

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 070405

This is to certify that KIMBALL ROBERT B III / Knight Brackett

has permission to Amend permit # 070224 Change from a scope to a Colonial

AT 108 COBE AVE

210 B013001

PERMIT ISSUED

MAY 11 2007

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

5/9/07 [Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

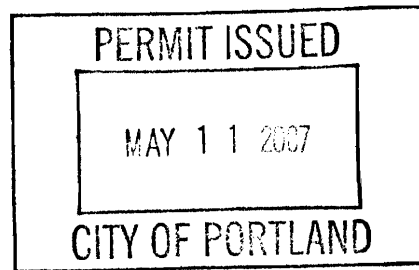
Permit No: 07-0405	Issue Date:	CBL: 210 B013001
-----------------------	-------------	---------------------

Location of Construction: 108 COBB AVE	Owner Name: KIMBALL ROBERT B III	Owner Address: 175 ROCKY RD	Phone:
Business Name:	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone 2077728629
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R2

Past Use: Single Family	Proposed Use: Single Family Amend permit #070224 Change from a Cape to a Colonial same footprint	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 3
Proposed Project Description: Amend permit # 070224 Change from a Cape to a Colonial		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5A IRC 2003	
		Signature: _____		Signature: 5/9/07 CE
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 04/19/2007	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/conditional Date: 4/24/07 ABM	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
---	--	--	---



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0405	Date Applied For: 04/19/2007	CBL: 210 B013001
------------------------------	--	----------------------------

Location of Construction: 108 COBB AVE	Owner Name: KIMBALL ROBERT B III	Owner Address: 175 ROCKY RD	Phone:
Business Name:	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone: (207) 772-8629
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Amend permit #070224 Change from a Cape to a Colonial same footprint	Proposed Project Description: Amend permit # 070224 Change from a Cape to a Colonial
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/24/2007

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit is being issued with the understanding that the footprint of the building is the same as the original permit (#07-0224), and located in the exact same spot on the lot.
- 3) The same conditions from permit #07-0224 still apply.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/09/2007

Note: **Ok to Issue:**

- 1) The attic scuttle opening must be 22" x 30".
- 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 3) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 7) Fastener schedule per the IRC 2003
- 8) The owner and builder agree to submit a statement from a licensed surveyor PRIOR to placement of backfill stating the location of the structure is compliant with the City of Portland required setbacks.
- 9) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 10) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>102 CCBIB AVE</u>		
Total Square Footage of Proposed Structure <u>1600</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>210 B 013</u>	Owner: <u>Dwight Brackett</u> <u>84 Country Lane</u> <u>Portland, ME 04103</u>	Telephone: <u>207-756-0687</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ _____ Fee: \$ <u>30</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name: _____ Project description: <u>26 x 32 COLONIAL</u> <u>3 BED ROOM</u>		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT</u> Mailing address: _____ Phone: _____		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 4/18/07

This is not a permit; you may not commence ANY work until the permit is issued.

CL

Applicant: Robert Kimball

Date: 3/6/07

Address: 102 Cobb Ave

C-B-L: 210-B-013

permit #: 07-0224

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R2

Interior or corner lot -

Proposed Use/Work - build new ^{single family} cape w/ full dormer - ~~21x34~~ ^{26'x32'} (no garage)

Severage Disposal - city

Lot Street Frontage - 50' min. - 100.02' given

Front Yard - 25' min. - 28' scaled to front steps

Rear Yard - 25' min. 38' scaled to backhead

* Side Yard - ^{1 1/2 stories = 12'} 2 spans = 14' 36.5' scaled on right side
29.5' scaled on left side

Projections - ~~6'x6' deck~~, 5'x6' bulkhead, side entry ^{2'x5'} ~~1.75'x4'~~ + front entry? 2'x5'

Width of Lot - 80' min. - 100' scaled.

