

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2007-0041  
Application I. D. Number  
  
3/2/2007  
Application Date  
  
Single Family  
Project Name/Description

**Dwight Brackett**  
Applicant  
**84 Country Lane, Portland, ME 04103**  
Applicant's Mailing Address  
**Dwight Brackett**  
Consultant/Agent  
**Applicant Ph: (207) 772-0543 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**Barbara Barhydt**

**102 - 102 Cobb Ave, Portland, Maine**  
Address of Proposed Site  
**210 B013001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       |
|   |   | <input type="checkbox"/> DEP Local Certification     |
|   |   | <input type="checkbox"/> Site Location               |
|   |   | <input type="checkbox"/> Other _____                 |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/5/2007

**DRC Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date 3/14/07 Approval Expiration 3/14/07 Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance *Dwight Brackett* signature

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

TO: Inspections Department  
FROM: Philip DiPierro, Development Review Coordinator  
DATE: August 24, 2007  
RE: C. of O. for #102 Cobb Avenue,  
(Id#2007-0041) (CBL 210 B 013001)

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After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Jeanie Bourke, Inspection Services Manager  
File: Urban Insight

**From:** Donna Martin  
**To:** C of O; csh  
**Date:** 8/22/2007 8:31:49 AM  
**Subject:** Certificate of Occupancy/Final Scheduled. Property Addr: 108 COBB AVE Parcel ID:  
210 B013001

Date: 8/24/2007 Time:

Note: Call Dwight @ 756-0687 Property Addr: 108 COBB AVE Parcel ID: 210 B013001

Application Type: Prmt  
Application ID: 70224

Contact:  
Phone1: Phone2:

Owner Name: BRACKETT DWIGHT  
Owner Addr: 10 COUNTRY LN  
PORTLAND , ME 04103

Donna Martin  
Building Inspections  
City of Portland  
389 Congress St. Rm 315  
Portland, ME. 04101

