



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

November 6, 2007

Planning & Zoning Resource Corporation
100 N.E. 5th Street
Oklahoma City, Oklahoma 73104
Attn: Rhiannon Jones

RE: Embassy Suites Hotel – 1036-1058 Westbrook Street, corn. Jetport Blvd. –
210A-A-5 (the “Property”) – AB Zone

Dear Ms. Jones,

I am in receipt of your request concerning the Property. The Property is located within the A-B Airport Business Zone. All abutting lots are also located within the A-B Zone. There are no special, restrictive or overlay districts associated with the Property. A sectional copy of the zoning map is enclosed with this letter.

The Property was not developed as a Planned Unit Development or PUD. I am not aware that any variances, special exceptions, or conditional use permits, or zoning relief of any kind is associated with the development of the Property. I am not aware of any legal nonconforming issues associated with the Property.

A search of our records shows that a certificate of occupancy can not be found. I am unaware that the lack of a certificate of occupancy constitutes a violation of specific zoning or building codes.

The Property was developed with Site Plan approval. A copy of the Site Plan sign-off listing as part of the building permit approval is enclosed with this letter.

Without a current scaled site plan, I am unable at this time to determine whether the Property is in compliance with the current Zoning Ordinance Code.

As stated above, this office was unable to find a copy of an issued Certificate of Occupancy.

Very truly yours,

Marge Schmuckal
Zoning Administrator



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Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

November 6, 2007

Attn: Rhiannon Jones
RE: 1050 Westbrook Street

Based on our records [choose one]:

_____ A valid final certificate of occupancy has been issued and is now outstanding for the Property. For any certificate of occupancies not found, the absence of a certificate of occupancy for the Property will not give rise to any enforcement action affecting the Property. (See Attached Copy Issued)

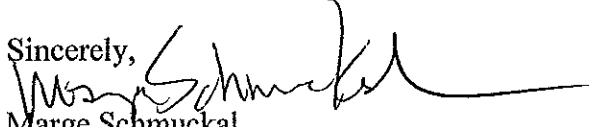
_____ Certificate of Occupancies are not required. Final Building Permits have been issued and are now outstanding for the Property. (See Attached Copy Issued)

_____ Certificates of Occupancy for projects constructed prior to the year _____ are no longer on file with this office. The Property was constructed in _____. The absence of a certificate of occupancy for the Property will not give rise to any enforcement action affecting the Property. A certificate of occupancy for the Property will only be required to the extent of any construction activity (such as restoring, renovating or expanding the Property or any part thereof).

We are unable to locate a certificate of occupancy for the Property from our records. We have evidence in our records, however, one was issued and has been subsequently lost or misplaced. The absence of a certificate of occupancy for the Property will not give rise to any enforcement action affecting the Property. A certificate of occupancy for the Property will only be required to the extent of any construction activity, restoring, renovating or expanding the Property or any part thereof.

_____ The site is still being constructed. The absence of a certificate of occupancy for the Property will not give rise to any enforcement action affecting the Property. A certificate of occupancy for the Property will be issued when all final inspections have been passed.

Please call the undersigned at (207) 874-8695 if you have any comments or questions.

Sincerely,

Marge Schmuckal
Zoning Administrator

FAX



To: Rhannon Jones

Fax Number: 405-418-2238

From: MARGE Schmuckel

Fax Number:

