at the top of a hill overlooking Congress Street. Currently storm water runoff flows down the hill towards a drainage ditch running adjacent and parallel to Congress Street. Most runoff is absorbed in the ground before reaching the ditch. The new addition will not change the overall storm water flow.
- 7. Construction Plan –** Construction of the addition is scheduled for late summer 2001. No roads, retention basins, sewer lines or the like are included in the planned work but standard erosion control measures will be used.
- 8. Regulatory Approvals –** The work is not subject to any state or federal regulatory approvals.
- 9. Evidence of financial and technical capability –** Cost of construction to be paid in cash.
- 10. Evidence of title –** to be provided.
- 11. Unusual natural areas –** There are no unusual natural, wildlife, fisheries or archaeological areas within the project site.
- 12. CADD.dxf Files –** to be provided.
- 13. Recyclable materials –** Any recyclables are recycled by parishioner, see #4 above.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2001-0134
Application I. D. Number

6/5/01
Application Date

Congress St. Christ Church
Project Name/Description

Christchurch Of Portland
Applicant

1900 Congress St, Portland, ME 04102
Applicant's Mailing Address

shields, John
Consultant/Agent

Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

1888 - 1888 Congress St, Portland, Maine
Address of Proposed Site

212 A025001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) ChristChurch

1156 SqFt
Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|---|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Other <u>\$ 7/June/01</u> | |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

Insp Approval Status:

Approved Approved w/Conditions See Attached Denied
Reviewer _____

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2001-0134
Application I. D. Number
06/05/2001
Application Date
Christ Church
Project Name/Description

Christchurch Of Portland
Applicant
1900 Congress St, Portland, ME 04102
Applicant's Mailing Address
shields, John
Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

1888 - 1888 Congress St, Portland, Maine
Address of Proposed Site
212 A025001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Institutional use

1156 Sq Ft 4.98 R2
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input checked="" type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

Planning Approval Status:

Reviewer Kandi Talbot

- Approved Approved w/Conditions See Attached Denied

Approval Date 08/24/2001 Approval Expiration 08/24/2002 Extension to _____ Additional Sheets Attached

OK to Issue Building Permit Kandi Talbot 08/24/2001 08/24/2002
signature date date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | _____ |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

DRC Copy

2001-0134

Application I. D. Number

06/05/2001

Application Date

Christ Church

Project Name/Description

Christchurch Of Portland

Applicant

1900 Congress St, Portland, ME 04102

Applicant's Mailing Address

shields, John

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

1888 - 1888 Congress St, Portland, Maine

Address of Proposed Site

212 A025001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Institutional use

1156 Sq Ft

4.98

R2

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input checked="" type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer Deluca Hoffman

- Approved Approved w/Conditions See Attached Denied

Approval Date 08/14/2001 Approval Expiration 08/14/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Chris Earle/Steve Bushey 08/24/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2001-0134
Application I. D. Number
06/05/2001
Application Date
Christ Church
Project Name/Description

Christchurch Of Portland
Applicant
1900 Congress St, Portland, ME 04102
Applicant's Mailing Address
shields, John
Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

1888 - 1888 Congress St, Portland, Maine
Address of Proposed Site
212 A025001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Institutional use
1156 Sq Ft 4.98 R2
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date: _____

Insp Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date 08/23/2001 Approval Expiration 08/23/2002 Extension to _____ Additional Sheets Attached
 Condition Compliance Marge Schmuckal 08/23/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0134

Application I. D. Number

06/05/2001

Application Date

Christ Church

Project Name/Description

Christchurch Of Portland

Applicant

1900 Congress St, Portland, ME 04102

Applicant's Mailing Address

shields, John

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

1888 - 1888 Congress St, Portland, Maine

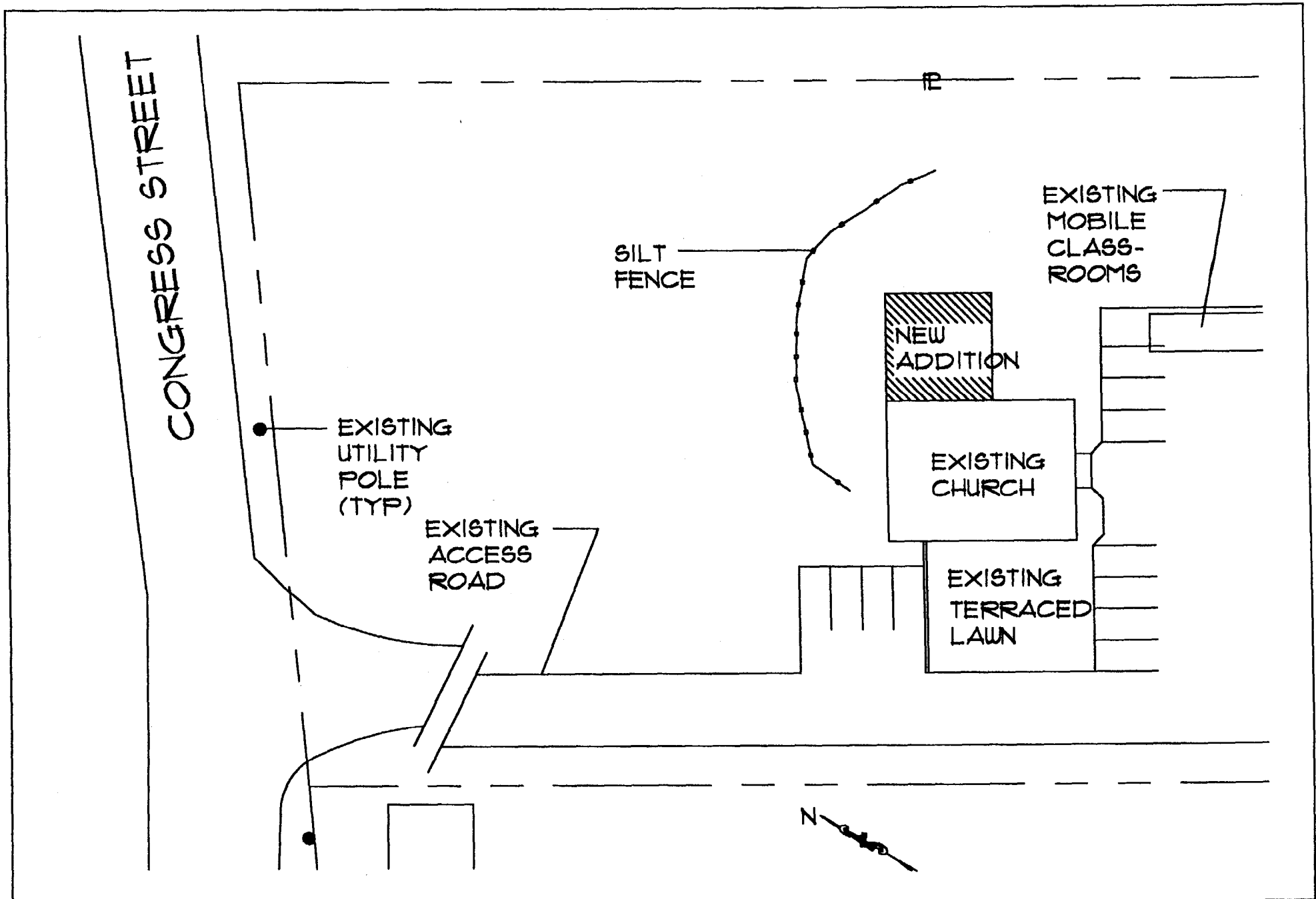
Address of Proposed Site

212 A025001

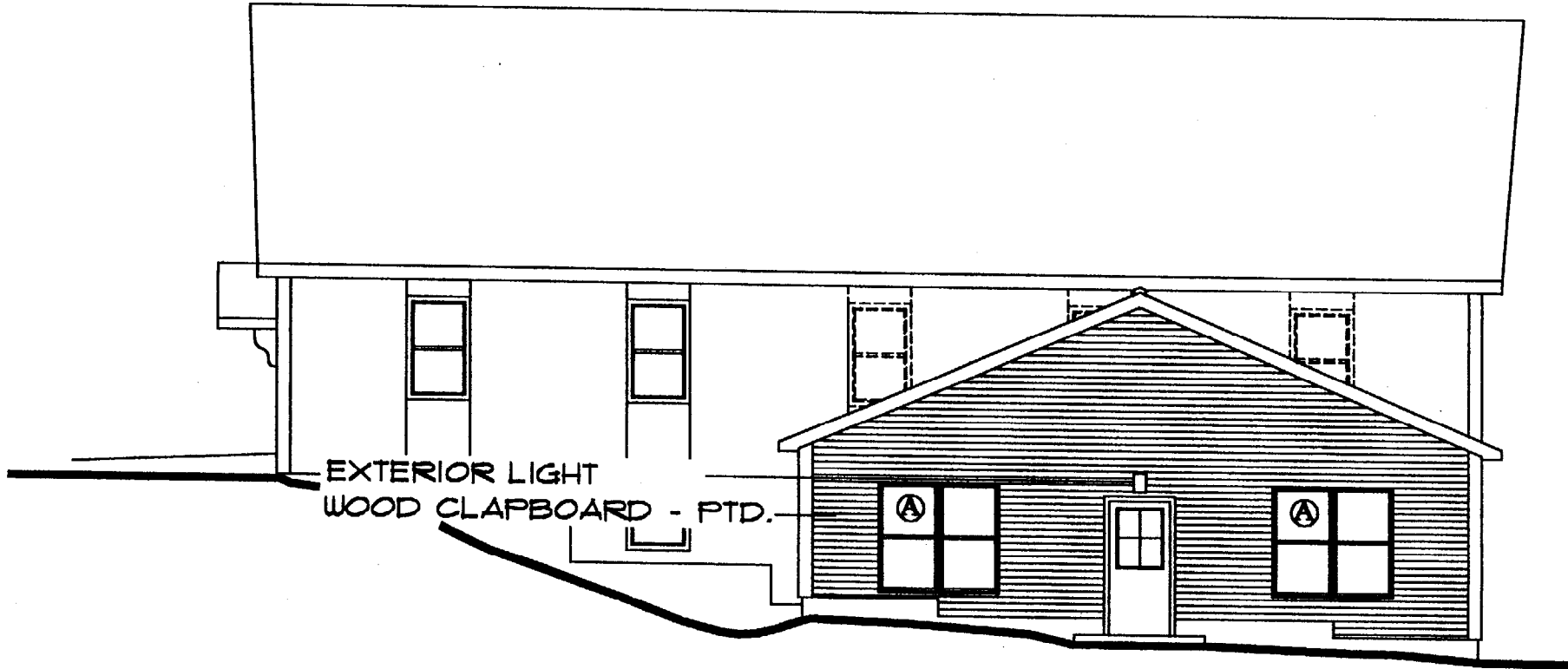
Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits are required for any new signage.



CHRISTCHURCH PORTLAND, MAINE	ARCHETYPE, P.A. 48 UNION WHARF PORTLAND, MAINE 04101	SCALE: 1" = 40'-0"	
EROSION CONTROL PLAN		DATE: JULY 17, 2001	



EXTERIOR LIGHT
WOOD CLAPBOARD - PTD.