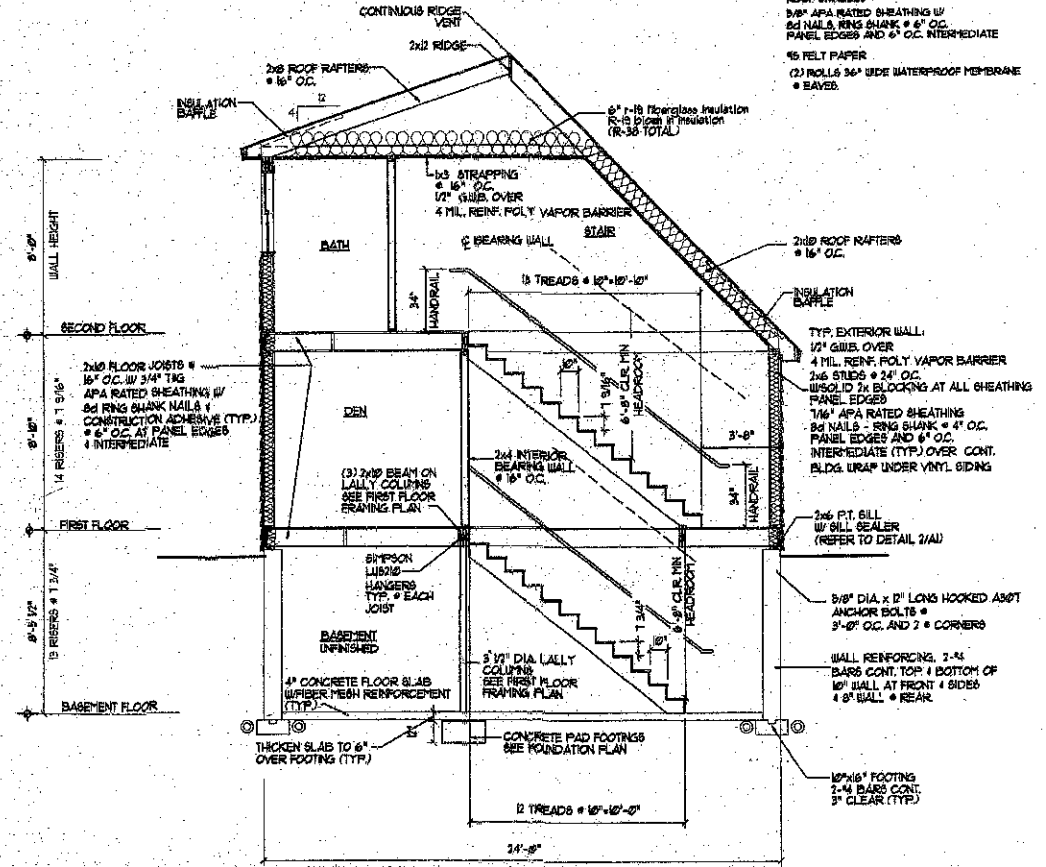
P 207-874-8703  
F 207-874-8716

**TYPICAL ROOF CONSTRUCTION**

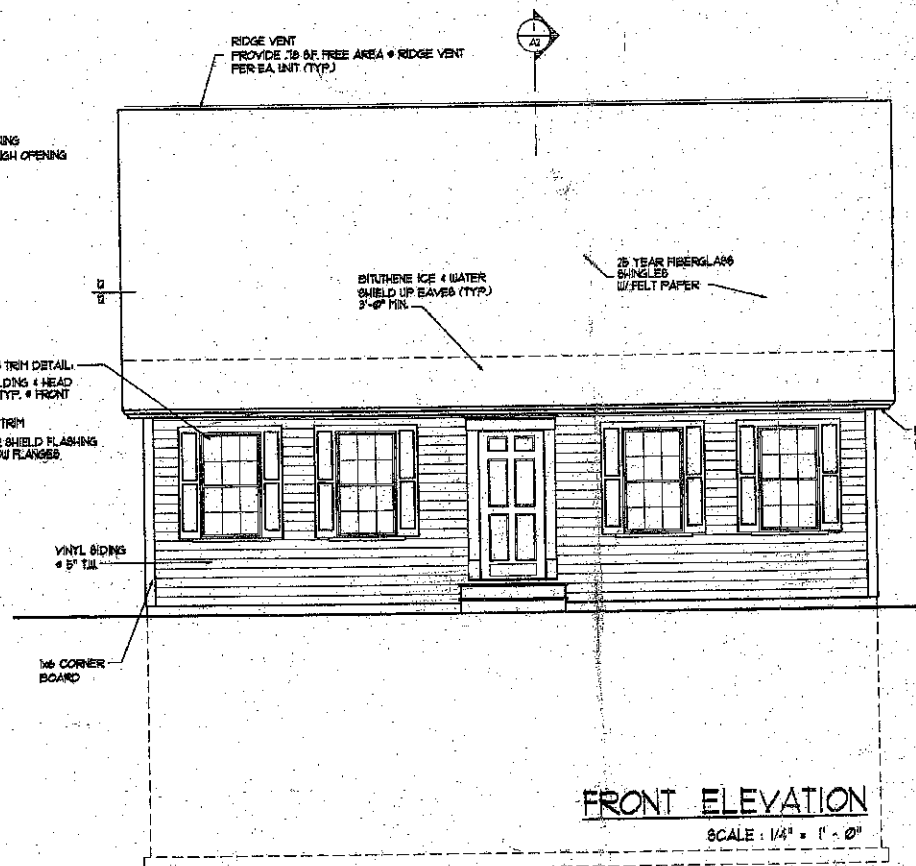
**RIDGE VENT**  
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.  
 ROOF SHINGLES  
 5/8" APA RATED SHEATHING W/ 8d NAILS @ RING SHANK @ 6" O.C. INTERMEDIATE PANEL EDGES AND 4" O.C. INTERMEDIATE  
 1/2" FELT PAPER  
 (1) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.

ROUGH OPENING	HEADER SIZE
0' - 3'-0"	(2) 2x6
3'-1" - 4'-6"	(2) 2x8
4'-7" - 5'-0"	(2) 2x10
5'-1" - 7'-0"	(2) 2x12

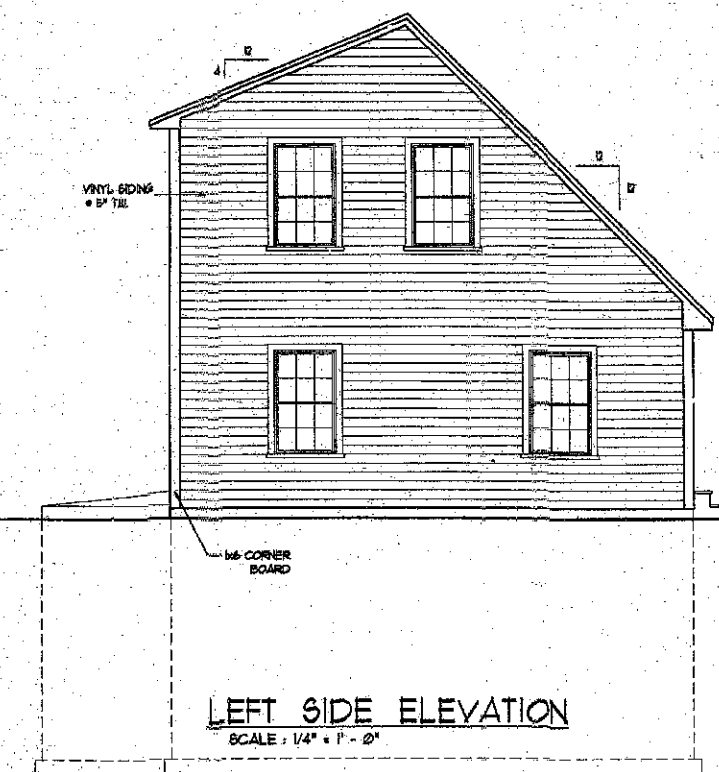
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 (1) 2x6 JACK FLBS 2x6 KINGS UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACK FLBS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



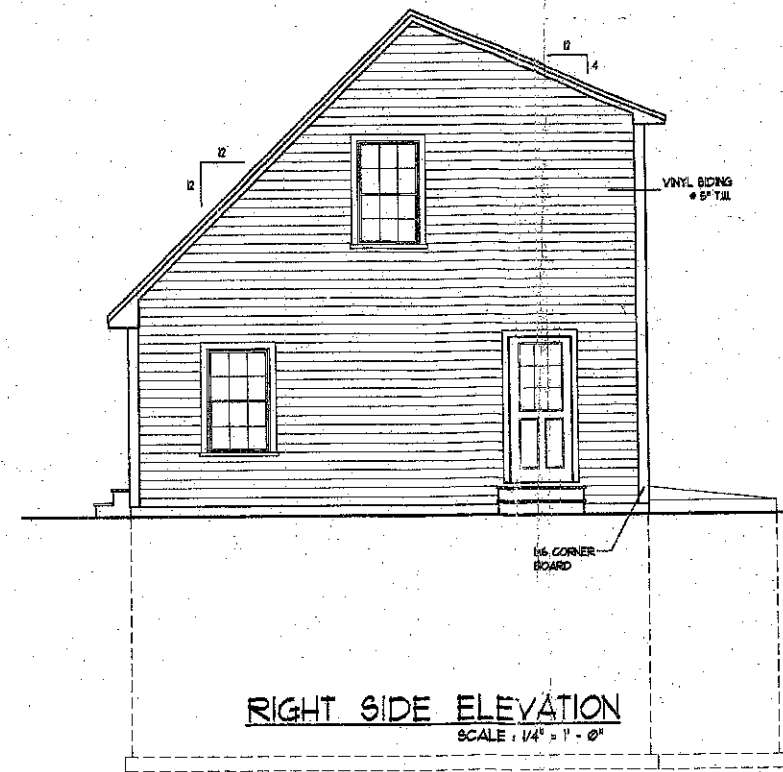
**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"



