

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that WR PORTLAND HOTELLCC

Located At 1050 WESTBROOK ST

Job ID: 2011-06-1236-SIGN

CBL: 210 - A - A - 005 - 001 - - - -

has permission to Replace Existing Signage

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

N/A

*A. B. Mc* 6/6/11

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Call for final inspection when installation is complete.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-06-1236-SIGN

Located At: 1050 WESTBROOK  
ST

CBL: 210 - A - A - 005 - 001 - - - -

## **Conditions of Approval:**

### **Building**

Signage Installation to comply with Chapters 31 & 32 of the IBC 2009 building code.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-06-1236-SIGN</b>	Date Applied: <b>5/31/2011</b>	CBL: <b>210 - A - A - 005 - 001 - - - - -</b>	
Location of Construction: <b>1050 WESTBROOK ST</b>	Owner Name: <b>WR PORTLAND HOTEL LLC</b>	Owner Address: <b>30 SOUTH WACKER DR STE 3600 CHICAGO, IL 60606</b>	Phone: <b>207-482-4360</b>
Business Name:	Contractor Name: <b>Bailey Sign, Deanna</b>	Contractor Address: <b>9 Thomas DR WESTBROOK ME 04092</b>	Phone: <b>(207) 774-2843</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>SIGN</b>	Zone: <b>A-B</b>
Past Use: <b>Hotel - Embassy Suites</b>	Proposed Use: <b>Hotel - Embassy Suites - change signs - Pylon sign 6'5 3/16" x 5'6", two building signs (30" x 31'6 5/8" &amp; 48" x 50'5 13/16") &amp; two directional signs</b>	Cost of Work:	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: Type: <i>Sign</i> Signature: <i>ARM</i>
Proposed Project Description: <b>New Signage for Embassy Suites &amp; Cafe Stroudwater</b>		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		<b>Zoning Approval</b>	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>OK</i> <i>6/1/11</i>	Date:	Date: <i>ARM</i>

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON





AB

# Signage/Awning Permit Application

2011-06-12-30

WO# 6874

6.1.11

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1050 Westbrook Street</u>		
Tax Assessor's Chart, Block & Lot Chart# <u>210A</u> Block# <u>A</u> Lot# <u>005</u>	Owner: <u>WR Portland Hotel LLC</u>	Telephone: <u>(207) 482-4360</u> <u>Stacy O'Reilly</u>
Lessee/Buyer's Name (If Applicable): <u>Embassy Suites Hotel</u>	Contractor name, address & telephone: <u>Bailey Sign, Inc.</u> <u>9 Thomas Dr.</u> <u>Westbrook, ME 04092</u> <u>(207) 774-2843</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For I.D. signage = Total Fee: \$ <u>662</u> Awning Fee = cost of work _____ Total Fee: \$ _____
Who should we contact when the permit is ready: <u>Deanna@BaileySign</u> phone: <u>774-2843 x115</u>		
Tenant/allocated building space frontage (feet): Length: <u>300' +/-</u> Height: <u>70' +/-</u> Lot Frontage (feet) <u>900' +/-</u> Single Tenant or Multi Tenant Lot <u>Single</u>		
Current Specific use: <u>Hotel</u> If vacant, what was prior use: _____ Proposed Use: <u>Hotel</u>		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: <u>6' 5 3/16" x 5' 6" = 35.38 sq. ft.</u> Height from grade: <u>13' 1"</u> Bldg. wall sign? (attached to bldg) Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: <u>2 Building Signs.</u> <u>B: 30" x 31' 6 5/8" = 78.88 sq. ft.</u> <u>C: 48" x 50' 5 1/16" = 201.94 sq. ft.</u>		
Proposed awning? Yes _____ No <input checked="" type="checkbox"/> Is awning backlit? Yes _____ No _____ Height of awning: _____ Length of awning: _____ Depth: _____ Is there any communication, message, trademark or symbol on it? Yes _____ No _____ If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes _____ No _____ Dimensions: _____ Bldg. wall sign? (attached to bldg) Yes _____ No _____ Dimensions: _____ Awning? Yes _____ No _____ Sq. ft. area of awning w/communication: _____		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		

316 sq ft total

RECEIVED  
MAY 31 2011  
Dept of Building Inspections  
City of Portland

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws in this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Deanna Emery / Bailey Sign Inc. Date: 5-27-11

This is not a permit; you may not commence ANY work until the permit is issued.

AB zone

freeshading - frontage 200

650 max - proposed 35.38  
16' high - 13' 1" sign  
5' setback - OK.