CHRISTCHURCH
PORTLAND, MAINE

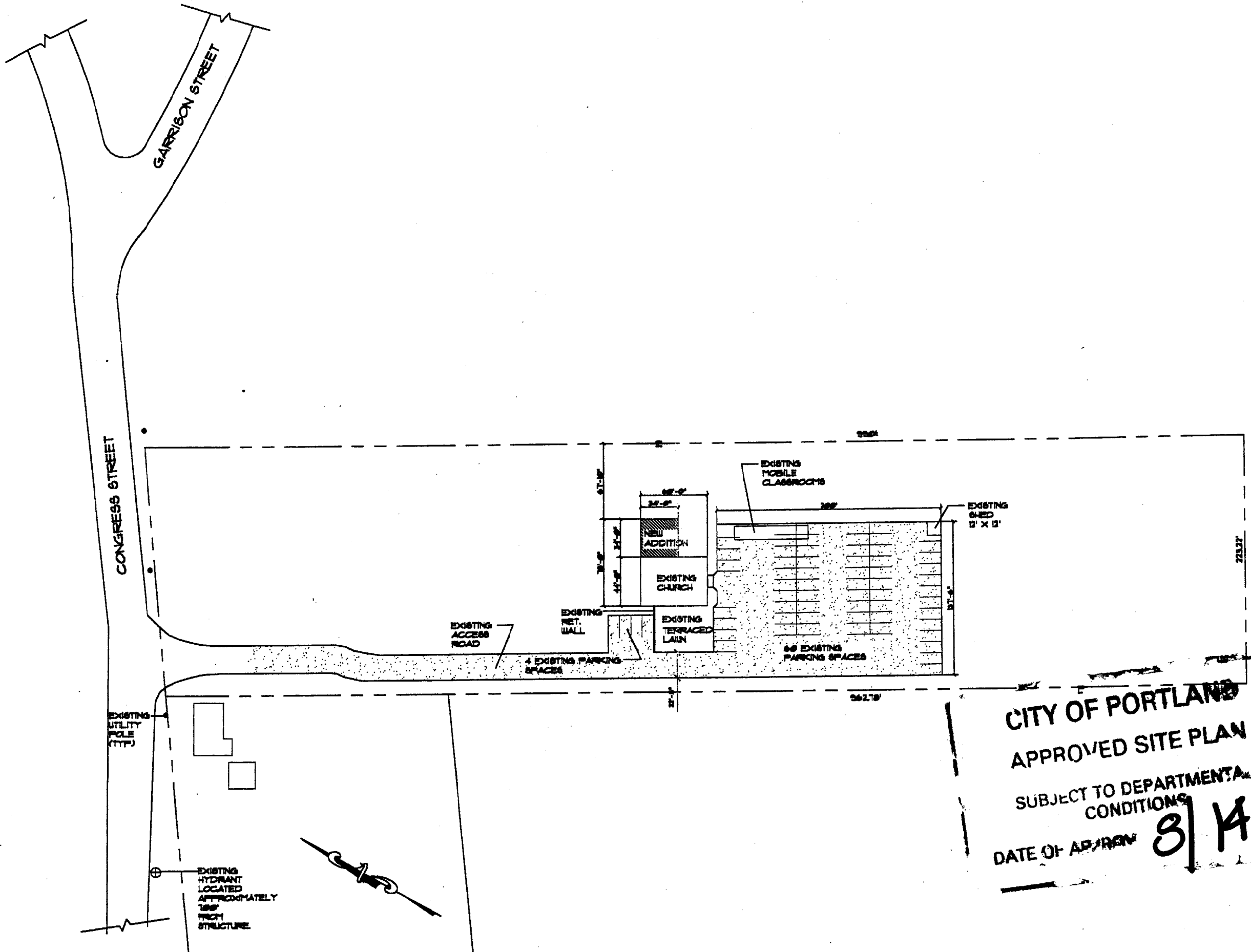
SIDE ELEVATION

ARCHETYPE, P.A.
48 UNION WHARF
PORTLAND, MAINE 04101

SCALE: 1/8" = 1'-0"

DATE: JULY 17, 2001

AA. 5



CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS
 DATE OF APPROVAL 8/14/01

ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Street Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4055

Project:
CHRISTCHURCH
 1900 CONGRESS ST.
 Portland, Maine

Date	Scale	Checked By
June 3, 2001	1" = 40'-0"	
Drawn By		
Revisions		

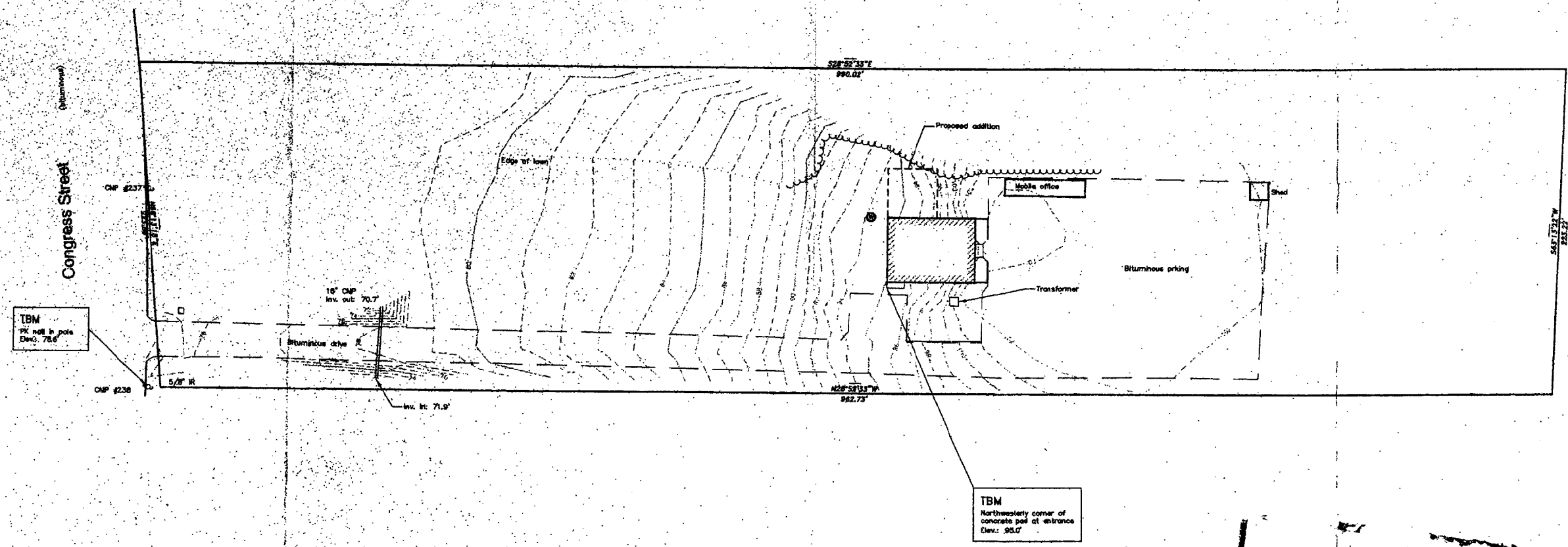
SITE PLAN

S1

Att. 6

NOTES
 1) Bearings are based on Magnetic North 1886.
 2) Deviations are based on the City of Portland datum and are referenced to a plan entitled "Harbor Front Estates, Harbor Street, Portland, Maine" made for Robert Corporation by Howard Association dated August 26, 1886.
 3) This is not a standard boundary survey. Property lines shown are based on the above referenced plan.

- LEGEND
- Catch basin
 - Utility pole
 - Edge of pavement
 - Curb (granite)
 - ~ Tree line
 - - - Edge of lawn
 - - - 1' contour
 - - - 5' contour
 - ▨ Existing building



This is NOT a standard boundary survey. Surveyor's liability is for geographic information only.
 Judith A. Smith
 Judith A. Smith
 Date: 6/1/2001
 PLS #2320

SCALE IN FEET
 0 40 80

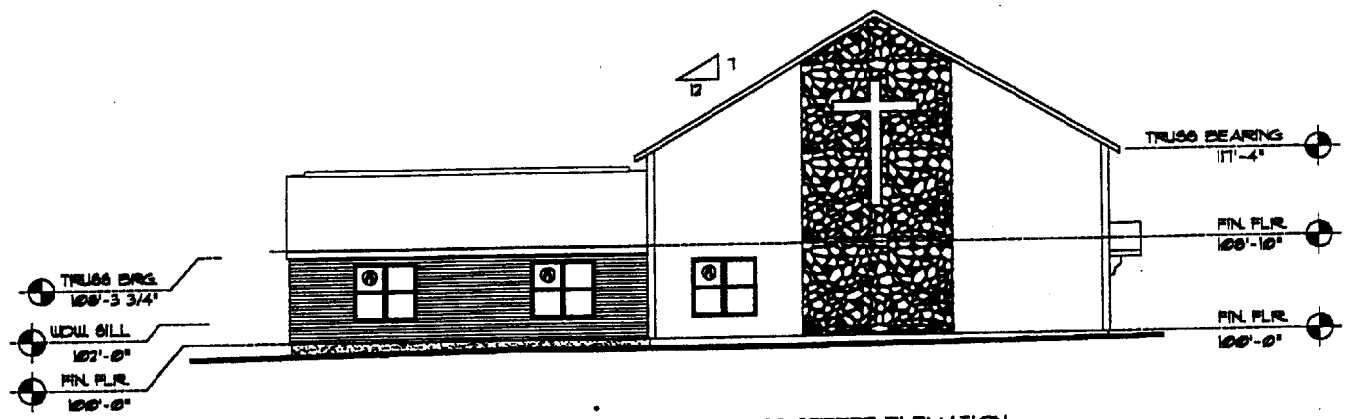
CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL CONDITIONS

1900 Congress Street Portland, Maine
 MADE FOR
 Christchurch
 1900 Congress Street Portland, Maine

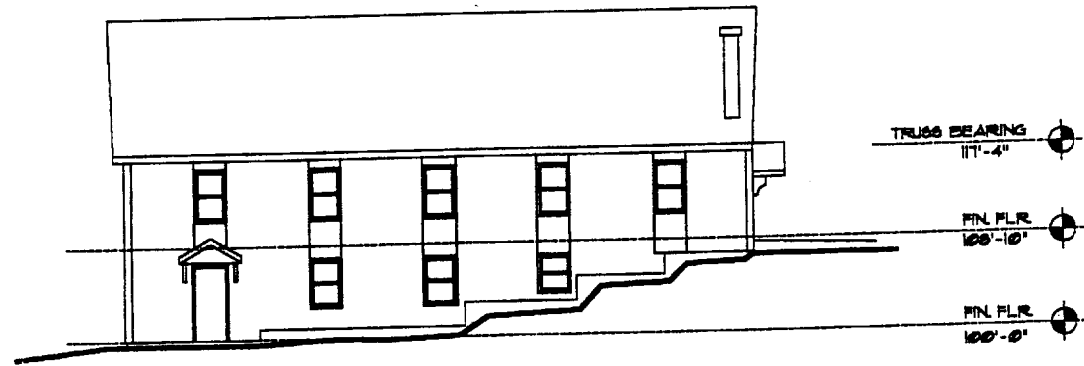
DATE OF APPROVAL

JOB# 7732	DATE: June 1, 2001	SCALE: 1" = 40'
BOOK# 589	T. Pitcomb Associates	
7732L.dwg	133 Gray Road Falmouth, Maine 04105	
FILE# 807		