Date: 11/6/07

Regarding: 1050 Westbrook Street

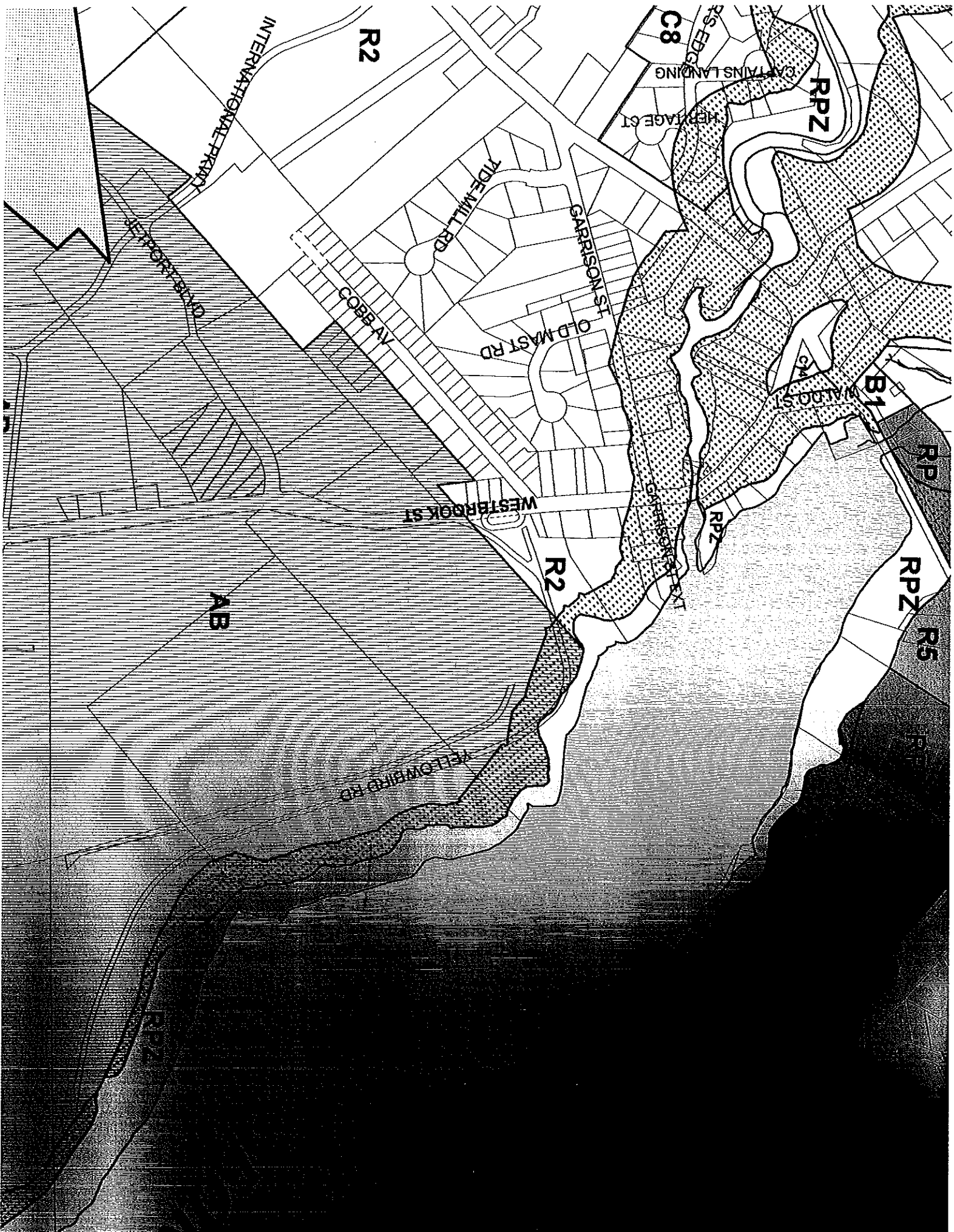
Total Number Of Pages Including Cover: 3

Phone Number For Follow-Up:

Comments:

The originals & attachment are being mailed

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>



#1268

NET FORT HOTEL

Rubens Eddy Hall

472-2888 772-2888

Town of Portland Building Permit Application

Port Hotel Associates

C., P.O.B. 7312 DDT, Portland, ME 04112

Construction Contractors

Street, Portland, ME 04104

Type of Use: 100,000 sq. ft. hotel

Apartment

NUMBER OF UNITS WILL CHANGE

of New Dwelling Units

Side(s)

Spacing 16' O.C.

Spacing

Span(s)