Building - 2x 101.6 = 203.2 - 201.94 proposed  
sign B -  
sign C - 151.5 x 2 = 303.6 - 201.94 proposed  
- 1 sign probably 5' plus one

107,25 OK



# Signage/Awning Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- Certificate of Liability listing the City as additional insured if any portion of the sign abuts or encroaches on any public right of way, or can fall into any public right of way.
- Letter of permission from the owner indicating the permissions granted and the tenant/space building frontage.
- A sketch plan of lot indicating location of buildings, driveways and any abutting streets or rights of way, lengths of building frontages, street frontages and all existing setbacks. Please indicate on the plan all existing and proposed signs with their dimensions and specific locations. Be sure to include distance from the ground and building façade dimensions for any signage attached to the building.
- A sketch or photo of any proposed sign(s) indicating content, dimensions, materials, source of illumination, construction method as well as specifics of installation/attachment.
- Certificate of flammability required for awning or canopy.
- A UL# is required for lighted signs at the time of final inspection.
- Pre-application questionnaire completed and attached.
- Photos of existing signage
- Details for sign fastening, attachment or mounting in the ground. *using existing*

Permit fee for signage or awning-with-signage: \$30.00 plus \$2.00 per square foot of sign.

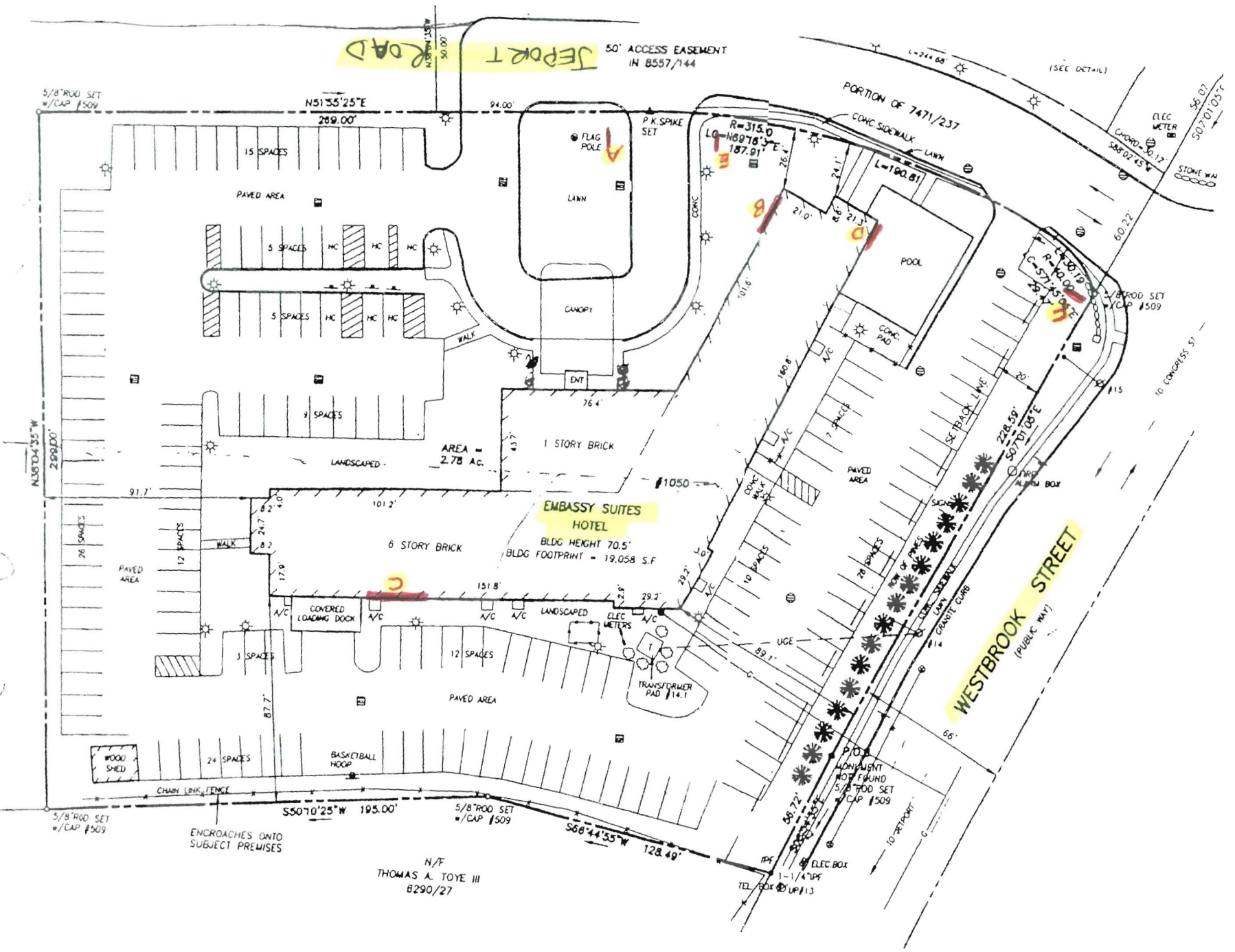
Permit fee for awning-without-signage is based on cost of work:  
\$30.00 for the first \$1,000.00, \$10.00 per additional \$1,000.00 of cost.