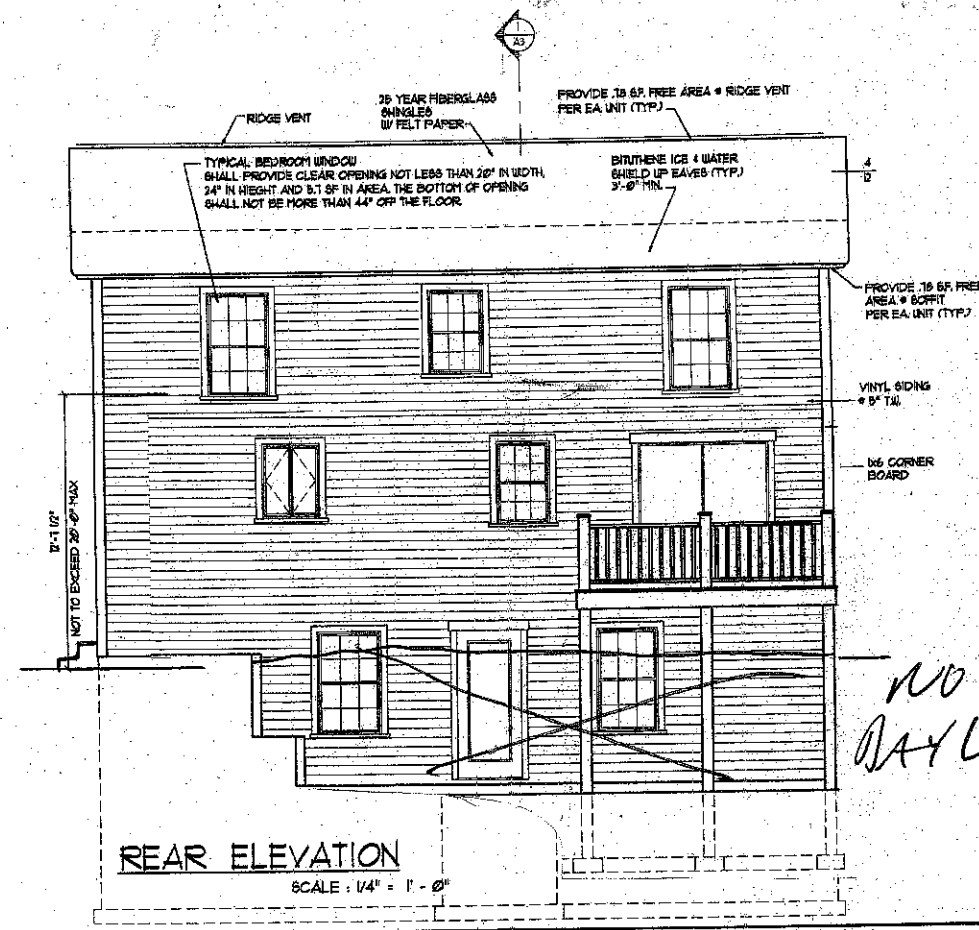
**FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



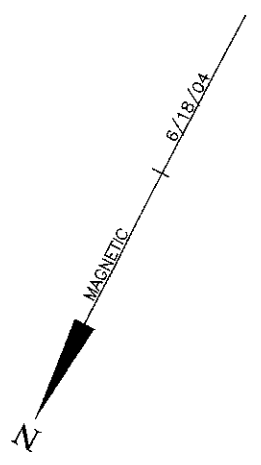
**REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"