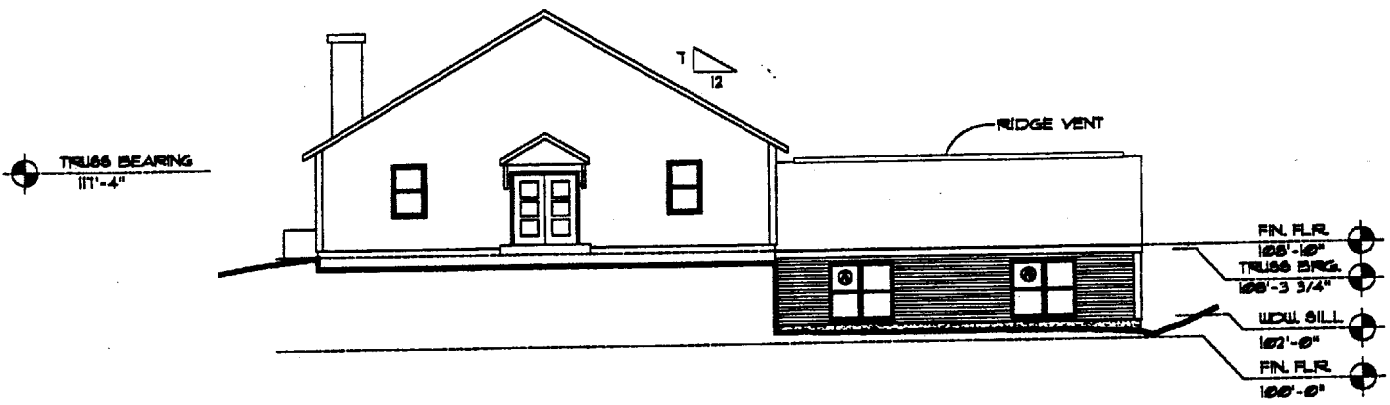
A4. 7



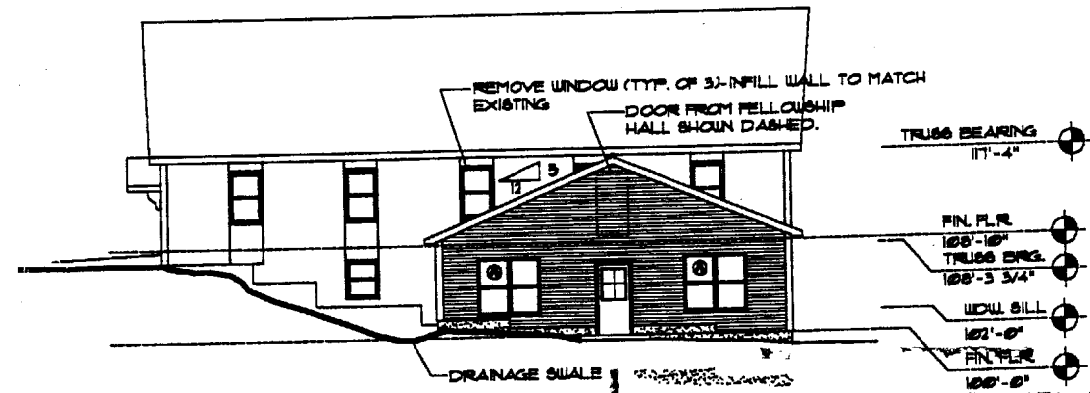
CONGRESS STREET ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"



ENTRY ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"

CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS
DATE OF APPROV

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-8022 Fax (207) 772-4058

Project:
CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

Date	Drawn By	Checked By	Scale
			As Noted

ELEVATIONS

A6

CHRISTCHURCH

1900 CONGRESS STREET
PORTLAND, ME 04102

ESTIMATE FOR
E. G. Johnson Co.
773-1630
Randy Johnson

Index of Drawings

T1	TITLE SHEET
S1	SITE PLAN
A1	FOUNDATION PLAN, DETAIL AND ROOF FRAMING PLAN
A2	FIRST FLOOR PLAN, DOOR SCHEDULE
A3	LOWER LEVEL FLOOR PLAN, DETAILS
A4	WALL DETAILS
A5	WALL SECTIONS
A6	ELEVATIONS
A7	REFLECTIVE CEILING PLAN, FINISH SCHEDULE

Building Code Criteria

CHRISTCHURCH
Portland, Maine

This code review is based on the 1996 I.O.C.A. Code, A.D.A., and N.F.P.A. Life Safety Code 1997.

Description:

Use Group A-4 church, 6,436 square feet. (Reference BOCA 303)

Height & Area Limitations

Construction Type 5B:

1 Stories, 20' height, 7200 square feet (Reference BOCA Table 503)

Fire Resistance Ratings of Structural Elements per BOCA Table 602.

Item:	Rating:
Exterior Walls - Loadbearing	0 ✓
Exterior Walls - Nonloadbearing	0
Fire Separation Assemblies	
Exit Enclosures	N/A
Shafts/Hoistways	N/A ✓
Mixed Use & Fire Area Separations	2
Interior Loadbearing Walls	0
Structural Members	
Columns	0
Floor	0
Roof	0 ✓

Travel Distance Limitations per NFPA Table A-5-6.1.

Educational - New Construction

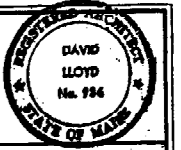
Common Path Limit:	75'
Dead End Limit:	20' ✓
Travel Distance Limit:	150'

Assembly - Existing Construction

Common Path Limit:	20' ✓
Dead End Limit:	20'
Travel Distance Limit:	150'

Business - Existing Construction

Common Path Limit:	75'
Dead End Limit:	50' ✓
Travel Distance Limit:	200'



ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-1056

Project: CHRISTCHURCH

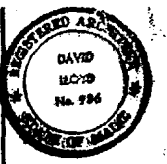
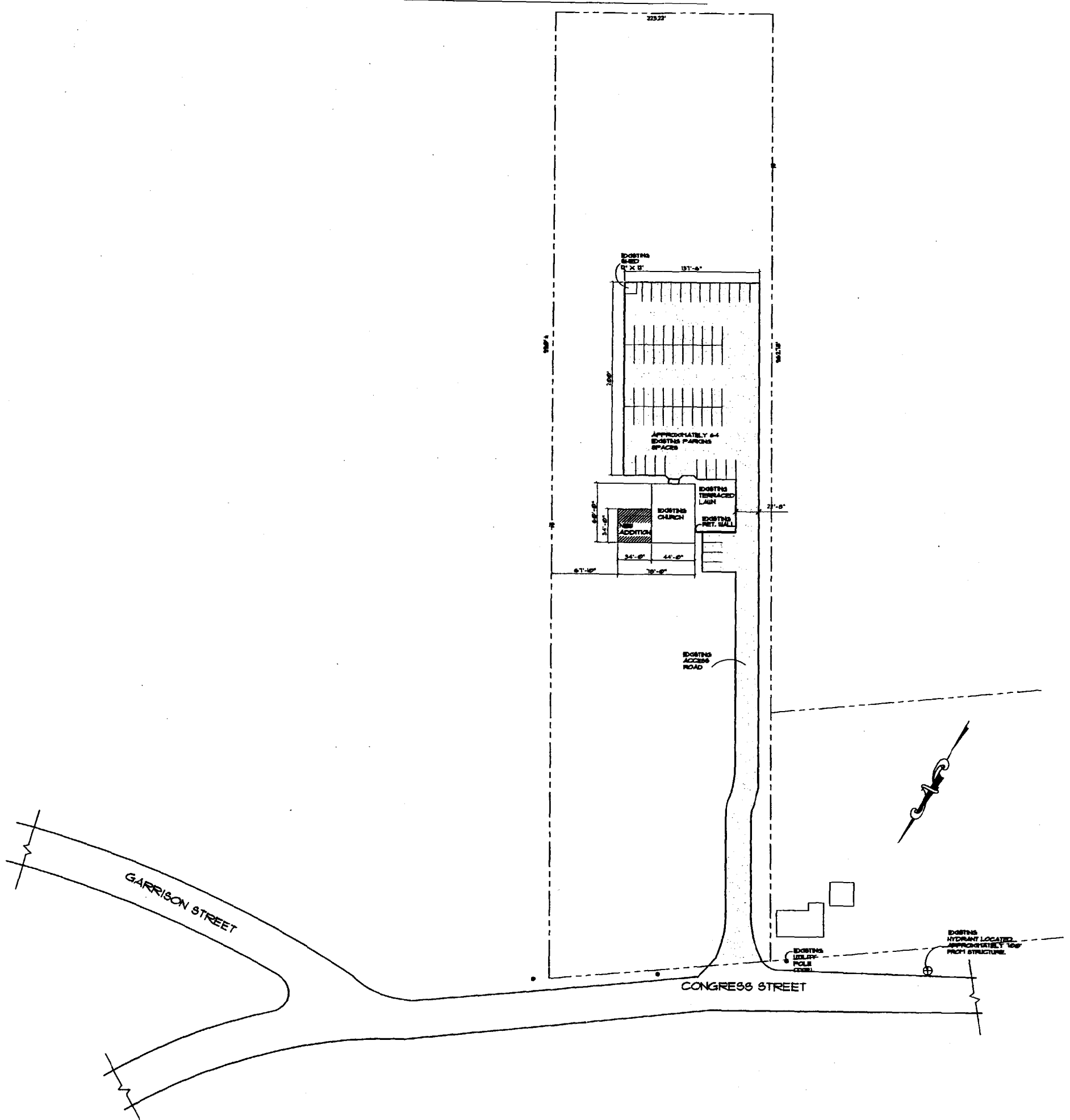
1900 CONGRESS ST.
Portland, Maine

Date: MAY 21 2008	Scale: As Noted
Drawn By:	Checked By:
Revisions:	

COVER SHEET

T1

8/20/01
Plans reviewed on larger plans.



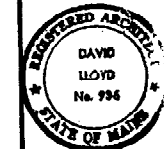
ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-8022 Fax (207) 772-4056

Project:
CHRISTCHURCH
 1900 CONGRESS ST.
 Portland, Maine

Date	MAY 2, 2001	Scale	1" = 50'-0"
Drawn By		Checked By	
Revisions			

SITE PLAN

SI



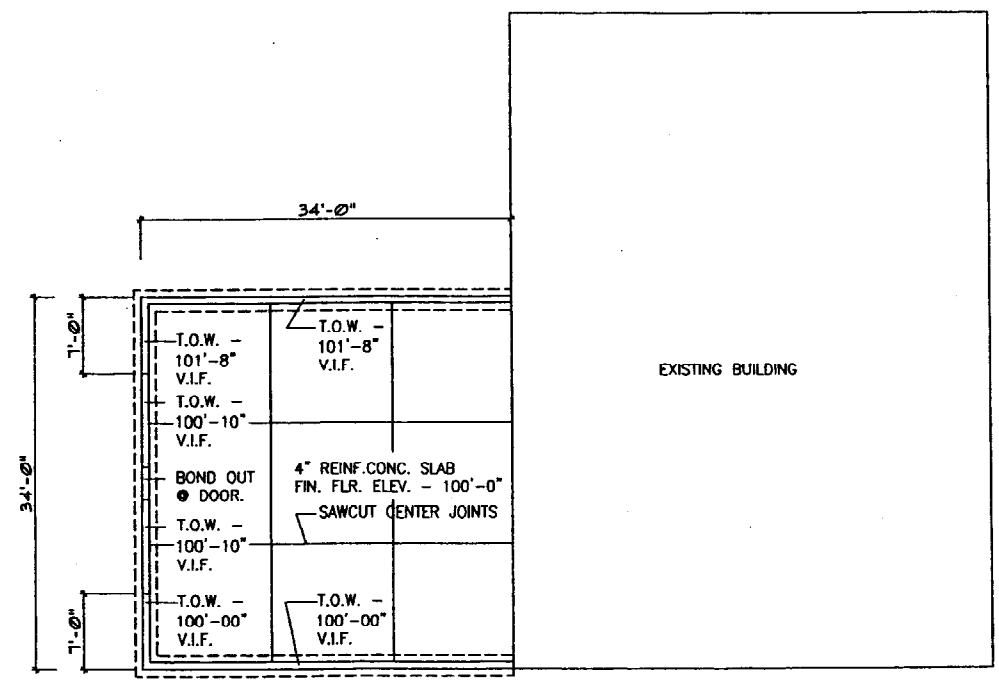
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