Base application fee for any Historic District signage is \$65.00.



REPORT

50' ACCESS EASEMENT  
IN B557/144



REPORT TERMINALS

N/F  
THOMAS A. TOYE III  
B290/27

WRITTEN CONSENT AND AGREEMENT relating to a certain sign(s) proposed to be erected at/on a building located at 1050 Westbrook Street in Portland, ME.  
(Street Address) (City & State)

WP Portland Hotel, LLC being the owner of the premises hereby  
(Property Owner)

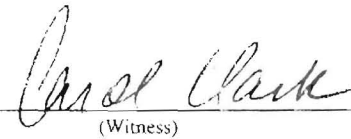
gives consent to the erection of a certain sign(s) by Bailey Sign, Inc. of Westbrook, ME.

In witness whereof, the owner of said premises has signed this consent and agreement this

19<sup>th</sup> day of May, 2011.  
(Day) (Month) (Year)

  
(Property Owner)

MARK ZOTT  
print

  
(Witness)

CAROL CLARK  
print



Client#: 75283

WATEASS2

ACORD™

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
5/19/2011

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER: Weil Team, Mesriow Insurance Services, 353 N. Clark Street, Chicago, IL 60654
INSURED: WR Portland Hotel, LLC, 1050 Westbrook ST, Portland, ME 04102
CONTACT NAME, PHONE (A/C, No, Ext): 312 595-6200, FAX (A/C, No):
INSURER(S) AFFORDING COVERAGE: INSURER A: Wausau Underwriters Ins. Co (26042), INSURER B: American Zurich Insurance Co. (40142), INSURER C: Employers Insurance Company of (21458)

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL INSR, SUBR WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Rows include: A GENERAL LIABILITY (Commercial General Liability, Claims-Made Occur), A AUTOMOBILE LIABILITY (Any Auto, Hired Autos, Scheduled Autos Non-Owned Autos), B UMBRELLA LIAB (Occur, Excess Liab, Retention \$10000), WORKERS COMPENSATION AND EMPLOYERS' LIABILITY (Mandatory in NH), C Liquor.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
City of Portland, ME is Additional insured on the general liability policy if required by written contract with a Named Insured. RE: New signage, Portland Embassy Suites.

CERTIFICATE HOLDER: City of Portland Maine, 389 Congress ST, Portland, ME 04101
CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE: [Signature]