102 CORB AVE

DRAWINGS THIS SHEET  
 ELEVATIONS / SECTION  
 DATE: 01/26/03

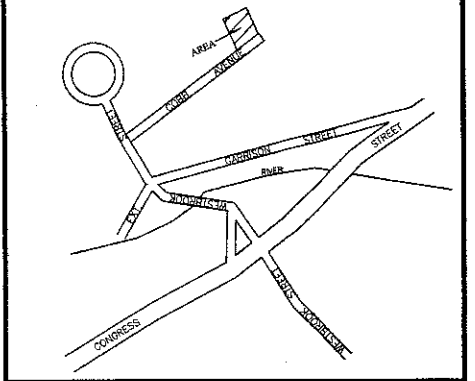
NO DAYLIGHT

A2

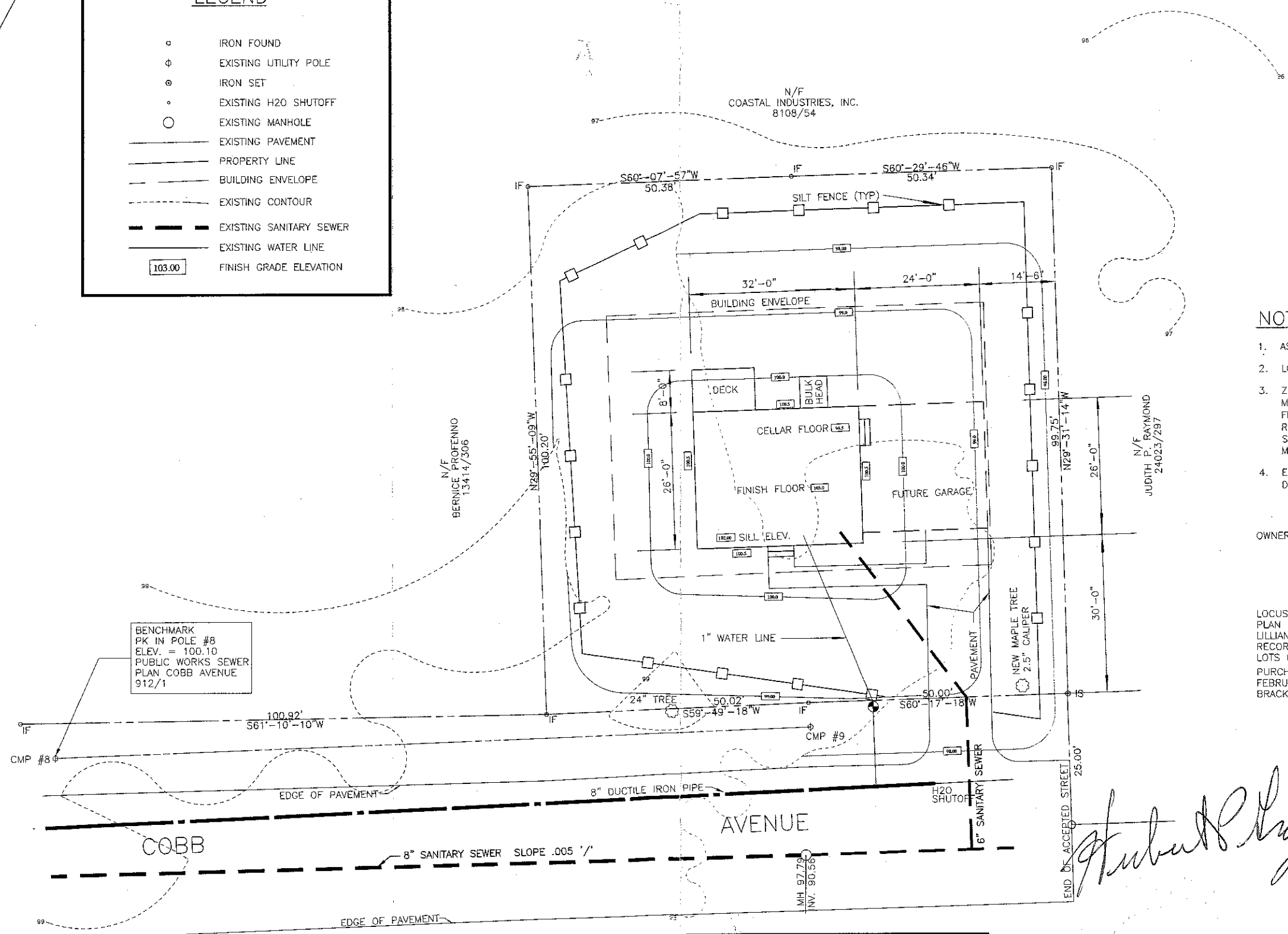


**LEGEND**

- IRON FOUND
- ⊕ EXISTING UTILITY POLE
- ⊙ IRON SET
- EXISTING H2O SHUTOFF
- EXISTING MANHOLE
- EXISTING PAVEMENT
- PROPERTY LINE
- - - BUILDING ENVELOPE
- - - EXISTING CONTOUR
- - - EXISTING SANITARY SEWER
- - - EXISTING WATER LINE
- 103.00 FINISH GRADE ELEVATION



**LOCATION MAP**  
NOT TO SCALE



BENCHMARK  
PK IN POLE #8  
ELEV. = 100.10  
PUBLIC WORKS SEWER  
PLAN COBB AVENUE  
912/1

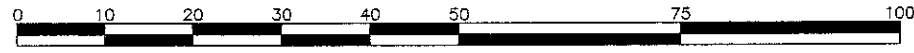
**NOTES:**

1. ASSESSORS MAP 210-B-13 & 14.
2. LOCUS LOT 102, COBB AVENUE, 10,032.45 SF.
3. ZONING R-2 ZONE WITH THE FOLLOWING SETBACKS:  
MINIMUM FRONTAGE - 50'.  
FRONT YARD - 25'.  
REAR YARD - 25'.  
SIDE YARD - 2 STORY HOUSE - 14 FEET  
MINIMUM LOT WIDTH - 80'.
4. ELEVATIONS BASED ON MEAN SEA LEVEL PER RECORD DRAWING 912/1.

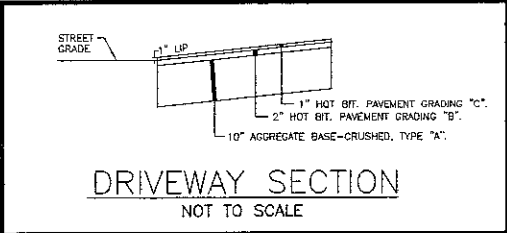
OWNER OF RECORD: ROBERT B. KIMBALL, III  
175 ROCKY ROAD  
OTISFIELD, MAINE 04270

LOCUS DEED: BOOK 18146, PAGE 319.  
PLAN OF LAND AT STROUDWATER SURVEYED FOR  
LILLIAN M. PARKER BY E. C. JORDAN, CO.  
RECORDED IN PLAN BOOK 15, PAGE 33,  
LOTS 62 & 63.  
PURCHASE AND SALE AGREEMENT DATED  
FEBRUARY 22, 2007 BETWEEN DWIGHT  
BRACKETT AND ROBERT KIMBALL III.

*Herbert P. Gray*



**GRAPHIC SCALE**  
SCALE: 1"=10'



**DRIVEWAY SECTION**  
NOT TO SCALE

<b>SITE PLAN</b>		
BRACKETT RESIDENCE BOUNDARY SURVEY 102 COBB AVENUE PORTLAND, MAINE		
D.A. BRACKETT & CO, INC HERBERT P. GRAY 111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106		
SCALE: 1"=10'	DATE: 02/28/07	DWG. NO. 1 OF 1
DRAWN BY: DHG	CHECKED BY: HPG	

**GENERAL NOTES:**

- All work shall be in accordance with IBC Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire rating material.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

**FOUNDATION NOTES:**

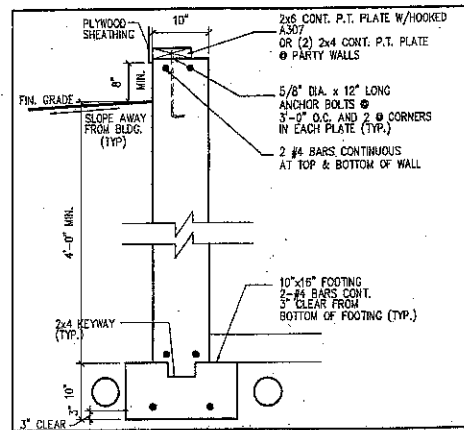
- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED W/CCA TO 0.4#/CF RETENTION PER AWPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4"-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- RADIANT HEAT IN SLAB.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ FIBER MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'x15' SPACING (2235F).
- ALL CONCRETE SHALL BE 3000 PSI (f') STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%/s.
- ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.
- WATERPROOFING / DAMP PROOFING ASPHALT TAR.