Height - 35' max - 21.25' scaled

Lot Area - 10,000 sq ft min. - 10,032.45 sq ft given

Lot Coverage Impervious Surface - 30% = 2006.45 sq ft

Area per Family - 10,000 sq ft

Off-street Parking - 2 spaces required - ~~not shown~~

Loading Bays - N/A

Site Plan - 2007 - 0041

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 12 - zone X

* no daylight basement.

* Same footprint -
0.151 acre
was considered to
be a two story.

26 x 32 = 832
5 x 6 = 30
~~1.75 x 4 = 7~~
2 x 5 = 10
2 x 5 = 10

OK

2 spaces shown
40' x 12' area

582



Staff Review Checklist

One & Two Family	Plan Review	Checklist
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
Structural		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	12x24" 10" Concrete wall	
Foundation Drainage, Fabric, Damp Proofing (Section R405 & R406)	✓	
Ventilation/ Access (Section R408.1 & R408.3) Crawls Space ONLY	2 windows	
Anchor Bolts/Straps, Spacing (Section R403.1.6)	✓	
Lally Column Type (Section R407) ✓ Girder & Header Spans (Table R 502.5(2))	. OK. 3/2x10 ✓	
Built-Up Wood Center Girder Dimension/Type	3/2x10 ✓	
Sill/Band Joist Type & Dimensions	2x6 O.T.	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 / 12" O.C	NOTE 12" O.C.
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C	
Attic or Additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) & R802.4(2))	Roof Trusses 2x4	✓

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	4/12 Trusses	Need spec sheets. *
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2"	
Fastener Schedule (Table R602.3(1) & (2))	IRC 2003	
Private Garage (Section R309) Living Space? (Above or beside) Fire Separation (Section R309.2)	N/A	
Opening Protection (Section R309.1)	bedroom egress windows ✓	
Emergency Escape and Rescue Openings (Section R310)	22x30 Attic scuttle	
Roof Covering (Chapter 9)	Asphalt 25 yr.	
Safety Glazing (Section R308)	Sliding / entry door.	
Attic Access (Section R807)	22x30 Attic scuttle	
Chimney Clearances/Fire Blocking (Chap. 10)	2"	
Header Schedule (Section 502.5(1) & (2))	O.K.	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-38 R-19 R-19	
Type of Heating System		

Means of Egress (Sec R311 & R312)

Basement

NOT Habitable space

Number of Stairways

1

Interior

1

 ExteriorTreads and Risers
(Section R311.5.3)

7 3/4 10

Width (Section R311.5.1)

Headroom (Section R311.5.2)

6-8

Guardrails and Handrails
(Section R312 & R311.5.6 – R311.5.6.3)