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

5-31 20 11

Received from

Bartley Styles

Location of Work

1350 Westbrook St

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 662

Building (IL) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other Signs

CBL: 210A 11005

Check #: 28369

Total Collected \$ 662

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

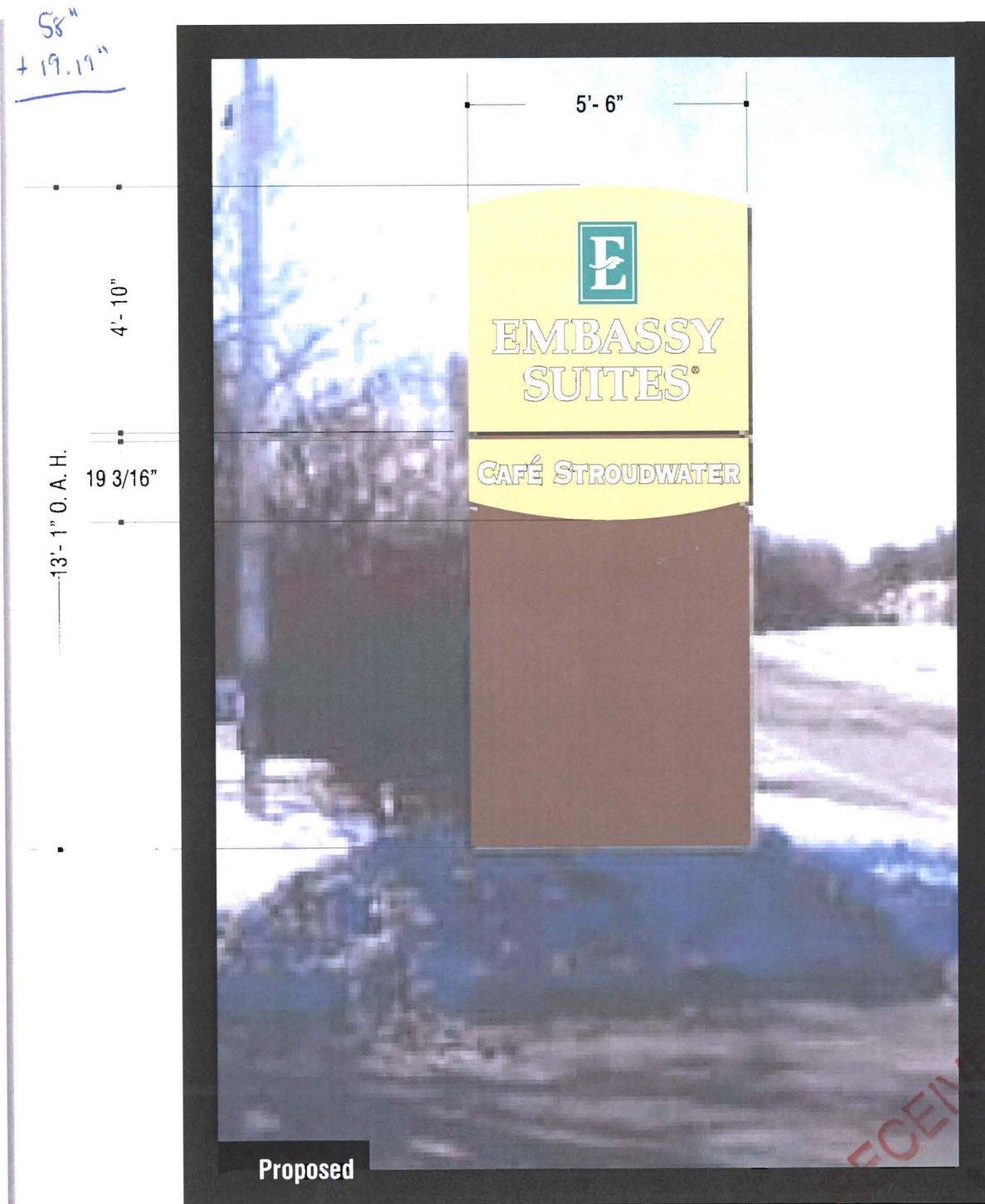
WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



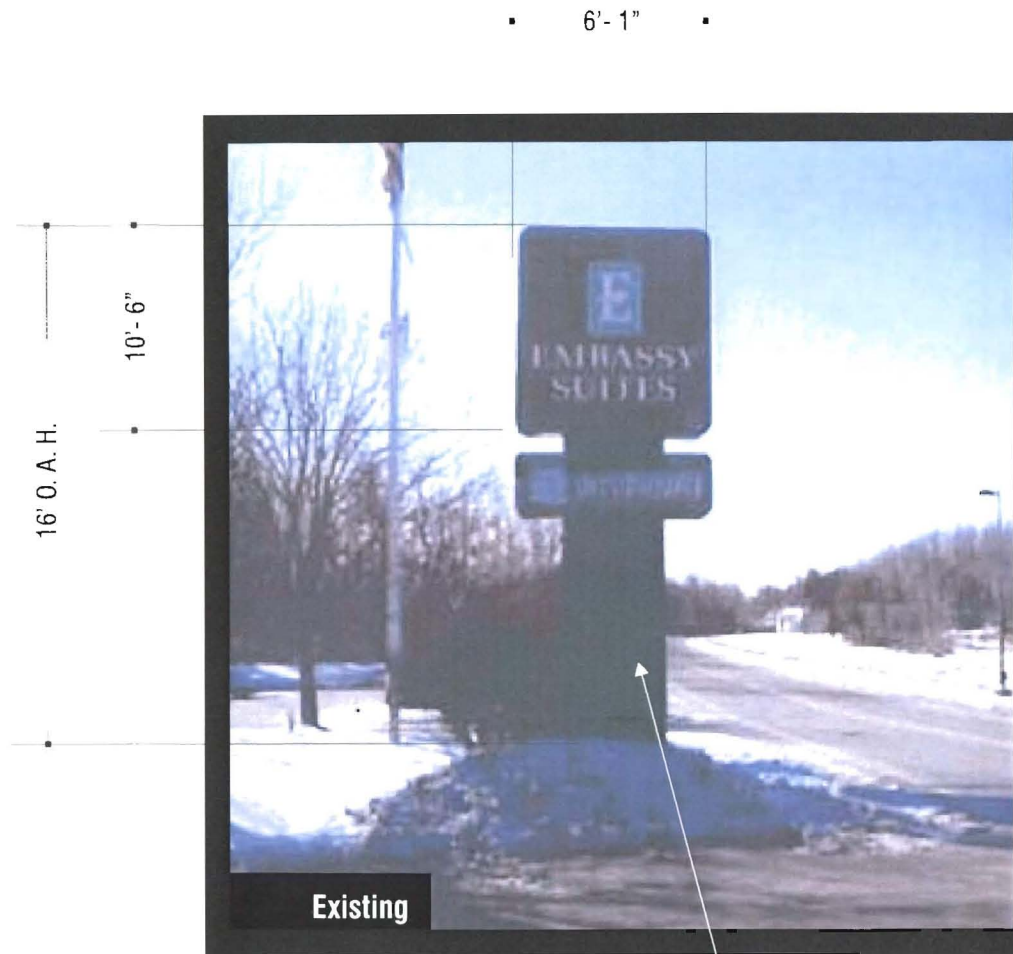
(6'6")  
 5'6" x 77.19" = 5,094.54  
 = 35.38 ft