Date	MAY 21 2008
Scale	As Noted
Drawn By	Checked By
Revisions	

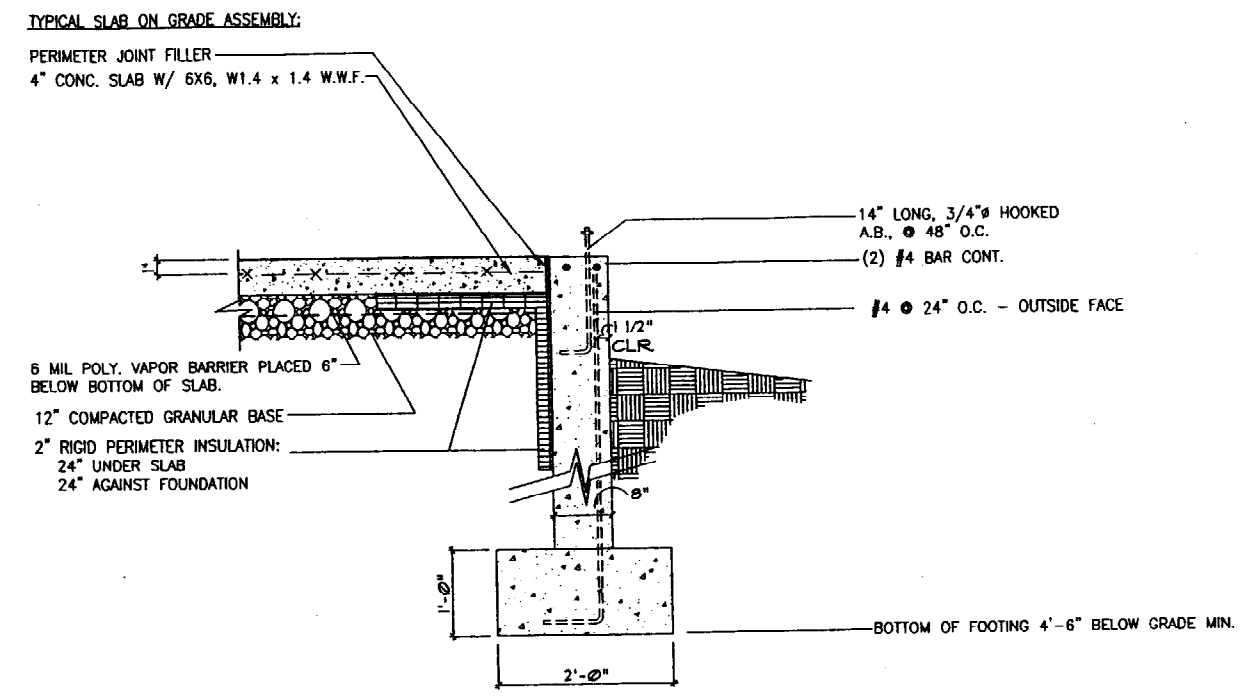
Foundation Plan, Detail
Roof Framing Plan

A1

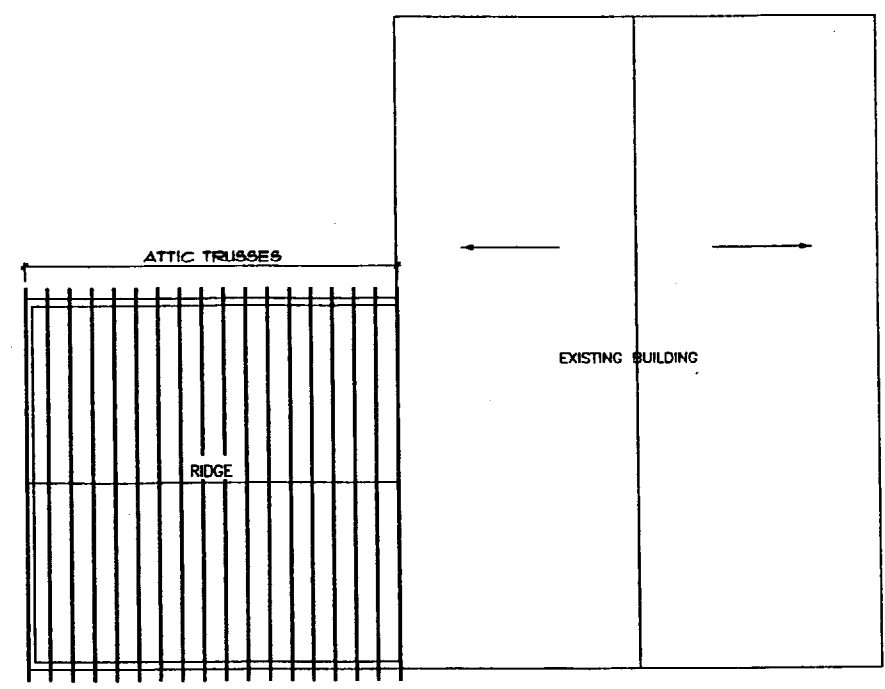


FOUNDATION NOTE: VERIFY T.O.W. ELEVATIONS WITH FINISHED GRADES.
MAINTAIN 8" MIN. CLEAR FROM FINISH GRADE TO SIDING.

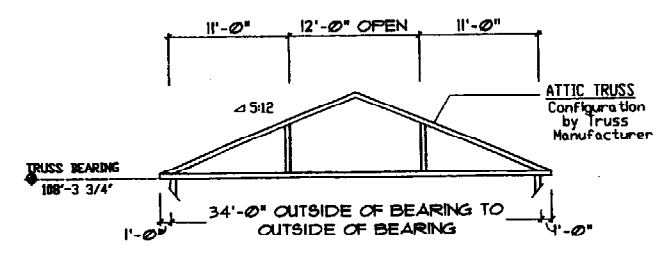
2 FOUNDATION PLAN
SCALE: 1/8"=1'-0"



1 TYPICAL FOUNDATION WALL SECTION
SCALE: 1"=1'-0"

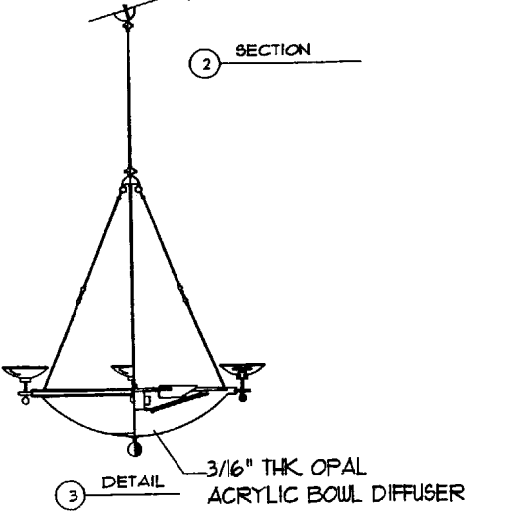
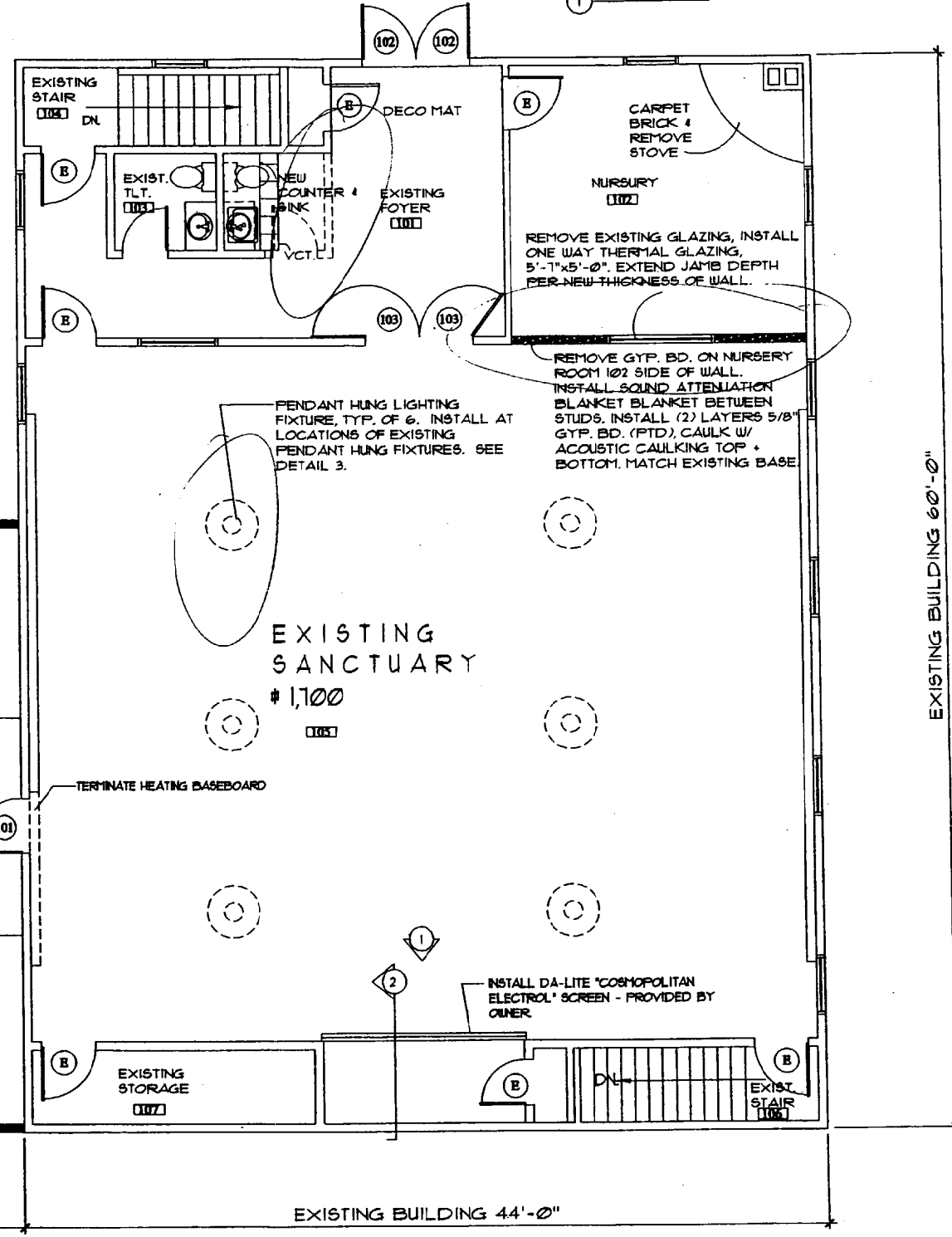
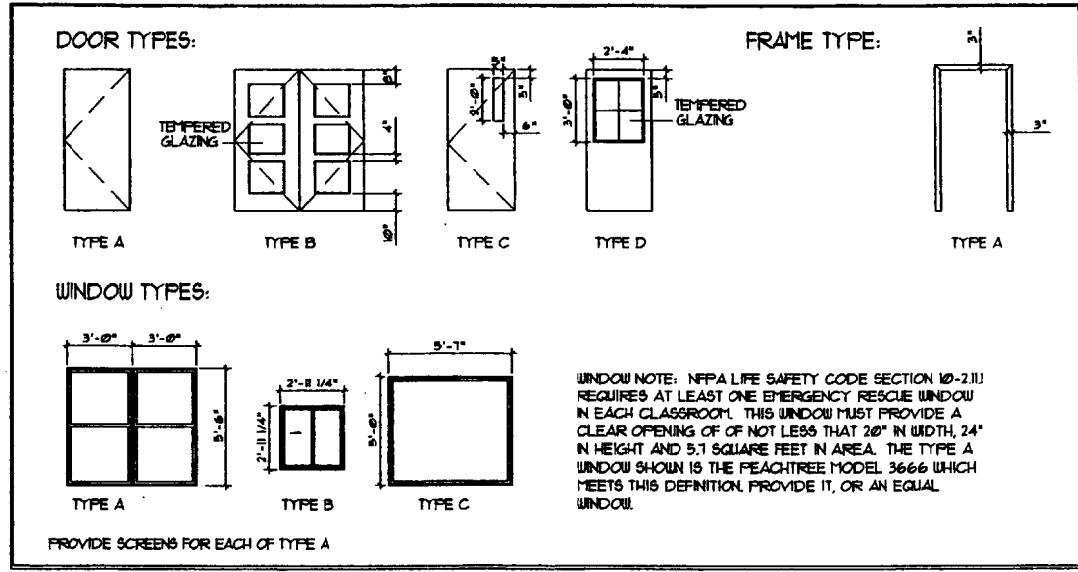
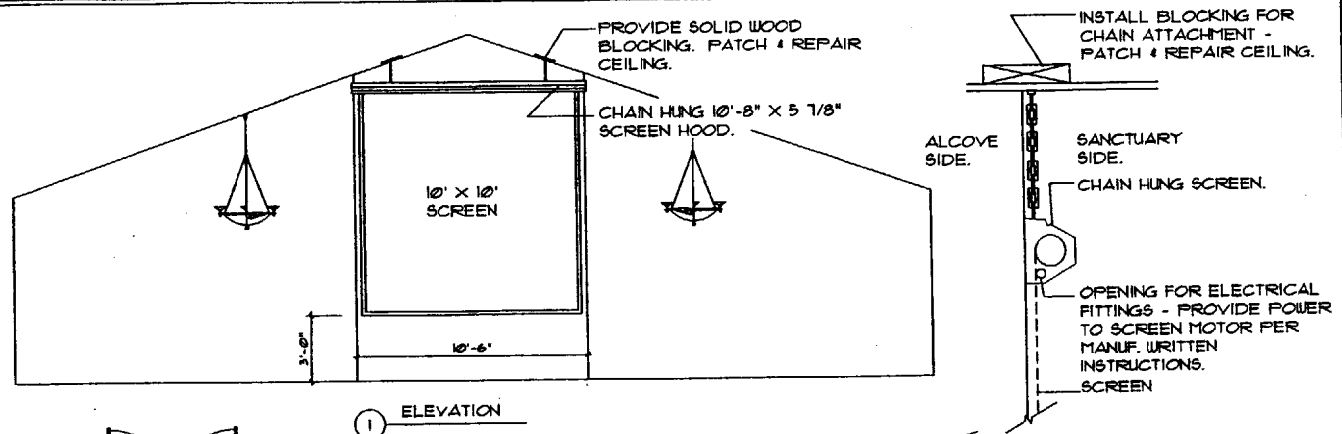