**FRAMING NOTES:**

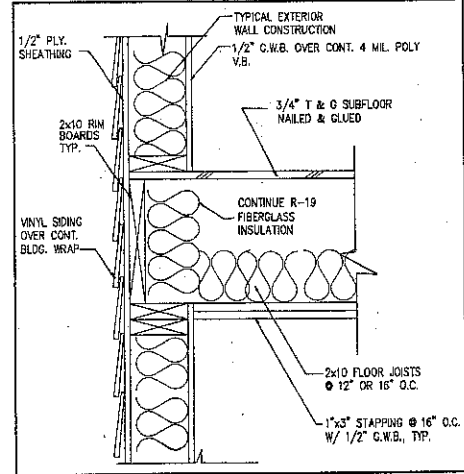
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL. 6" BATT INSULATION (R-19) AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

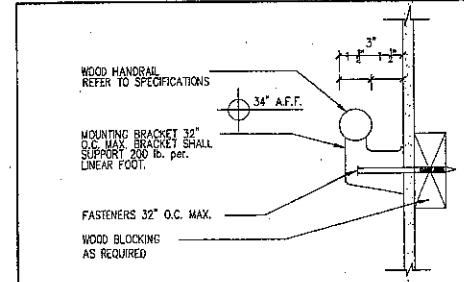
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



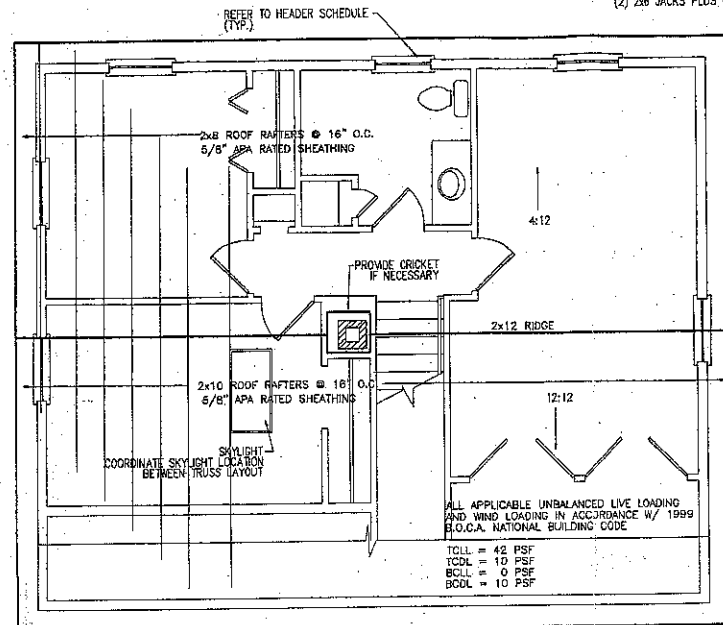
**1 TYPICAL FOUNDATION WALL** SCALE: 1" = 1'-0"



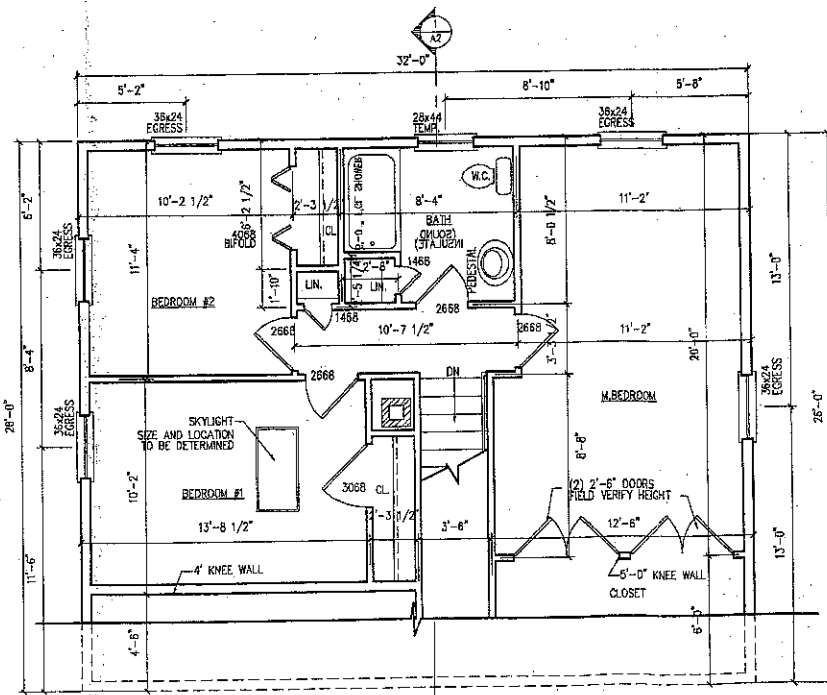
**2 FLOOR FRAMING DETAIL** SCALE: 1 1/2" = 1'-0"