D/F Internally Illuminated Pylon Sign  
 Sign A **Standard ES P-30 R**  
 Sign Dimensions: 6'5 3/16" x 5'6" =  
 35.3859 feet

Note:  
 Reuse existing foundation & support pending field survey.



PYLON SIGN PROPOSAL



Remove existing Monument sign & replace w/ NEW.

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 PHONE: (847) 520-1255 FAX: (847) 520-1543  
[www.kieffersigns.com](http://www.kieffersigns.com)

CUSTOMER: Embassy Suites  
 LOCATION: Portland, ME  
 SALESMAN: Mike Mele  
 DESIGNER: MAK  
 DATE: 5/10/11

Artwork  
 Design  
 Survey  
 All boxes checked to Enter Order



COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # \_\_\_\_\_  
 Job # \_\_\_\_\_  
 -001 \_\_\_\_\_  
 -002 \_\_\_\_\_  
 -003 \_\_\_\_\_  
 -004 \_\_\_\_\_

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**B61016**

Reference Drawing #ES P-30 R for General Decoration and Specifications



**30"** Internally Illuminated REMOTE Letter Set on a Background Panel  
 Sign B Sign Dimensions: 30" x 31' 6 5/8" = 78.88 sq feet Standard Linear Layout



FRONT ELEVATION

Reference Drawing **ES CL-30L** for Decoration and Specifications  
 No Logo

Note:  
 Letters to be mounted on a fabricated aluminum background panel.



Existing

$39" \times 396" = 15,444$   
 $= 107,25$

Remove existing Illuminated Letters w/ background panel & replace w/ NEW. Patch holes & paint fascia as required.

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 PHONE: (847) 520-1255 FAX: (847) 520-1543  
[www.kieffersigns.com](http://www.kieffersigns.com)

CUSTOMER: Embassy Suites  
 LOCATION: Portland, ME  
 SALESMAN: Mike Mele  
 DESIGNER: MAK  
 DATE: 5/10/11

Artwork  
 Design  
 Survey  
All boxes checked to Enter Order

**UL** LISTED  
 COMPANION FILES

PRODUCTION PROCESSING  
 Kieffer Item # \_\_\_\_\_  
 Job # \_\_\_\_\_  
 -001 \_\_\_\_\_  
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**B61016A**





EMBASSY SUITES

48" Internally Illuminated REMOTE Letter Set on a Background Panel  
Sign C Sign Dimensions: 48" x 50' 5 13/16" = 201.94 sq feet Standard Linear Layout

50' - 5 13/16"

48 29,078.88  
605.81 x 48 = 29,078.88  
201.94  
= 252.42



Proposed

REAR ELEVATION

Reference Drawing ES CL-48L for Decoration and Specifications  
No Logo

Note:  
Letters to be mounted on a fabricated aluminum background panel.



Existing

Remove existing Illuminated Letters w/ background panel & replace w/ NEW. Patch holes & paint fascia as required.