3 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"



- SCHMATIC TRUSS ELEVATION
- LOADING CRITERIA:
TC SNOW LOAD = 42 PSF
TC DL = 10 PSF
BC LIVE (STORAGE) LOAD = 40 PSF (OPEN AREA)
BC DL = 5 PSF
UNBALANCED LOADS AND LOAD COMBINATIONS PER BOCA 1993.
 - SPACE TRUSSES AT 24" O.C.
 - ALIGN STUDS WITH TRUSS LAYOUT.
 - SIMPSON HI HURRICANE CLIP AT BOTH ENDS OF ALL TRUSSES.

DOOR SCHEDULE											
ID.	WIDTH	HEIGHT	THICK.	TYPE	MATERIAL	FINISH	TYPE	FRAME	MATERIAL	FINISH	REMARKS
E											DOORS NOTED AS "E" ARE EXISTING DOORS TO REMAIN.
201	3'-0"	6'-0"	1 3/4"	A	DNK	STAIN	A	HM	PTL		PROVIDE PASSAGE SET HARDWARE, 1 1/2 HOUR RATED DOOR
202	3'-0"	6'-0"	1 3/4"	B	DNK GLASS	STAIN	EXIST.	VB			INSULATED/TEMPERED GLAZING, PANIC HARDWARE, EXISTING FRAME TO REMAIN
203	3'-0"	6'-0"	1 3/4"	B	DNK GLASS	STAIN	EXIST.	VB			TEMPERED GLAZING, PUSH PULL, EXISTING FRAME TO REMAIN
204	3'-0"	6'-0"	1 3/4"	C	DNK	STAIN	A	VB	STAIN		PROVIDE OFFICE SET HARDWARE
205	3'-0"	6'-0"	1 3/4"	C	DNK	STAIN	A	VB	STAIN		PROVIDE OFFICE SET HARDWARE
206	3'-0"	6'-0"	1 3/4"	C	DNK	STAIN	A	VB	STAIN		PROVIDE OFFICE SET HARDWARE
207	3'-0"	6'-0"	1 3/4"	C	DNK	STAIN	A	VB	STAIN		PROVIDE OFFICE SET HARDWARE
208	3'-0"	6'-0"	1 3/4"	C	DNK	STAIN	A	VB	STAIN		PROVIDE OFFICE SET HARDWARE
209	3'-0"	6'-0"	1 3/4"	B	DNK	STAIN	A	VB	STAIN		PROVIDE PASSAGE SET HARDWARE
210	3'-0"	6'-0"	1 3/4"	A	DNK	STAIN	A	HM	PTL		PROVIDE PANIC HARDWARE, EXTERIOR
211	3'-0"	6'-0"	1 3/4"	A	DNK	STAIN	A	HM	PTL		PROVIDE MAGNETIC HOLDBACKS CONNECTED TO SMOKE DETECTORS, 1 1/2 HR RATED



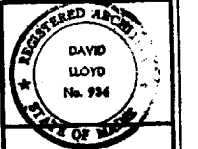
UPPER LEVEL
SCALE 1/4"=1'-0"

SQUARE FOOTAGE SCHEDULE

EXISTING UPPER LEVEL:	2,640 SQUARE FEET
EXISTING LOWER LEVEL:	2,640 SQUARE FEET
NEW LOWER LEVEL:	1,156 SQUARE FEET
TOTAL BUILDING:	6,436 SQUARE FEET

LEGEND

	NEW WALL
	DEMO
	SOUNDPROOFING



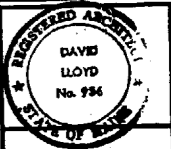
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project: CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

Date	Scale	Checked By
MAY 21 2001	1/4" = 1'-0"	
Drawn By	Revisions	

UPPER LEVEL DOOR SCHEDULE

A2



ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

Date	Scale	As Noted
MAY 21 2001	1/4" = 1'-0"	Checked By
Drawn By		Revisions

LOWER LEVEL PLAN
DETAILS

A3

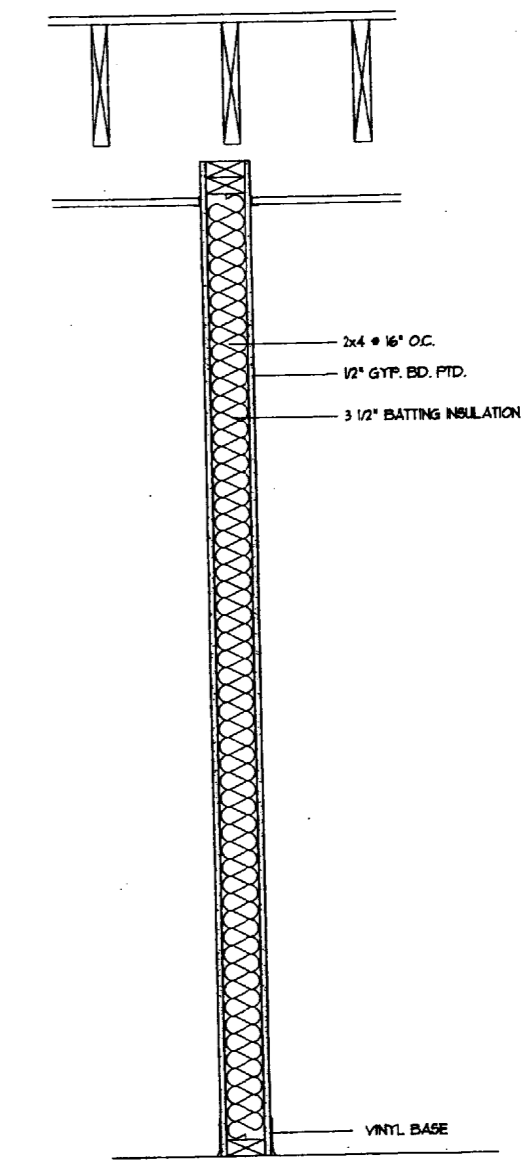
LOWER LEVEL

SCALE 1/4" = 1'-0"

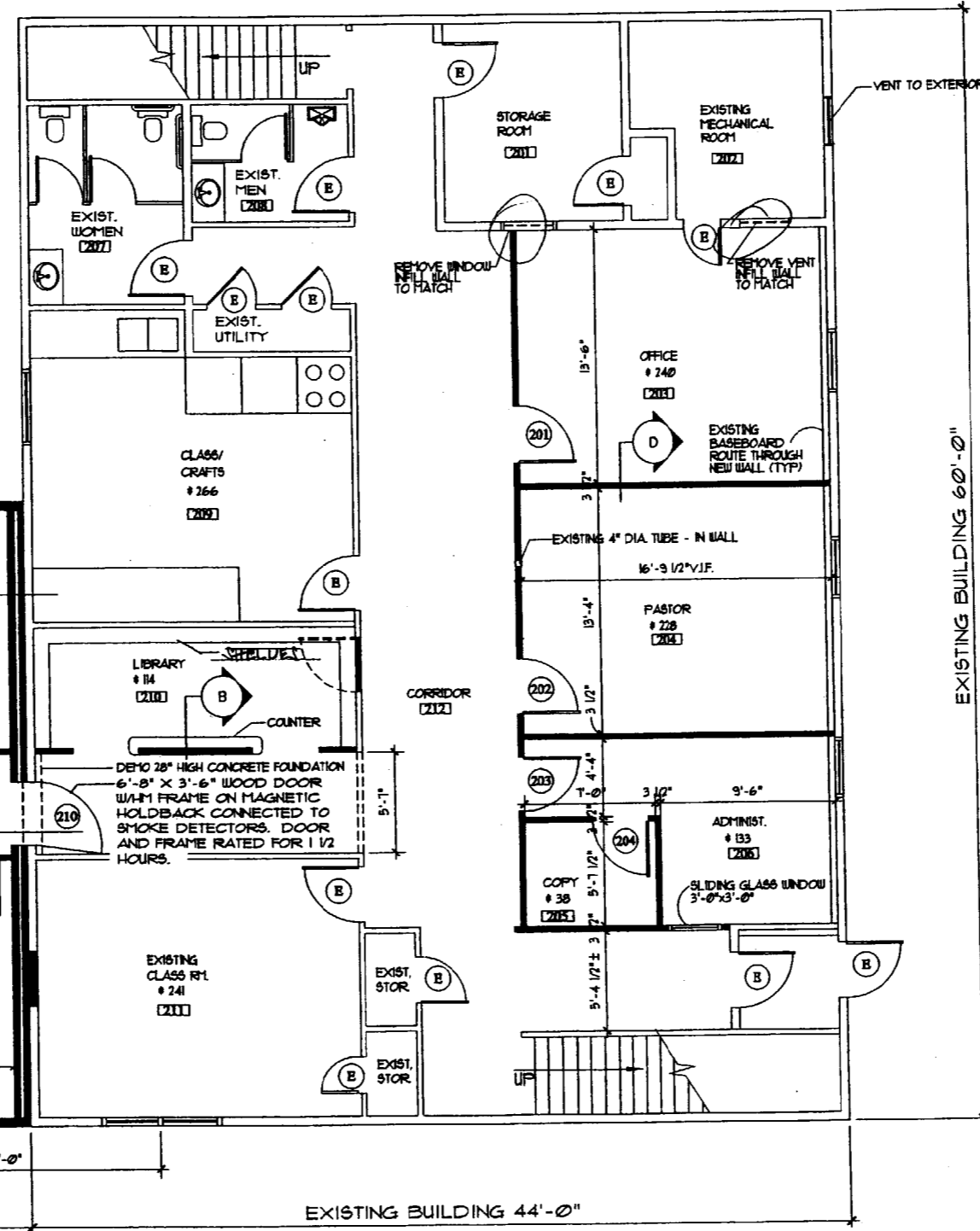
SQUARE FOOTAGE SCHEDULE
EXISTING LOWER LEVEL: 2,640 SQUARE FEET
NEW LOWER LEVEL: 1,156 SQUARE FEET
TOTAL LOWER LEVEL: 3,796 SQUARE FEET