✓

Smoke Detectors (Section R313)
Location and Type/Interconnected

✓

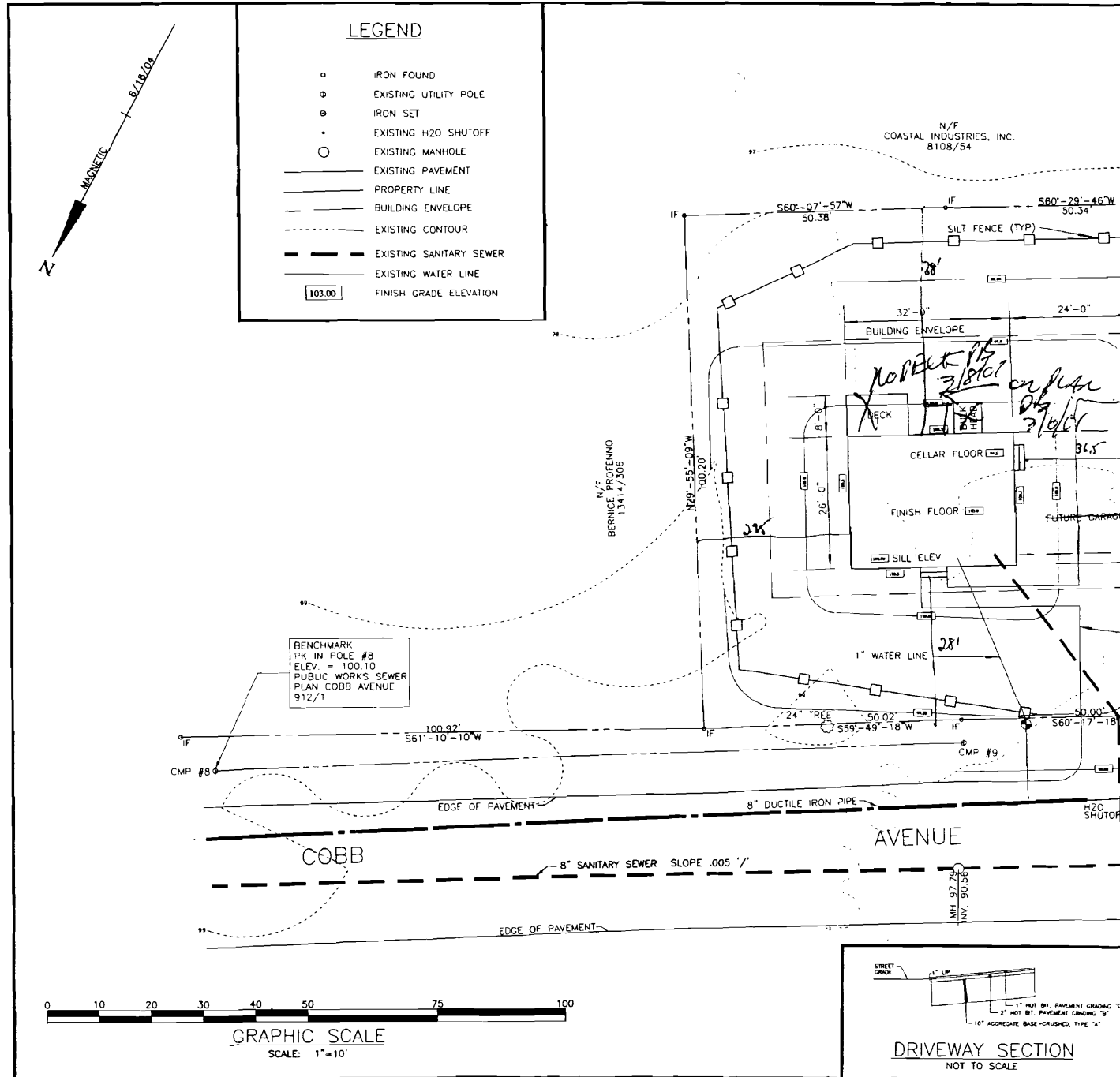
Dwelling Unit Separation
(Section R317) and IBC – 2003 (Section 1207)

N/A

Deck Construction (Section R502.2.1)