65'

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www.kieffersigns.com

CUSTOMER: Embassy Suites

LOCATION: Portland, ME

SALESMAN: Mike Mele

DESIGNER: MAK

DATE: 5/10/11

Artwork  
 Design  
 Survey

All boxes checked to Enter Order



COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # \_\_\_\_\_

Job # \_\_\_\_\_

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-002 \_\_\_\_\_

-003 \_\_\_\_\_

-004 \_\_\_\_\_

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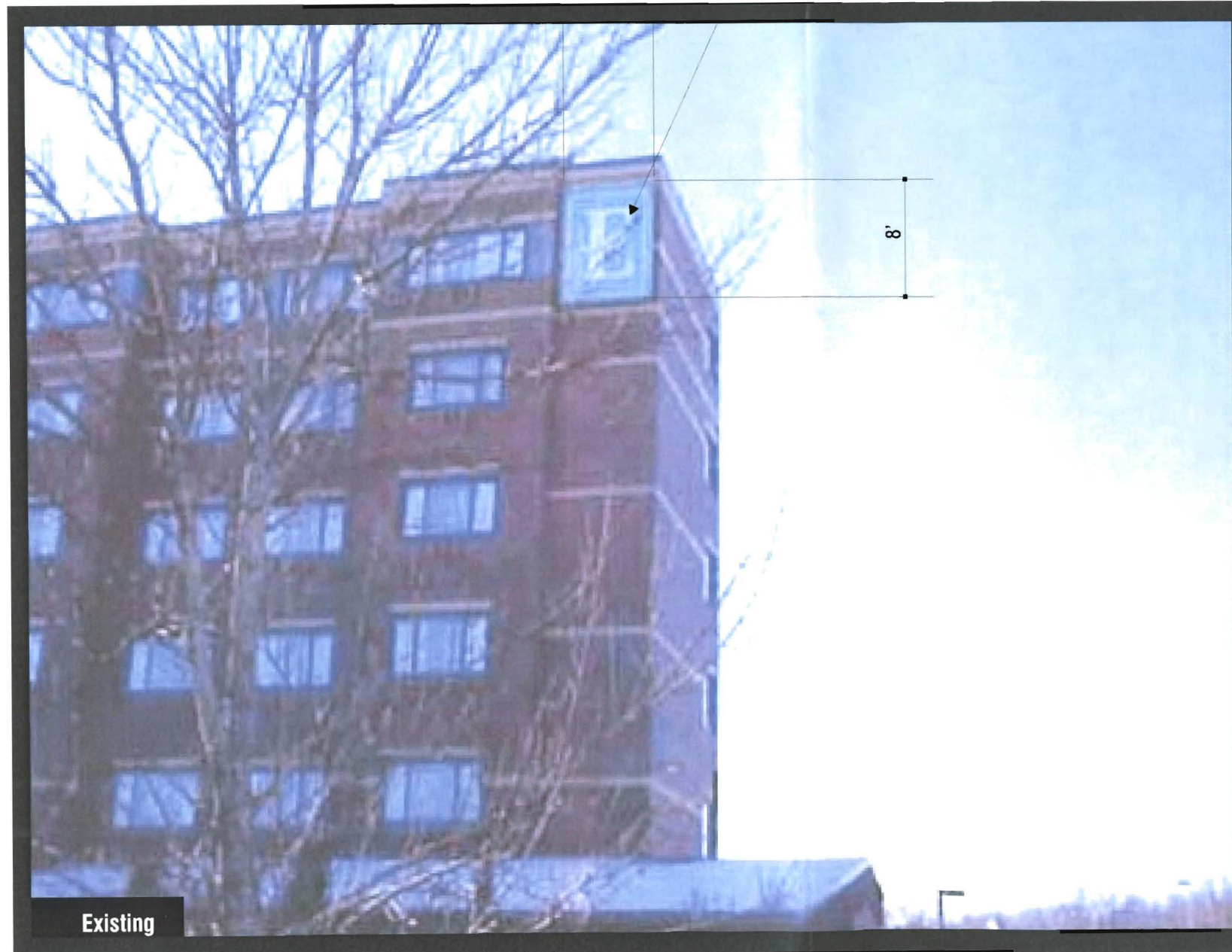
B61016B



*Existing Logo Cabinet Removal ONLY  
Sign D*

Remove existing Logo Cabinet & DO NOT replace.  
Patch holes as required.