LEGEND

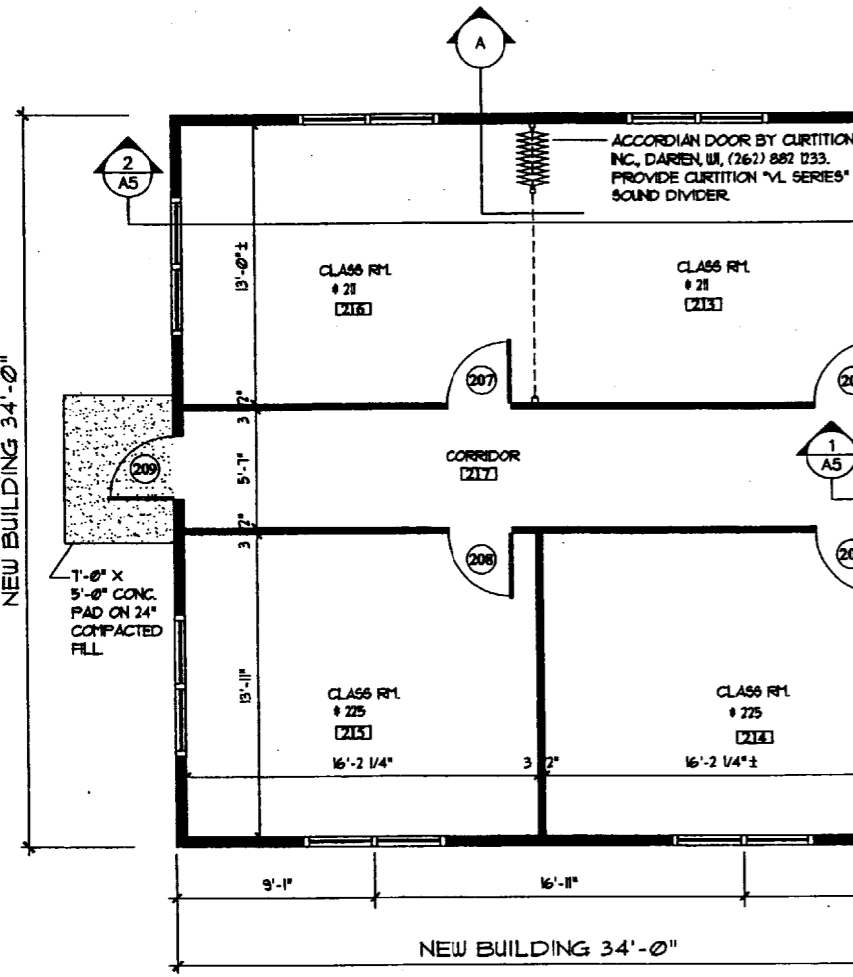
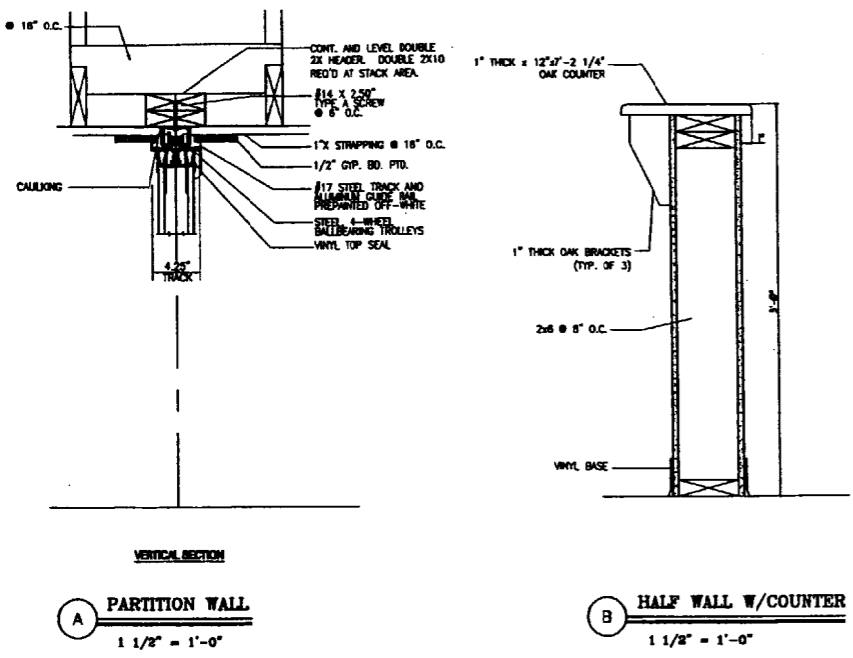
- NEW WALL
- DEMO



D TYPICAL PARTITION WALL
1 1/2" = 1'-0"

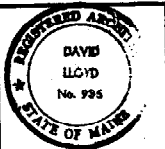


C LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



A PARTITION WALL
1 1/2" = 1'-0"

B HALF WALL W/COUNTER
1 1/2" = 1'-0"



ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

Scale:	1" = 1'-0"
Checked By:	
Drawn By:	
Revisions:	

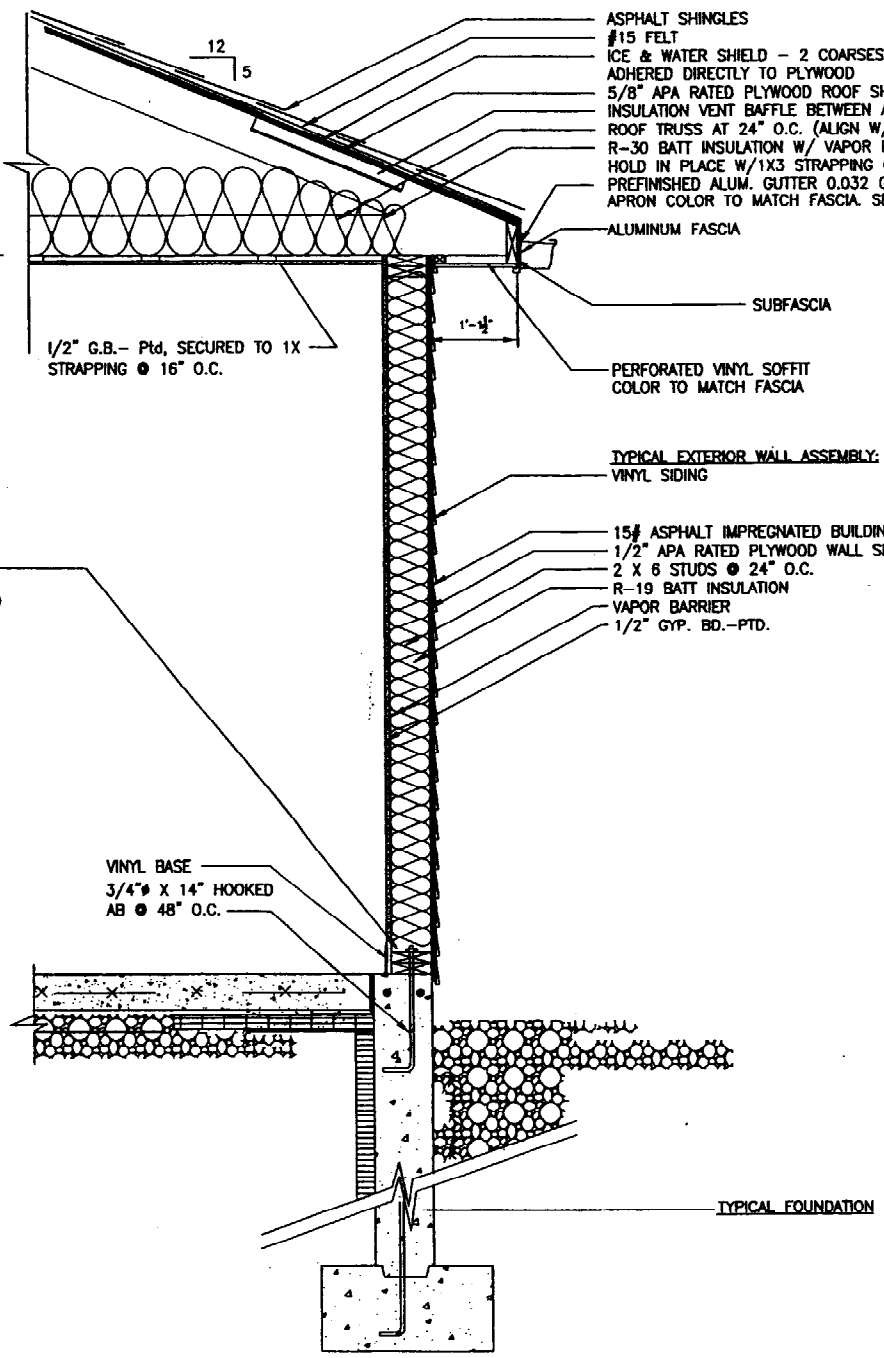
WALL DETAILS

A4

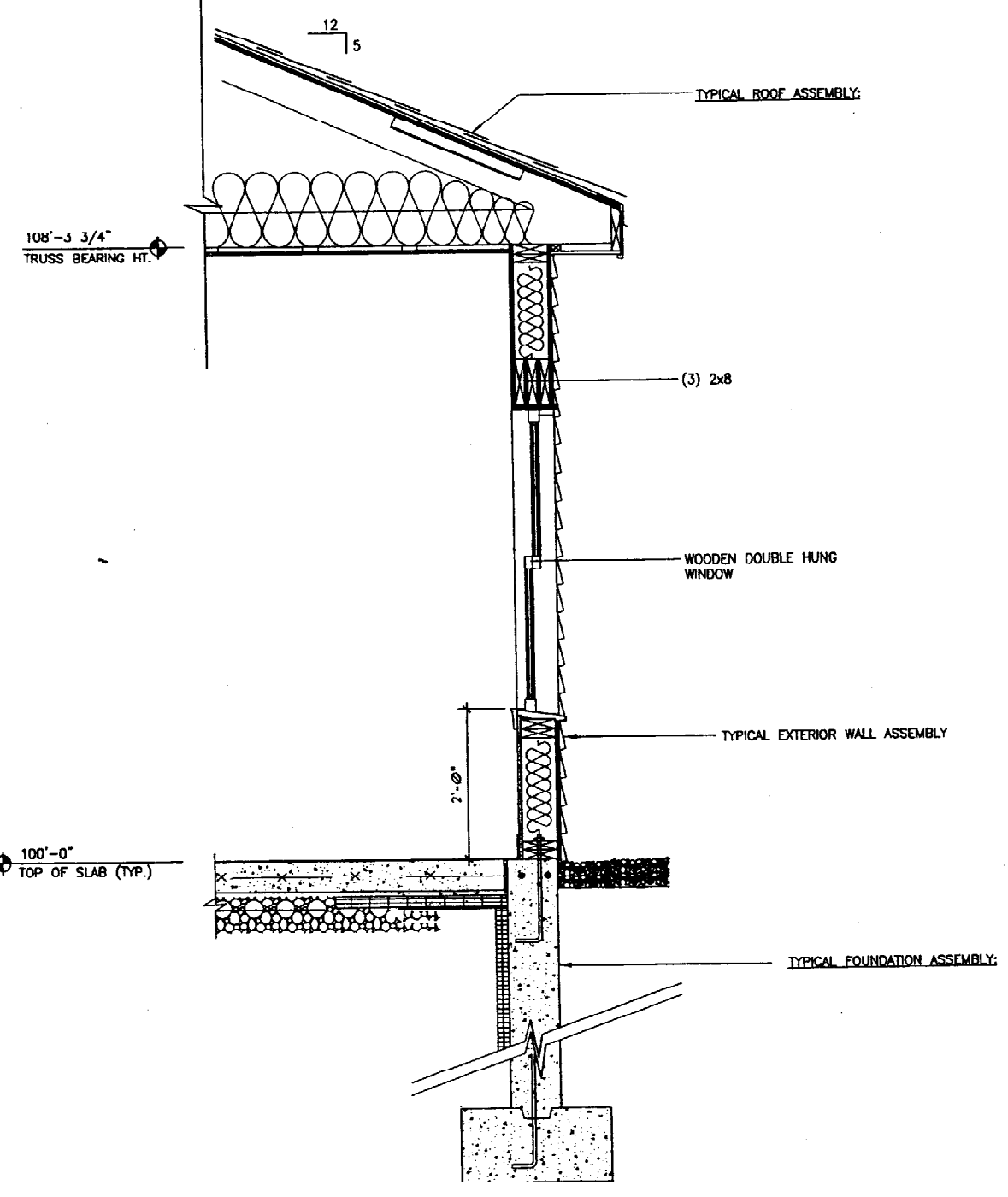
TYPICAL ROOF ASSEMBLY:
RIDGE VENT
ASPHALT SHINGLES
#15 FELT
ICE & WATER SHIELD - 2 COARSE W/ 12" OVERLAP
ADHERED DIRECTLY TO PLYWOOD
5/8" APA RATED PLYWOOD ROOF SHEATHING
INSULATION VENT BAFFLE BETWEEN ALL TRUSSES
ROOF TRUSS AT 24" O.C. (ALIGN W/STUDS)
R-30 BATT INSULATION W/ VAPOR BARRIER
HOLD IN PLACE W/1X3 STRAPPING @ 16" O.C.
PREFINISHED ALUM. GUTTER 0.032 GA. W/ BAR HANGERS AND FASCIA
APRON COLOR TO MATCH FASCIA