Weather Exposure

White-Tax Assessor Yellow-GPOOG

PERMIT ISSUED

Date: September 23, 1988

Submittal: Yes / No

Name: _____

Lot: _____

Block: _____

Permit Expiration: _____

Ownership: _____

Public: _____

Private: _____

Fee: \$16,125.00

Ceiling

1. Ceiling Joists Size: _____ Spacing: _____

2. Ceiling Strapping Size: _____ Spacing: _____

3. Type Ceiling: _____ Size: _____

4. Insulation Type: _____

5. Ceiling Height: _____

1. Truss or Rafter Size: _____ Span: _____

2. Sheathing Type: _____ Size: _____

3. Roof Covering Type: _____

4. Other: _____

Chimneys: _____

Heating: _____

Electrical: _____

Plumbing: _____

Swimming Pools: _____

1. Type: _____ Square Footage: _____

2. Pool Size: _____

3. Must conform to National Electrical Code and State Law.

Zone: _____

Required setbacks: Front _____

Review Required: _____

Zoning Board Approval: Yes _____

Planning Board Approval: Yes _____

Conditional Use: _____

Shore and Floodplain Mgmt: _____

Other: _____

PERMIT ISSUED

White Tag GPOOG

SET FOR FILE

Rubley *3/11/88*

PERMIT # 1260 TOWN OF Portland BUILDING PERMIT APPLICATION

For Official MAI

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Portland Jetport Hotel Associates

Address: 130 Middle St., P.O.B. 7512 DDT, Portland, ME 04112

LOCATION OF CONSTRUCTION: Wescrook St., Portland, ME 1040-1122

CONTRACTOR: Allied Construction Services

ADDRESS: 208 Fore Street, Portland, ME 04104

Est. Construction No: 1001000 89.55

Part Use: W Sq. Ft. 1 Stories 1 Lot Size 1001000

Building Dimensions L 1 W 1 Sq. Ft. 1 Stories 1 Lot Size 1001000

Is Proposed Use: Search Condominium 1 Apartment 1

Conversion - Explain: None

COMPLETE ONLY THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only: 0 # Of New Dwelling Units 0

Of Dwelling Units 0

Floor: 1 Silts must be anchored.

1. Sills Size: _____ Size _____

2. Girder Size: _____ Spacing 16" O.C.

3. Lally Column Spacing: _____ Size _____

4. Joists Size: _____ Size _____

5. Bridging Type: _____ Size _____

6. Floor Sheathing Type: _____ Size _____

7. Other Material: _____

Exterior Wall: _____ Spacing _____

1. Standing Size: _____ Spacing _____

2. No. Windows: _____ Spacing _____

3. Header Sizes: Yes No _____ Spacing _____

4. Corner Posts Size: _____ Size _____

5. Insulation Type: _____ Size _____

6. Sheathing Type: _____ Weather Exposure _____

7. Siding Type: _____

8. Metal Materials: _____

9. Masonry Materials: _____

10. Interior Wall: _____ Spacing _____

11. Header Sizes: _____ Spacing _____

12. Wall Covering Type: _____

13. Fire Wall If Required: _____

14. Other Materials: _____

Date: September 23, 1988

Inside Fire Limit: _____

Blkg Code: _____

Type Limit: _____

Estimated Cost: \$3,221,815

Value Structure: _____

Fee: \$16,175.00

Ceiling:

1. Ceiling Joists Size: _____

2. Ceiling Strapping Size: _____

3. Type Ceilings: _____

4. Insulation Type: _____

5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size: _____

2. Sheathing Type: _____

3. Roof Covering Type: _____

4. Other: _____

Chimneys:

Type: _____ Number: _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____

Plumbing:

1. Approval of soil test if required _____

2. No. of Tubs or Showers _____

3. No. of Flushes _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____

2. Pool Size: _____

3. Meet conform to National Electric _____

Zoning:

District: A-3 Street Frontage F

Required Setbacks: Front _____

Review Required: _____

Zoning Board Approval: Yes

Planning Board Approval: Yes

Conditional Use: _____

Shore and Floodplain Mgmt. _____

Other: _____

Date Approved: _____

Permit Received By: _____

Signature of Applicant: _____

Signature of _____: _____

Inspection Dates: _____

White Tax Assessor _____

Yellow: GPCOG _____

White Tag: O'FOG _____



CITY OF PORTLAND, MAINE
Department of Building Inspections

11-05-2007

Received from Planning & Zoning Resource Corp.

Location of Work EMBASSY SUITES HOTEL 1050 WESTBROOK ST

Cost of Construction \$ _____

Permit Fee \$ 150⁰⁰

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other ZONING DETERMINATION

CBL: 210A AUGS

Check #: 412143

Total Collected \$ 150⁰⁰

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

October 12, 1988

Allied Construction Co.
208 Fore Street
Portland, Maine 04104

RE: 1040-1122 Westbrook St. Ptd., Me.

Dear Sir:

Your application to construct a 100,000 sq. foot hotel (R-1) (1-B) has been reviewed and a permit is herewith issued subject to the following requirements.