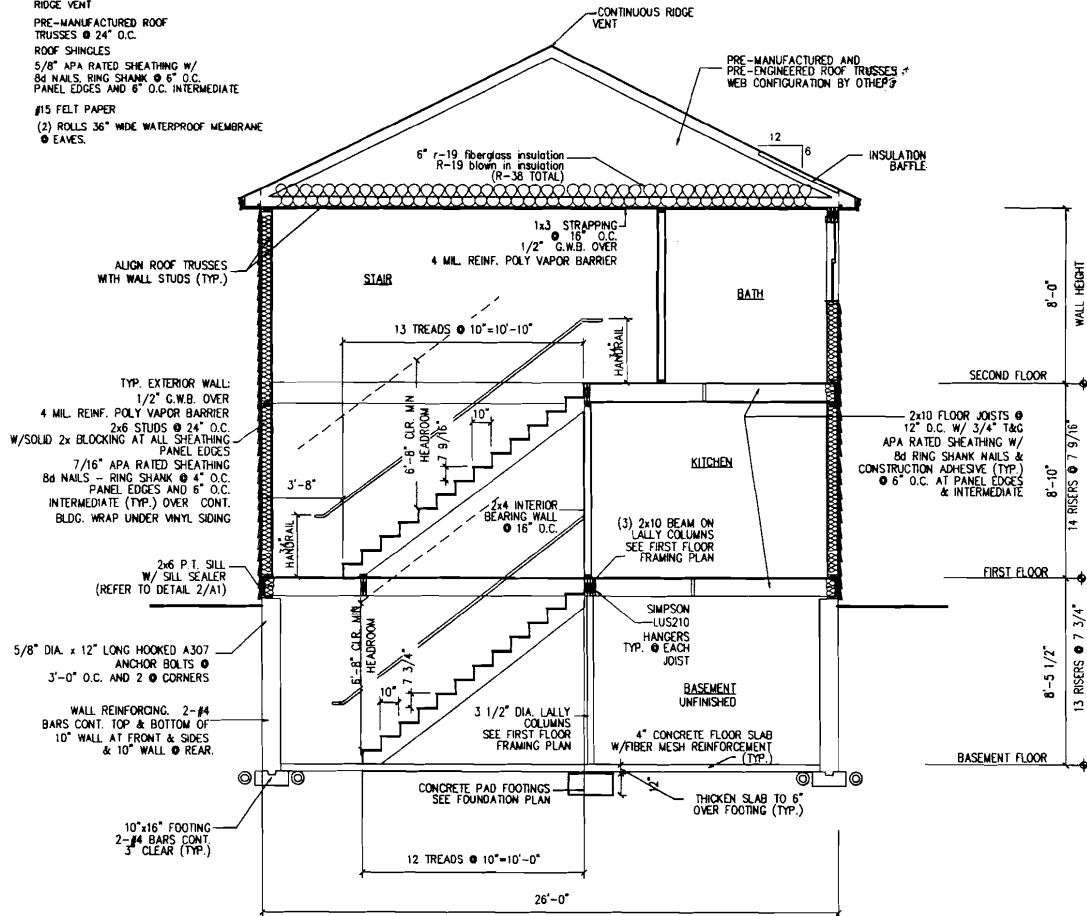
N/A

Permit # 07-0224



TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.



ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

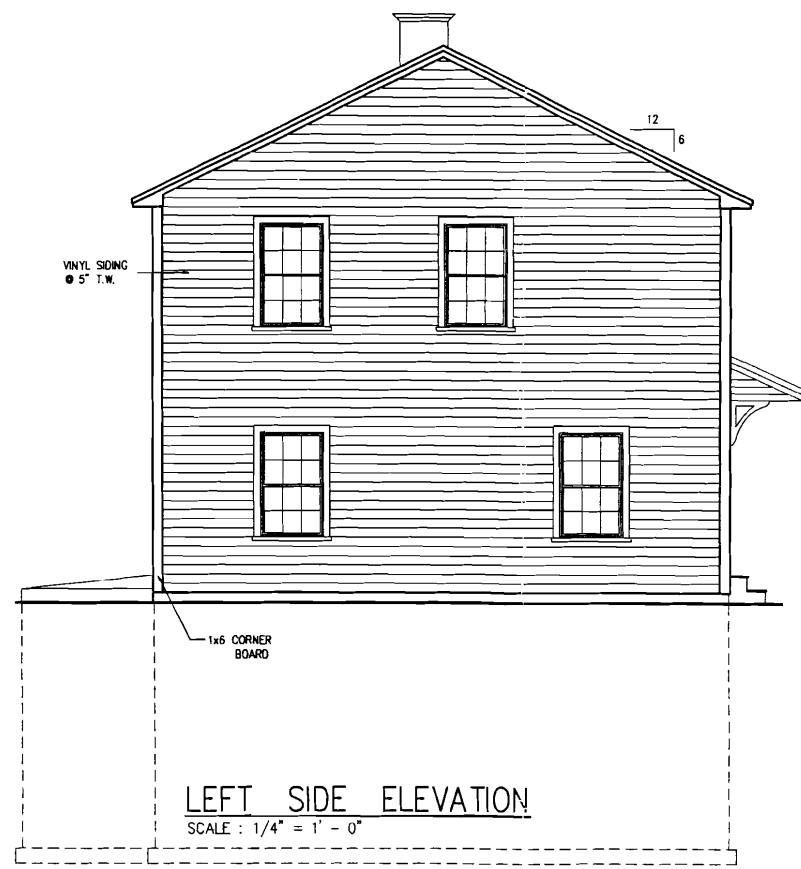
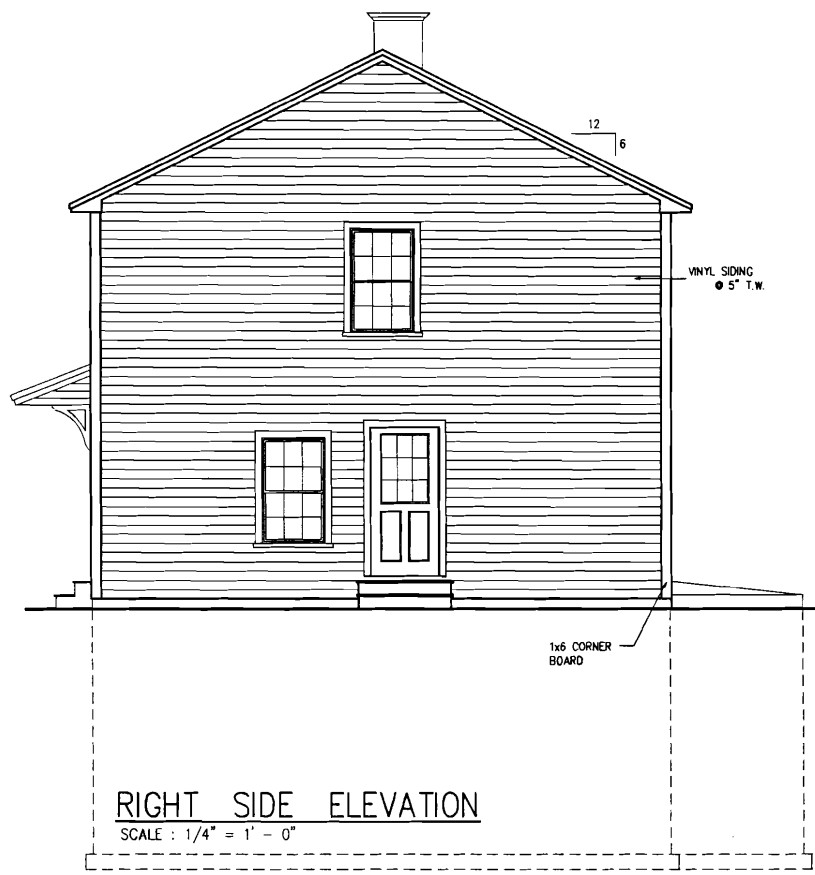
TYP. WINDOW TRIM DETAIL:
 CROWN MOULDING & HEAD FLASHING - TYP. @ FRONT ELEVATION
 3 1/2" VINYL TRIM
 JOE & WATER SHIELD FLASHING OVER WINDOW FLANGES

VINYL SIDING @ 5" T.W.

1x6 CORNER BOARD

1 SECTION THRU HOUSE

SCALE : 1/4" = 1' - 0"



REA

GENERAL NOTES:

- All work shall be in accordance with IBC Basic Building Code, NFPA-70 National Electric Code, More State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire rating material.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- Balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all Federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

FOUNDATION NOTES:

- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED W/CCA TO 0.4#/#CF RETENTION PER ANPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- WATERPROOFING / DAMP PROOFING ASPHALT TAR.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ FIBER MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'15" SPACING (225SF).
- ALL CONCRETE SHALL BE 3000 PSI (f_c) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%/s.
- ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.