TYPICAL EXTERIOR WALL ASSEMBLY:
VINYL SIDING

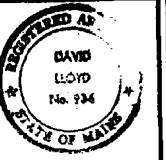
15# ASPHALT IMPREGNATED BUILDING PAPER
1/2" APA RATED PLYWOOD WALL SHEATHING
2 X 6 STUDS @ 24" O.C.
R-19 BATT INSULATION
VAPOR BARRIER
1/2" GYP. BD.-PTD.



1 TYPICAL WALL DETAIL
1" = 1'-0"



2 TYPICAL WINDOW SECTION
1" = 1'-0"



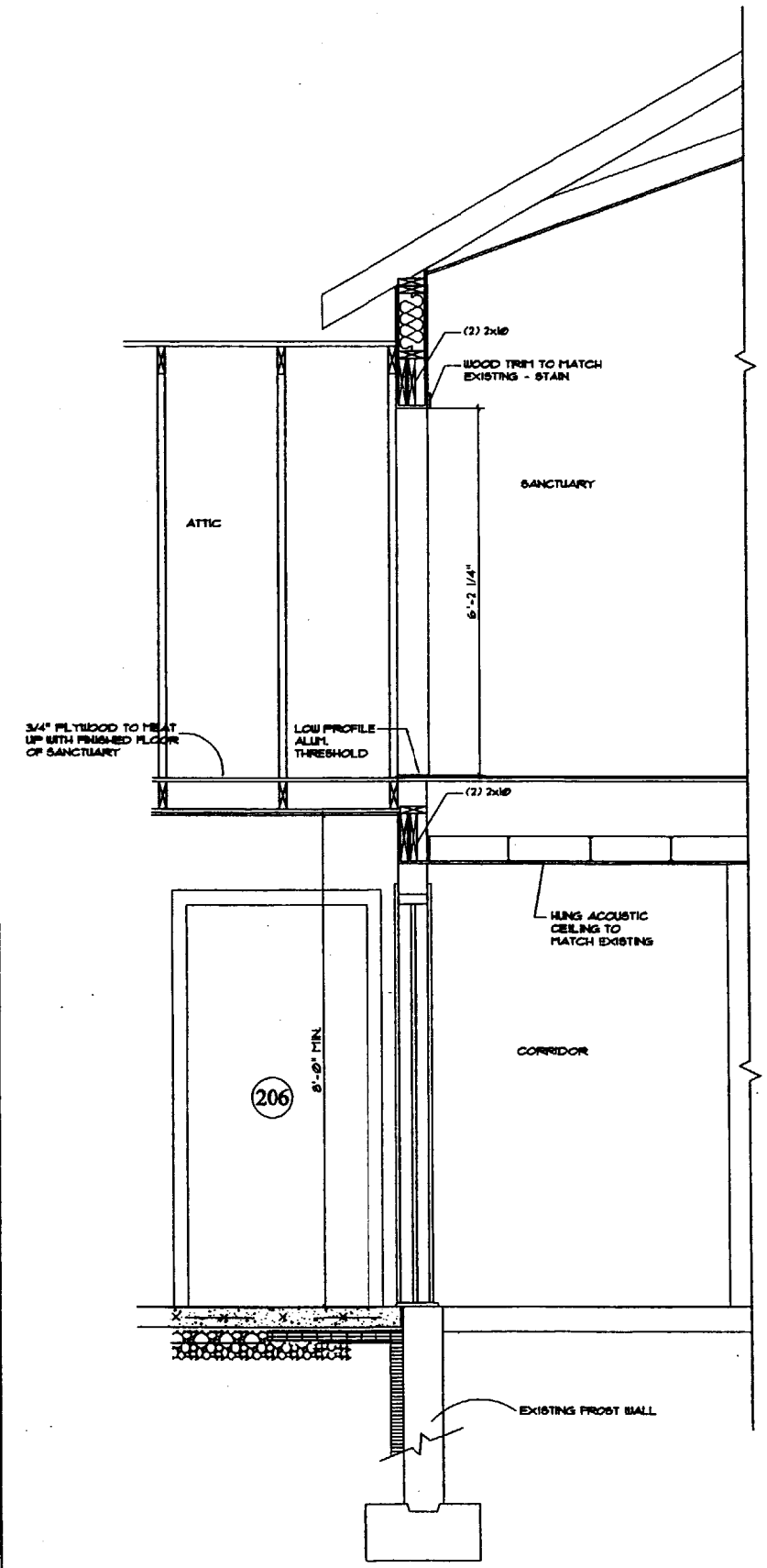
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

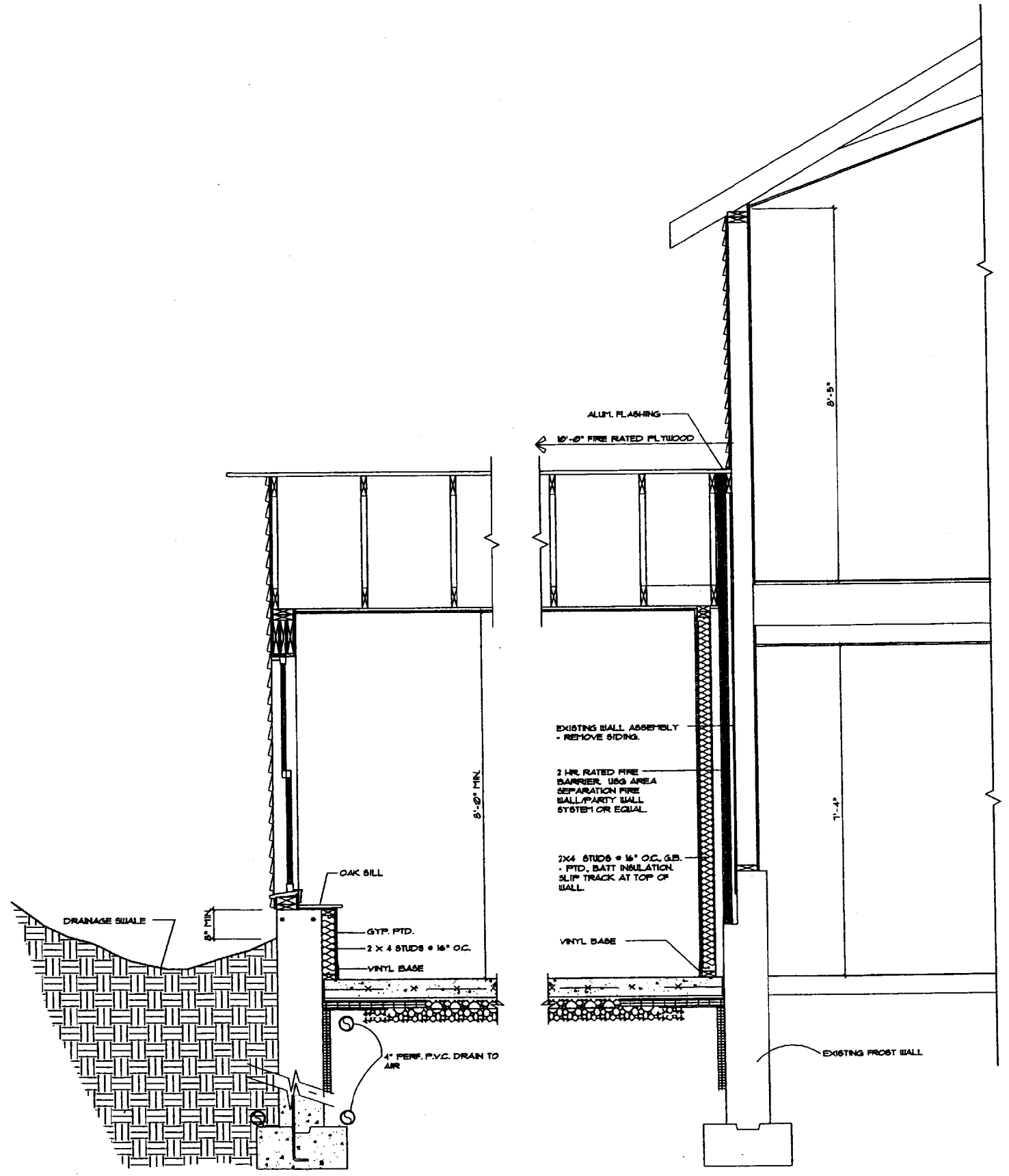
Date	Scale	Drawn By	Checked By
MAY 21 2001	3/4" = 1'-0"		
Revisions			