SITE PLAN REVIEW REQUIREMENT

Inspection Services	Approved by Planning Board	W.J. Turner	10/11/88
Fire Department	Approved by Lt. Collins		
Planning Division	Approved by Ms O'Meara		9/30/88
Public Works	Approved by S. Harris		10/05/88

Building and Fire Code Requirements

- 1.) A complete automatic fire alarm system and sprinkler system shall be installed in accordance with the appropriate NFPA standards. A separate permit and approval will be required for each.
- 2.) Every door to an exit stairway shall be provided with a self illuminated exit sign no less than 6" or more than 8" above floor level. This exit sign shall be placed on the door.
- 3.) All doors between exit access corridors and guest rooms shall be 20 minutes fire rated and self-closing.
- 4.) Emergency lighting and exit signs shall be placed throughout as required.
- 5.) The required sprinkler and fire alarm systems shall be monitored by an approved Central Receiving Station in the Municipal fire alarm loop in accordance with Municipal Ordinance 2.5.
- 6.) Provide a Class III stand pipe system in accordance with NFPA #14.
- 7.) In addition to the fire alarm, an approved voice evacuation system and fire-fighter telephone system is to be installed.



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

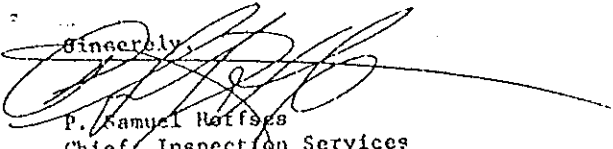
Cont.

Build'ng and Fire Code Requirements

- 8.) Standby power, light and emergency systems shall be done in accordance with 602.9
- 9.) This structure shall meet the requirements of section 602.0 High Rise Building as per the building code.
- 10.) This building shall be designed for Seismic Zone 2.

If you have any questions regarding these requirements please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

REVIEWED
FOR
HANDICAPPED
COMPLIANCE

210A-A-5

STATE OF MAINE
DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
AUGUSTA
CONSTRUCTION PERMIT



Permit No. 6094

PERMISSION IS HEREBY GIVEN TO:
Portland Jetport Hotel Assoc.
1050 Westbrook St.
Portland, ME 04102

Location of project:
1050 Westbrook St.
Portland, ME

PROJECT TITLE:
Embassy Suite Pool Addition
OCCUPANCY CLASSIFICATION:
Hotel/Motel

To construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from such plans shall be made without prior approval in writing.

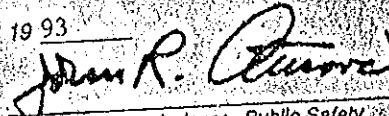
This permit will expire at midnight on February 22, 19 94.

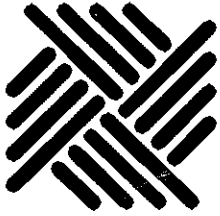
This permit is issued under the provisions of Title 25, Chapter 317, Section 2448.

Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Dated the 23rd day of August A.D. 19 93

FEE \$ 150.00/50.00


Commissioner - Public Safety



Planning & Zoning Resource Corporation

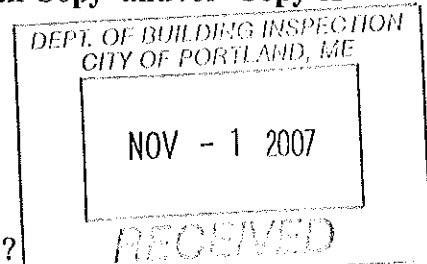
100 N.E. 5th Street • Oklahoma City, Oklahoma 73104

Telephone (405) 840-4344 • Fax (405) 840-2608

Toll Free (800) 344-2944 ext 3216

Please fax to my direct fax number ~~405-418-2238~~

To: Marge Schmuekal Reference
Number 45267-1
Fax: 207-874-8716
Date: October 30, 2007
Subject: Zoning Verification Letter,
Copies of Certificate of Occupancy (or Letter), Copies of any Zoning
Variances, Special Use and Conditional Use Permits Open Zoning and
Building Violations at the present time Site Plan Copy and /or Copy of
Conditions for:
Property: Embassy Suites Hotel
1050 Westbrook St.



Please answer the following questions.