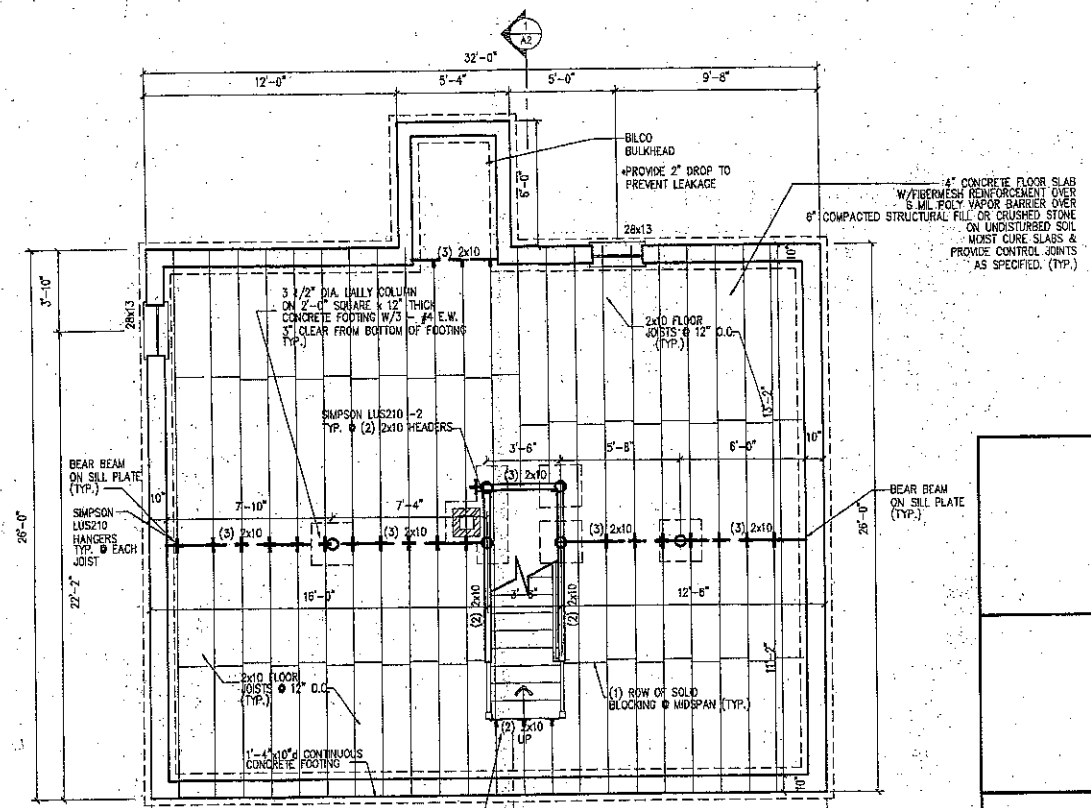
**HANDRAIL DETAIL** NTS



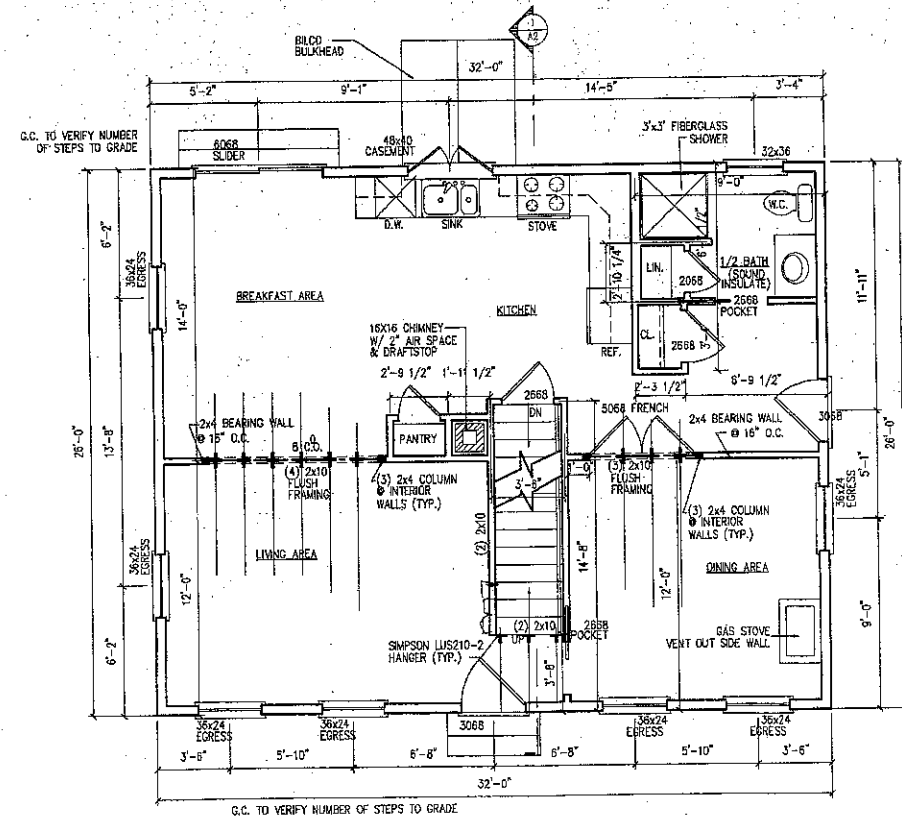
**ROOF FRAMING PLAN** SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN** 654 S.F. SCALE: 1/4" = 1'-0"



**FOUNDATION / FIRST FLOOR FRAMING PLAN** SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN** 832 S.F. SCALE: 1/4" = 1'-0"