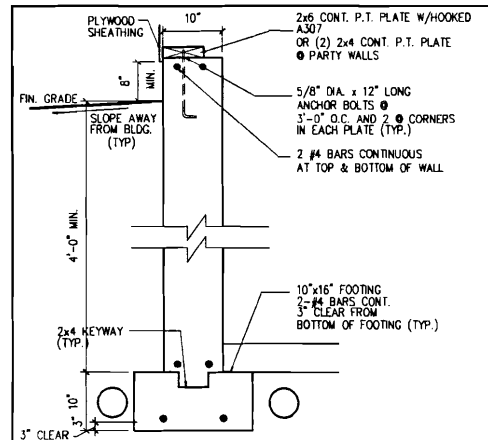
FRAMING NOTES:

- ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL. 6" BATT INSULATION (R-19), AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

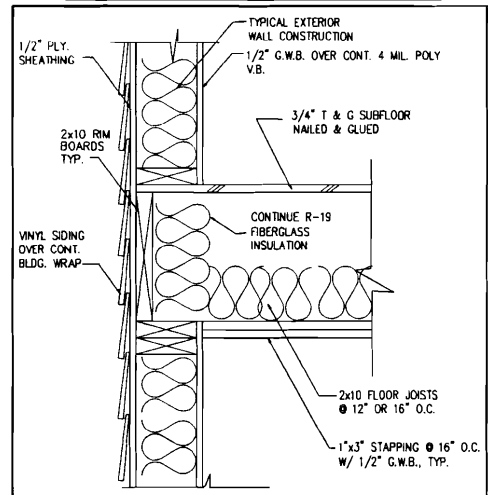
HEADER SCHEDULE

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

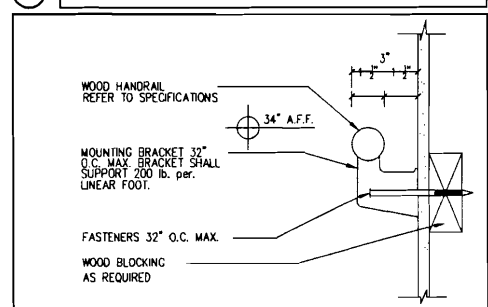
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
2x8 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
(2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



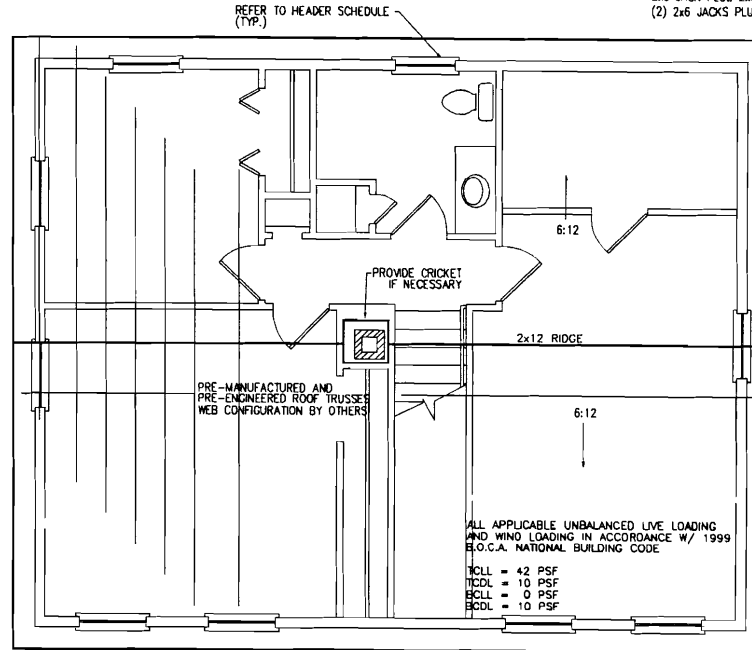
1 TYPICAL FOUNDATION WALL SCALE: 1"=1'-0"