- * What is the current zoning of the property?
- * Is the property in any special, restrictive or overlay district?
- * What are the abutting zoning designations?
- * Was this a Planned Unit Development? If so, could we please get a copy of the PUD?
- * Was this property granted any variances, special exceptions, or conditional use permits or zoning relief of any kind? If so, could we please get a copy of them? If these are not available, would you briefly outline the conditions of the applicable document? (excluding signage)
- * Are there any legal nonconforming issues?
- * To the best of your knowledge, do your records show any open zoning or building code violation at the present time? *Check copy*
- * Was this property developed with Site Plan approval? If so, could we receive a copy of the approved plan and/ or conditions?
- * Is this site in compliance with the current Zoning Ordinance Code?
- * Were Certificate of Occupancies issued? If so, can we obtain these copies or if not please fill out our attached form letter?

It is my understanding that there will be fees associated with this request. Please be advised total fees are not to exceed 150.00 without my approval. Should you expect fees to exceed this amount, please notify me as soon as possible. Please be advised that any additional costs associated with this request must be approved, in writing, prior to their incurrence

Thank you in advance for your time and consideration on the above matter. If there are any questions you are unable to answer, please let us know whom we should contact. If you have any questions or concerns, please do not hesitate to call the toll free number 800-344-2944, extension 3216.

Sincerely: Rhiannon Jones
rhiannonj@pzs.com

(Please copy onto your letterhead)

Attn: Rhiannon Jones
Re: 1050 Westbrook St.

Based on our records [choose one]:

_____ A valid final certificate of occupancy has been issued and is now outstanding for the Project. For any certificate of occupancies not found, the absence of a certificate of occupancy for the Project will not give rise to any enforcement action affecting the Project. (See Attached Copy Issued)

_____ Certificate of Occupancies are not required. Final Building Permits have been issued and are now outstanding for the Project. (See Attached Copy Issued)

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_____ This site is still being constructed. The absence of a certificate of occupancy for the Project will not give rise to any enforcement action affecting the Project. A certificate of occupancy for the Project will be issued when all final inspections have been passed.

Please call the undersigned at _____ if you have any comments or questions.

Sincerely,

Name: _____

Title: _____

(Please copy to letterhead)

Site Plan

Attn: Rhiannon Jones

Re: 1050 Westbrook St.

- Was the above site constructed with site plan approval
- Yes _____ No _____

- Are copies available
- Yes _____ No _____

- If copy and/or conditions are not available please provide reason why

- _____

Please call the undersigned at _____ if you have any comments or questions.

Sincerely,

Name: _____

Title: _____

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 210A A005001
 Location 1050 WESTBROOK ST
 Land Use HOTEL & MOTEL

Owner Address PJH ASSOCIATES LIMITED LIABILITY COMPANY
 1050 WESTBROOK ST
 PORTLAND ME 04102

Book/Page 12165/30
 Legal 210A-A-5
 WESTBROOK ST
 1036-1058
 121096 SF

Current Assessed Valuation

Land \$1,101,300 Building \$7,472,200 Total \$8,573,500

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1989	120	103048	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
2.78	103048		HOTEL/MOTEL HIGH RISE	EMBASSY SUITES HOTEL

Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	3008	RESTAURANT
1	01/01	10688	HOTEL
1	01/01	5452	MULTI-USE SALES
1	02/06	16780	HOTEL