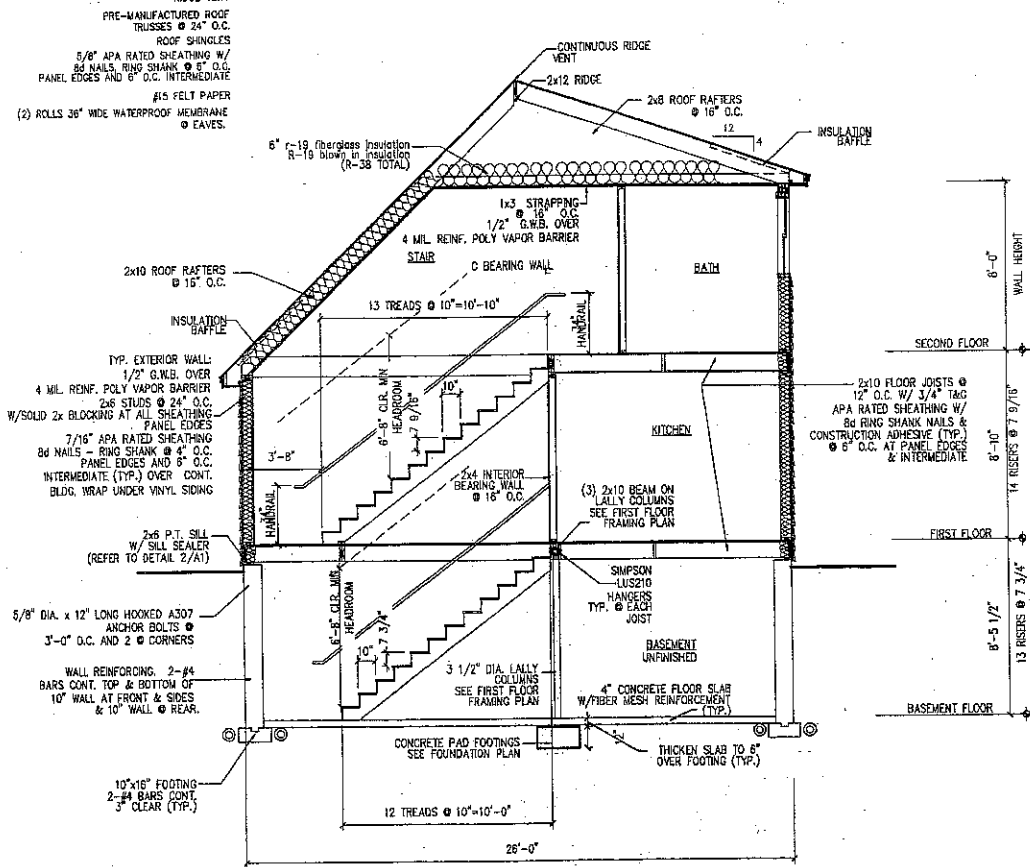
26x32 CAPE

DRAWINGS THIS SHEET  
 FOUNDATION & ROOF PLAN  
 FIRST FLOOR PLAN /  
 SECOND FLOOR PLAN  
 NOTES / DETAILS

DATE  
 12/14/06

A1

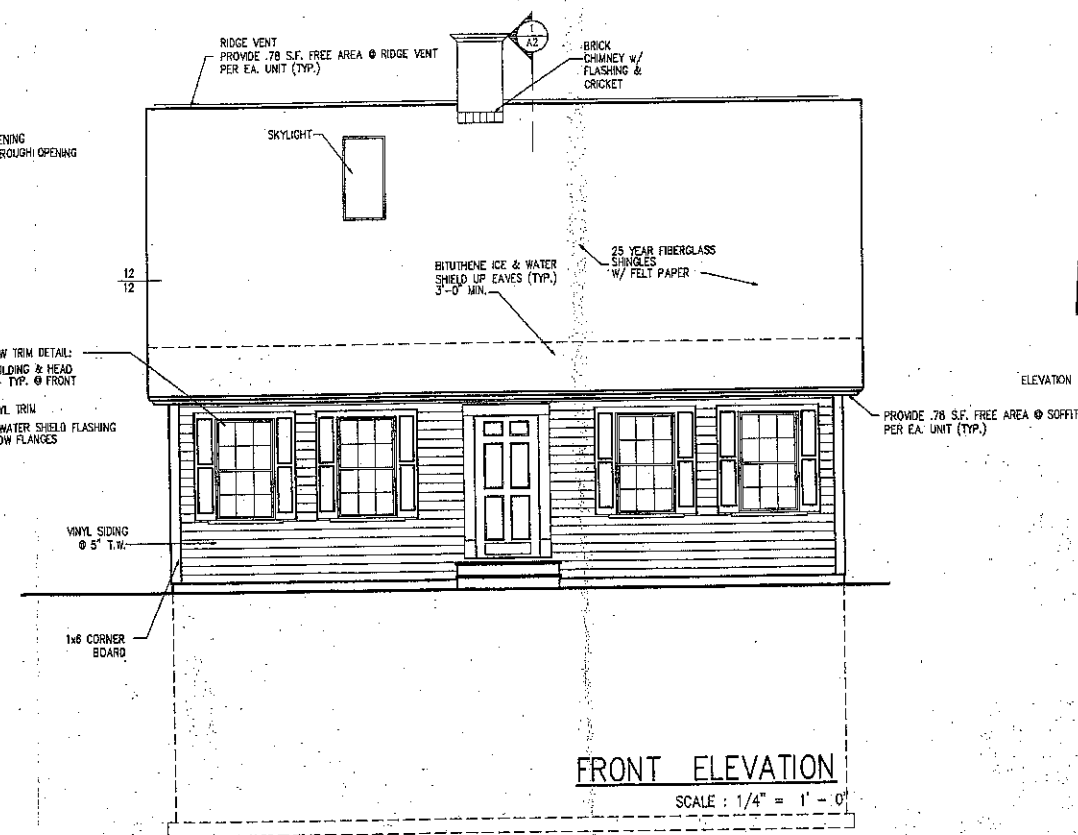
TYPICAL ROOF CONSTRUCTION



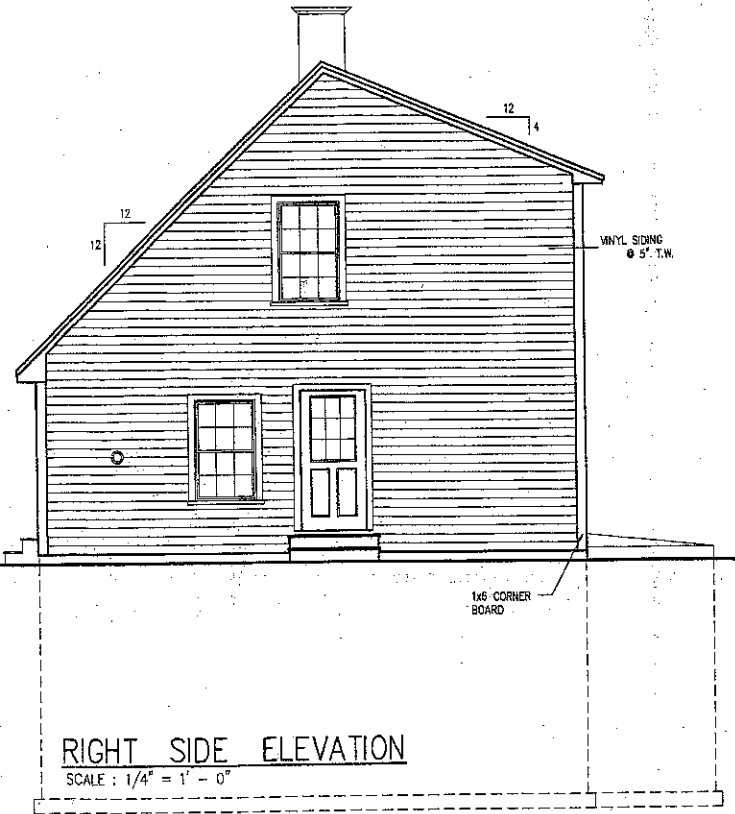
SECTION THRU HOUSE  
SCALE: 1/4" = 1' - 0"