6'



SIDE ELEVATION

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CUSTOMER: Embassy Suites  
LOCATION: Portland, ME  
SALESMAN: Mike Mele  
DESIGNER: MAK  
DATE: 5/10/11

- Artwork
  - Design
  - Survey
- All boxes checked to Enter Order



COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # \_\_\_\_\_  
Job # \_\_\_\_\_  
-001 \_\_\_\_\_  
-002 \_\_\_\_\_  
-003 \_\_\_\_\_  
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**B61016D**



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CUSTOMER: Embassy Suites

LOCATION: Portland, ME

SALESMAN: Mike Mele

DESIGNER: MAK

DATE: 5/10/11

- Artwork
- Design
- Survey

All boxes checked to Enter Order



COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # \_\_\_\_\_

Job # \_\_\_\_\_

-001 \_\_\_\_\_

-002 \_\_\_\_\_

-003 \_\_\_\_\_

-004 \_\_\_\_\_

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4'- 1 3/4"

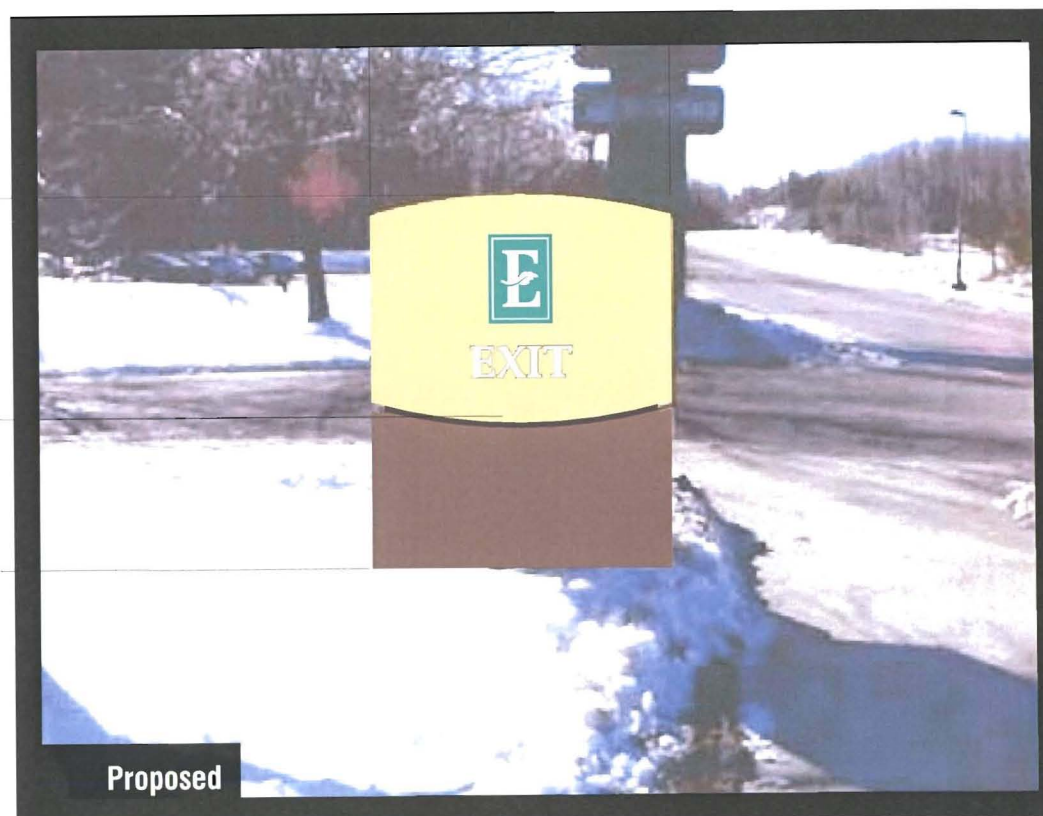
49"

5'- 1 1/2" O. A. H.

3'- 1 1/2"

54" O. A. H.

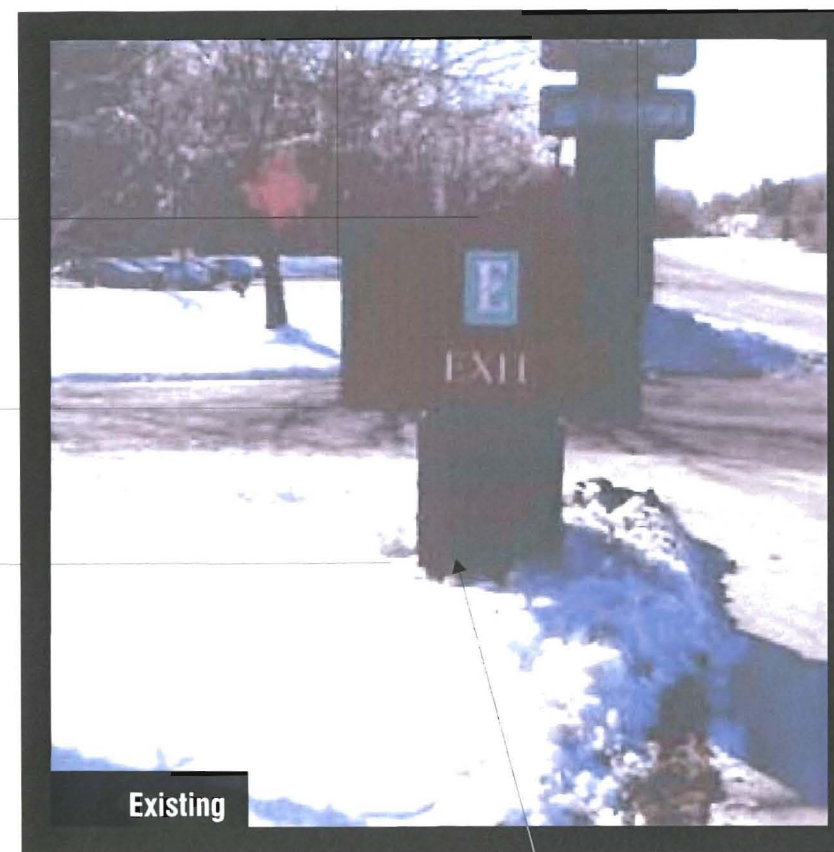
32"