2 FLOOR FRAMING DETAIL 1 1/2" = 1'-0"

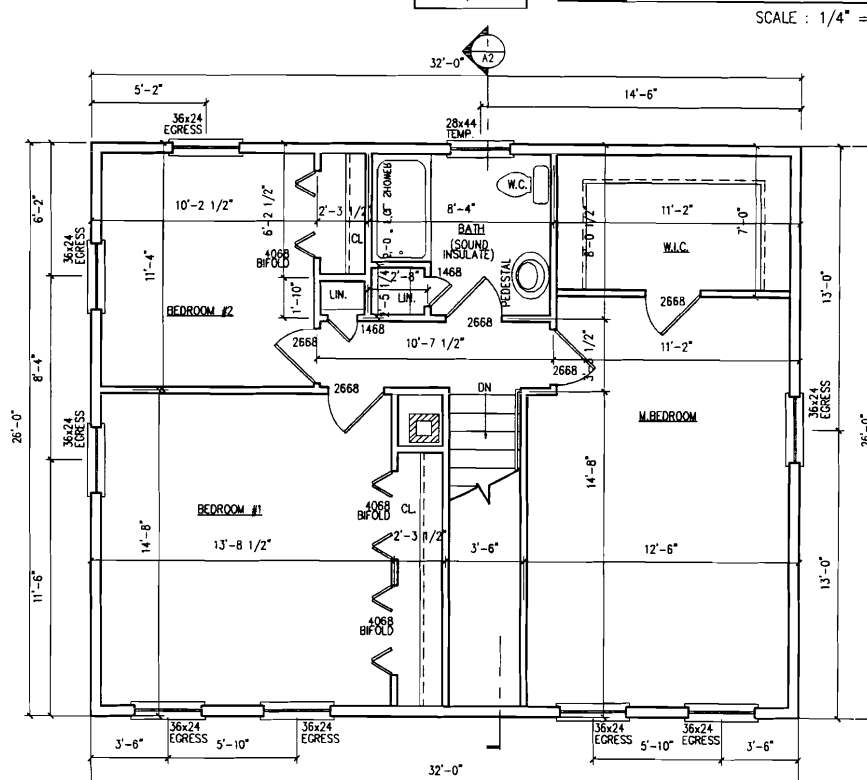


HANDRAIL DETAIL NTS



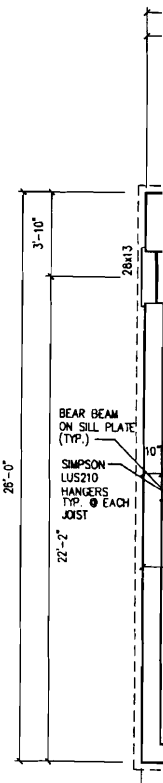
ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"

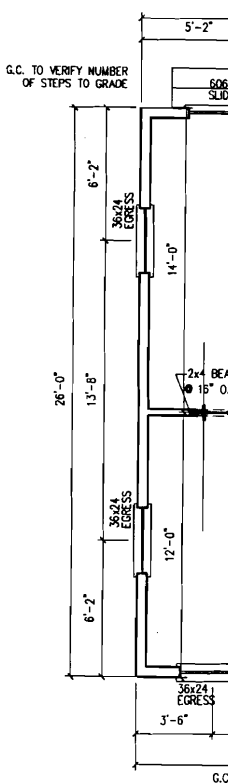


SECOND FLOOR PLAN

832 S.F. SCALE: 1/4" = 1' - 0"



FOU



G.C.