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-6"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

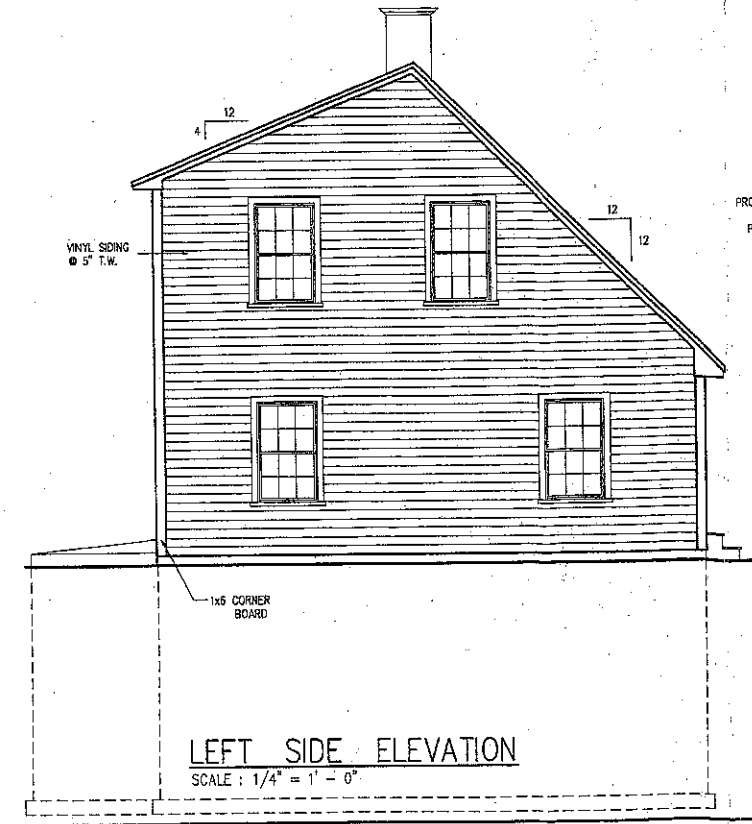
NOTE: PROVIDE JAWS BOTH ENDS AS FOLLOWS:  
2x6 JACK PLUS 2x6 KING UP TO 4'-0" ROUGH OPENING  
(2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



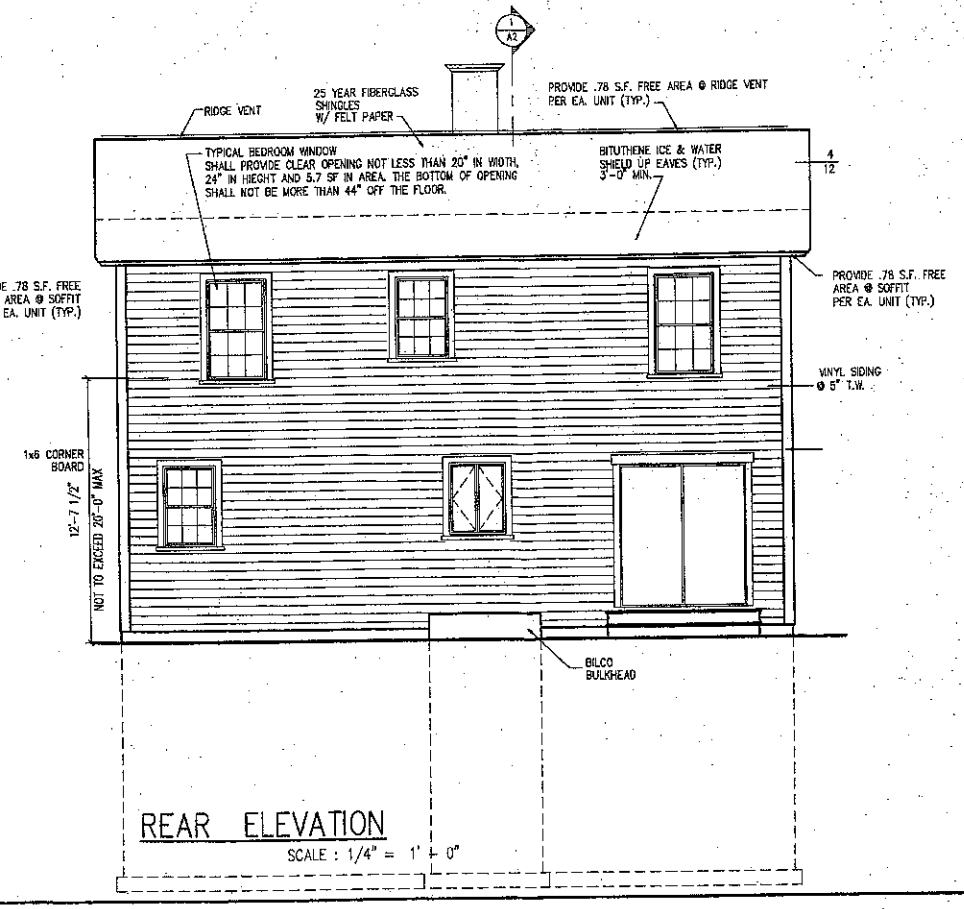
FRONT ELEVATION  
SCALE: 1/4" = 1' - 0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1' - 0"



REAR ELEVATION  
SCALE: 1/4" = 1' - 0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR - 8 2007  
RECEIVED

26x32 CAPE  
DRAWINGS THIS SHEET  
ELEVATIONS / SECTION  
DATE  
12/14/06

A2