Proposed

DIRECTIONAL SIGN PROPOSAL

Note:  
Reuse existing foundation & plate pending field survey.



Existing

Remove existing Directional sign & replace w/ NEW.

Reference Drawing #ES E-4 for General Decoration and Specifications

**B61016D**



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CUSTOMER: Embassy Suites  
LOCATION: Portland, ME  
SALESMAN: Mike Mele  
DESIGNER: MAK  
DATE: 5/10/11

Artwork  
 Design  
 Survey  
All boxes checked to Enter Order



COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # \_\_\_\_\_  
Job # \_\_\_\_\_  
-001 \_\_\_\_\_  
-002 \_\_\_\_\_  
-003 \_\_\_\_\_  
-004 \_\_\_\_\_

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**B61016E**

4'-1 3/4"

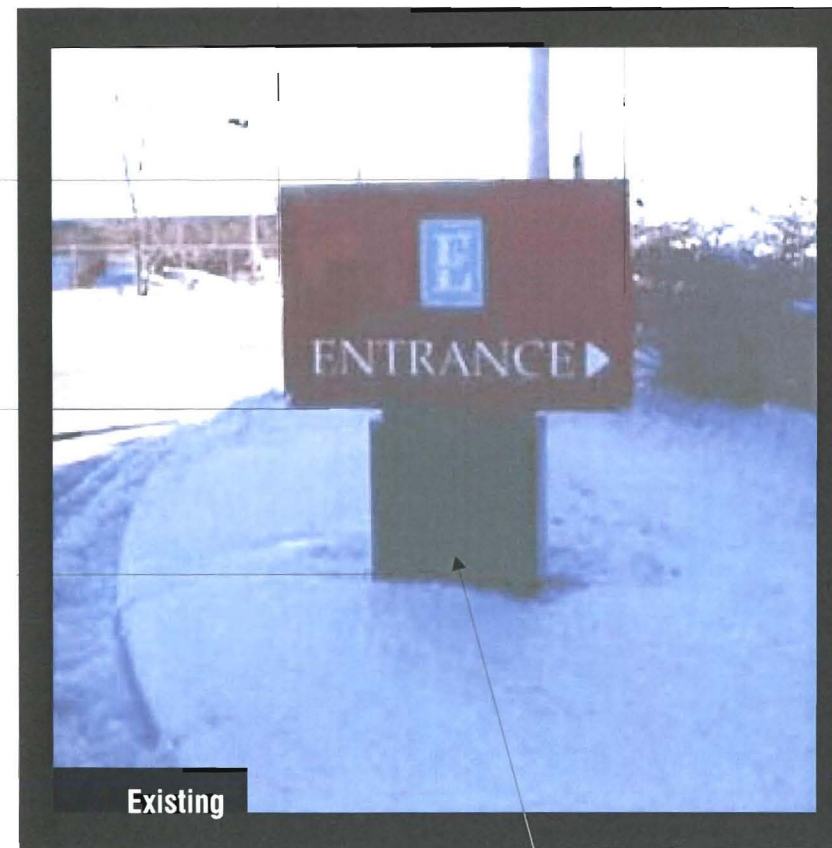
49"



Proposed

DIRECTIONAL SIGN PROPOSAL

Note:  
Reuse existing foundation & plate pending field survey.



Existing

Remove existing Directional sign & replace w/ NEW.

5'-1 1/2" O. A. H.  
3'-1 1/2"

54" O. A. H.  
32"

Reference Drawing #ES E-3 for General Decoration and Specifications