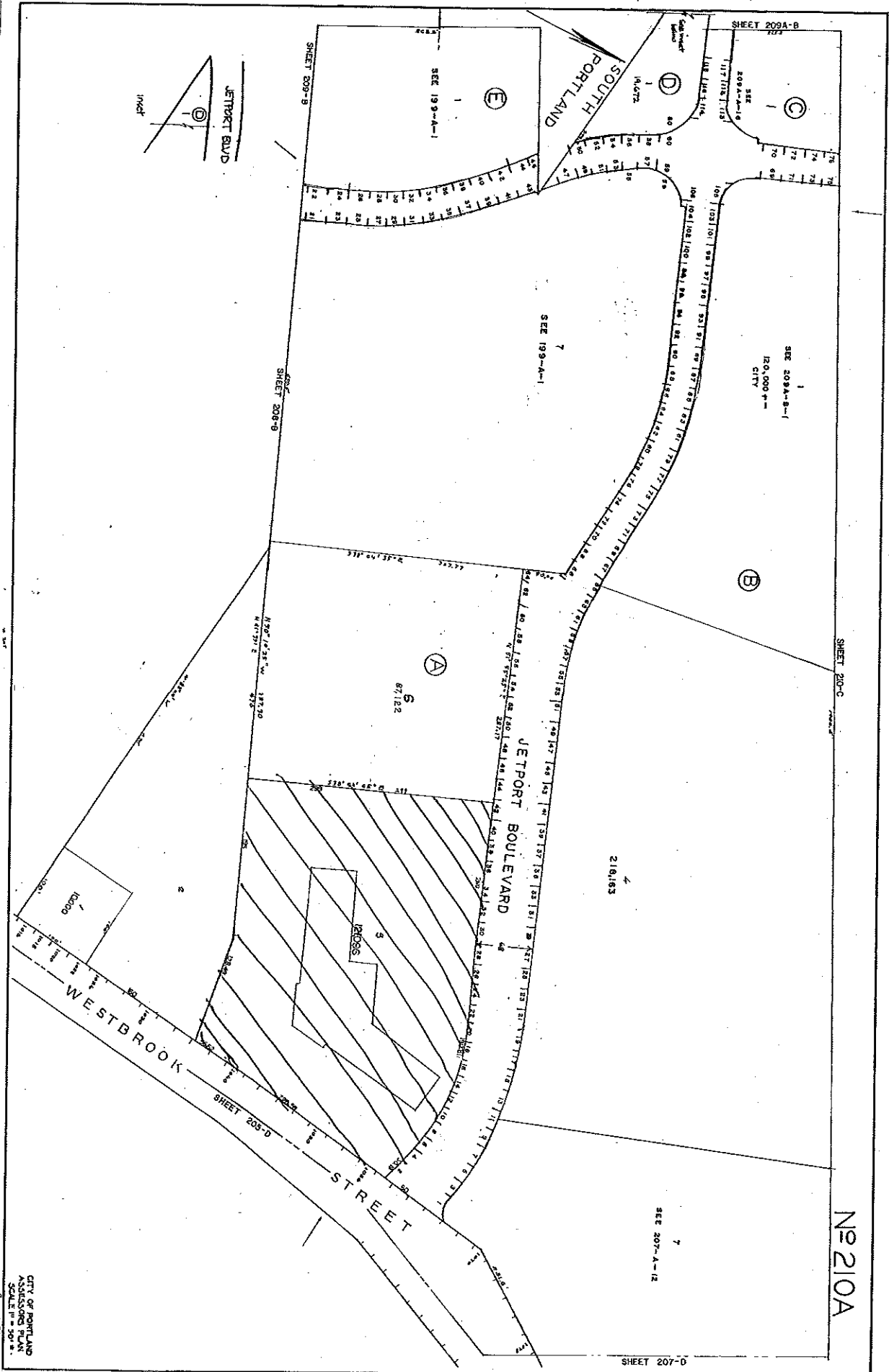
Height	Walls	Heating	A/C
10	BRICK/STONE	HOT AIR	CENTRAL
10	BRICK/STONE	HOT AIR	CENTRAL
10	BRICK/STONE	HOT AIR	CENTRAL
8	BRICK/STONE	HOT AIR	CENTRAL
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

Building Other Features

Line	Structure Type	Identical Units
2	ELEVATOR - ELEC. PASSENGER	2
2	ENCLOSED ENTRY	1
2	INDOOR POOL	1
2	UTILITY BUILDING - MASONRY	1
1	SPRINKLER - WET	
1	CANOPY - ROOF/SLAB	1

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
1989	ASPHALT PARKING	80000	1
1989	LIGHT - MERCURY VAPOR, POLE	1	13



N^o 210A

SHEET 200A-B
SEE 200A-A-10
117.713.113

SEE 200A-B-1
120,000 ± ± ±
CITY

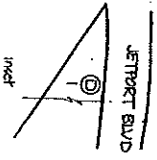
SEE 199-A-1
E

SEE 199-A-1
7

SEE 199-A-1
A
67,122

SEE 207-A-12
4
216,153

SEE 207-A-12
7



CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50' ± ± ±
CORNER 8/27/16

SHEET 207-D

SHEET 200-D

SHEET 200-B

SHEET 200-B

SHEET 200-C