WALL SECTIONS

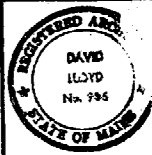
A5



1 WALL UNION SECTION
3/4" = 1'-0"



2 NEW BUILDING WINDOW SECTION
3/4" = 1'-0"



ARCHETYPE, P.A.
ARCHITECTS

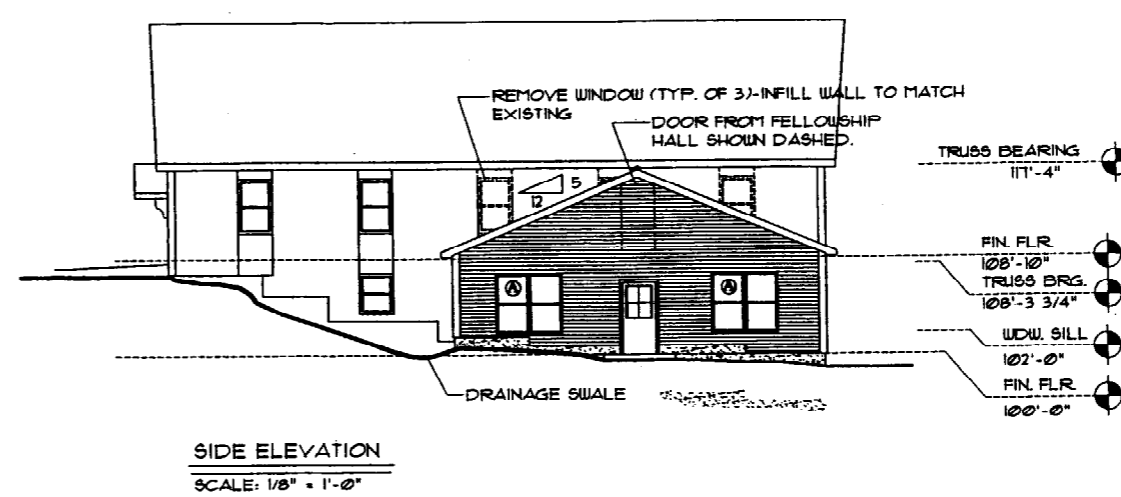
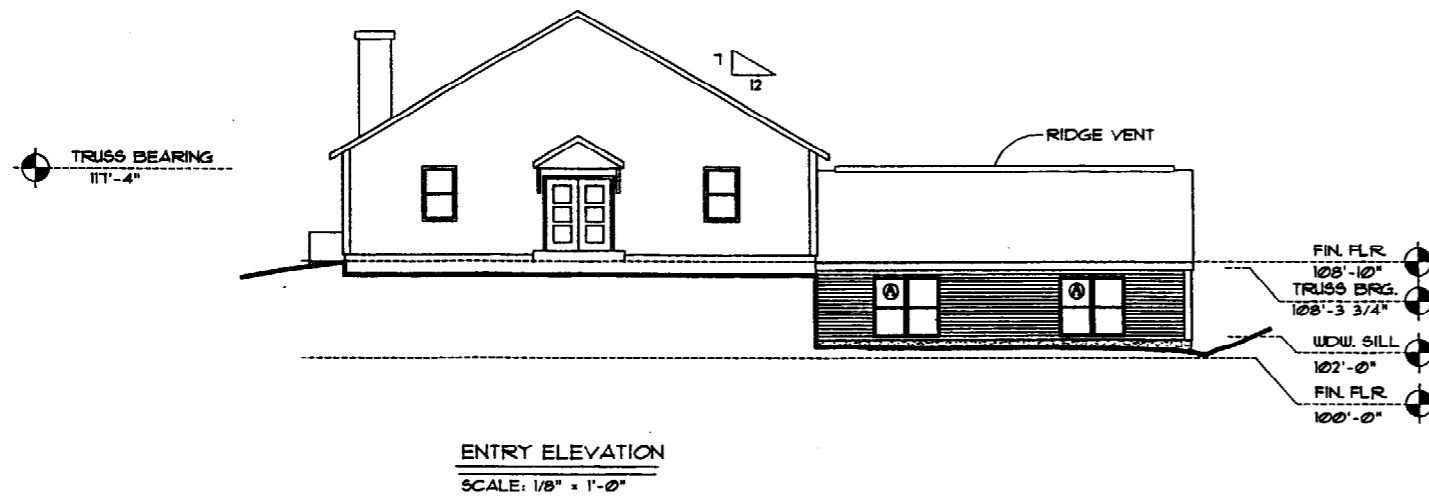
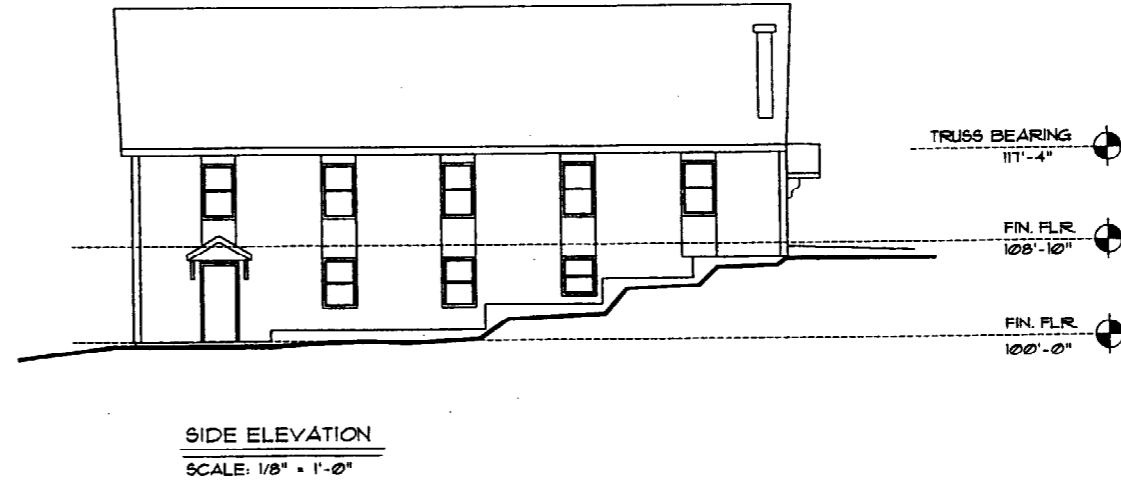
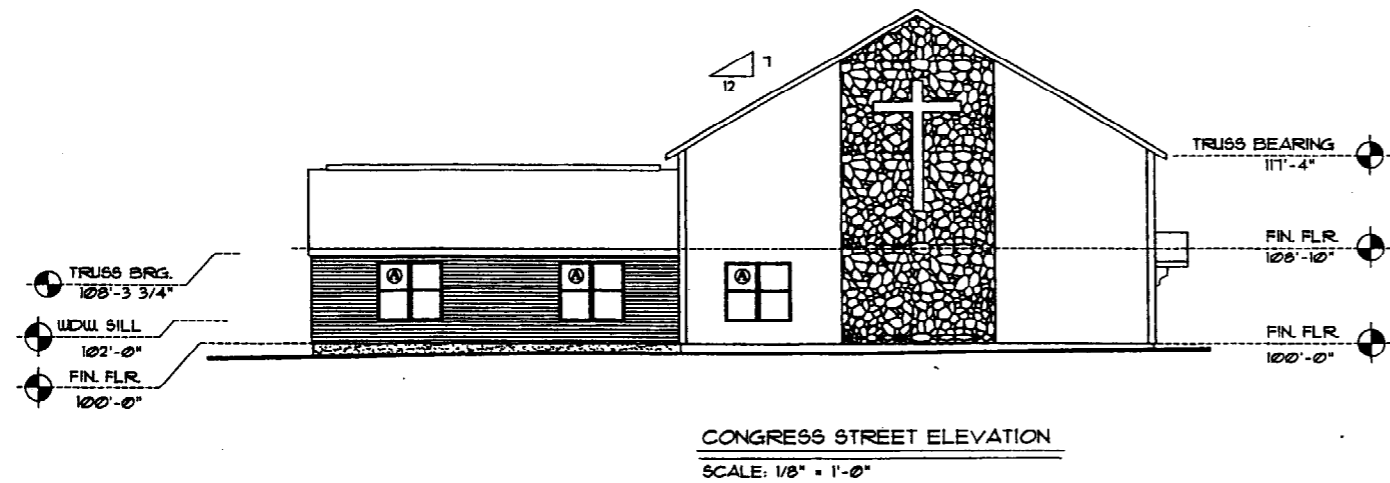
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4036

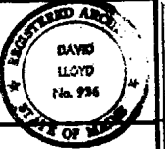
Project:
CHRISTCHURCH
1900 CONGRESS ST.
Portland, Maine

Date	Scale	As Noted
MAY 21 2001	As Noted	Checked By
Drawn By		Revisions

ELEVATIONS

A6





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Project:
 CHRISTCHURCH
 1900 CONGRESS ST.
 Portland, Maine

Date: MAY 21 2001
 Scale: 1/4" = 1'-0"
 Checked By:
 Drawn By:
 Revisions:

LOWER LEVEL
 REFLECTIVE CEILING
 PLAN

A7

ROOM FINISH SCHEDULE											
ROOM NAMES	ROOM NUMBER	FLOOR	BASE	WALLS	CLS. WALL	NOTES					
FOYER	201		WOOD INSE - STAIR	EXISTING	EXISTING	1'-0" DEEP VCT PER PLANS					
NURSERY	202		WOOD INSE - STAIR	EXISTING	EXISTING						
TOILET	203		WOOD INSE - STAIR	EXISTING	EXISTING						
STAIR #1	204		WOOD INSE - STAIR	EXISTING	EXISTING						
SANCTUARY	205		WOOD INSE - STAIR	EXISTING	EXISTING						
STAIR #2	206		WOOD INSE - STAIR	EXISTING	EXISTING						
STORAGE	207		WOOD INSE - STAIR	EXISTING	EXISTING						
ATTIC STORAGE	208		WOOD INSE - STAIR	EXISTING	EXISTING						
STORAGE ROOM	209		WOOD INSE - STAIR	EXISTING	EXISTING						
MECHANICAL	210		WOOD INSE - STAIR	EXISTING	EXISTING	INSTALL 2 LAYERS OF 5/8" GYP. BD - CEILING, WALLS					
YOUTH ROOM	211		WOOD INSE - STAIR	EXISTING	EXISTING	1, 2					
PASTOR OFFICE	212		WOOD INSE - STAIR	EXISTING	EXISTING	1, 2					
COPY ROOM	213		WOOD INSE - STAIR	EXISTING	EXISTING	1, 2					
ADMIN OFFICE	214		WOOD INSE - STAIR	EXISTING	EXISTING	1, 2					
WOMEN'S TOILET	215		WOOD INSE - STAIR	EXISTING	EXISTING	1					
MEN'S TOILET	216		WOOD INSE - STAIR	EXISTING	EXISTING	1					
DRYERS ROOM	217		WOOD INSE - STAIR	EXISTING	EXISTING	1					
LIBRARY	218		WOOD INSE - STAIR	EXISTING	EXISTING	1, 2					
CLASS ROOM	219		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CORRIDOR	220		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CLASS ROOM	221		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CLASS ROOM	222		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CLASS ROOM	223		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CLASS ROOM	224		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CLASS ROOM	225		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CLASS ROOM	226		WOOD INSE - STAIR	EXISTING	EXISTING	1					
CORRIDOR	227		WOOD INSE - STAIR	EXISTING	EXISTING	1					

GENERAL NOTES:
 1. ALL EXISTING PAINTED BASEBOARDS, DOORS, TRIM, WALLS & CLOS. TO BE PAINTED.
 2. ALL EXISTING CARPET TO REMAIN UNLESS NOTED OTHERWISE. DURING THE WORK ALL EXISTING CARPET TO REMAIN IS TO BE PROTECTED FROM CONSTRUCTION DAMAGE, DIRT AND DEBRIS. AT THE CONCLUSION OF THE WORK ALL EXISTING CARPET IS TO RECEIVE A PROFESSIONAL CLEANING.
 3. DURING THE WORK ALL EXISTING WOOD & TILE FLOOR WHICH ARE TO REMAIN ARE TO BE PROTECTED FROM CONSTRUCTION DAMAGE, DIRT AND DEBRIS. AT THE CONCLUSION OF THE WORK TILE FLOORS ARE TO RECEIVE A PROFESSIONAL CLEANING AND POLISHING, WOOD FLOOR FINISHES ARE TO BE LIGHTLY SANDED AND REFINISHED WITH (2) COATS OF A COMPATIBLE FINISH.
FINISH NOTES:
 1. WASH AND PAINT CEILING GRID, REPLACE TILES.
 2. STAIN NEW BASE TO MATCH EXISTING BASE.

LEGEND
 LIGHTING NOTE: FIXTURES ARE RECESSED IN EXISTING BUILDING LOWER LEVEL, SURFACE MOUNTED IN NEW BUILDING.

- GYP. BD. CEILING
- 1'X4' PARABOLIC FLUORESCENT LIGHTING
- EXISTING 1'X4' FLUORESCENT LIGHTING
- 2'X2' PARABOLIC FLORESCENT LIGHTING
- 2'X4' EXISTING FLUORESCENT LIGHTING
- 2'X4' PARABOLIC FLUORESCENT LIGHTING

