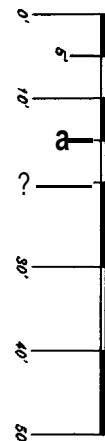
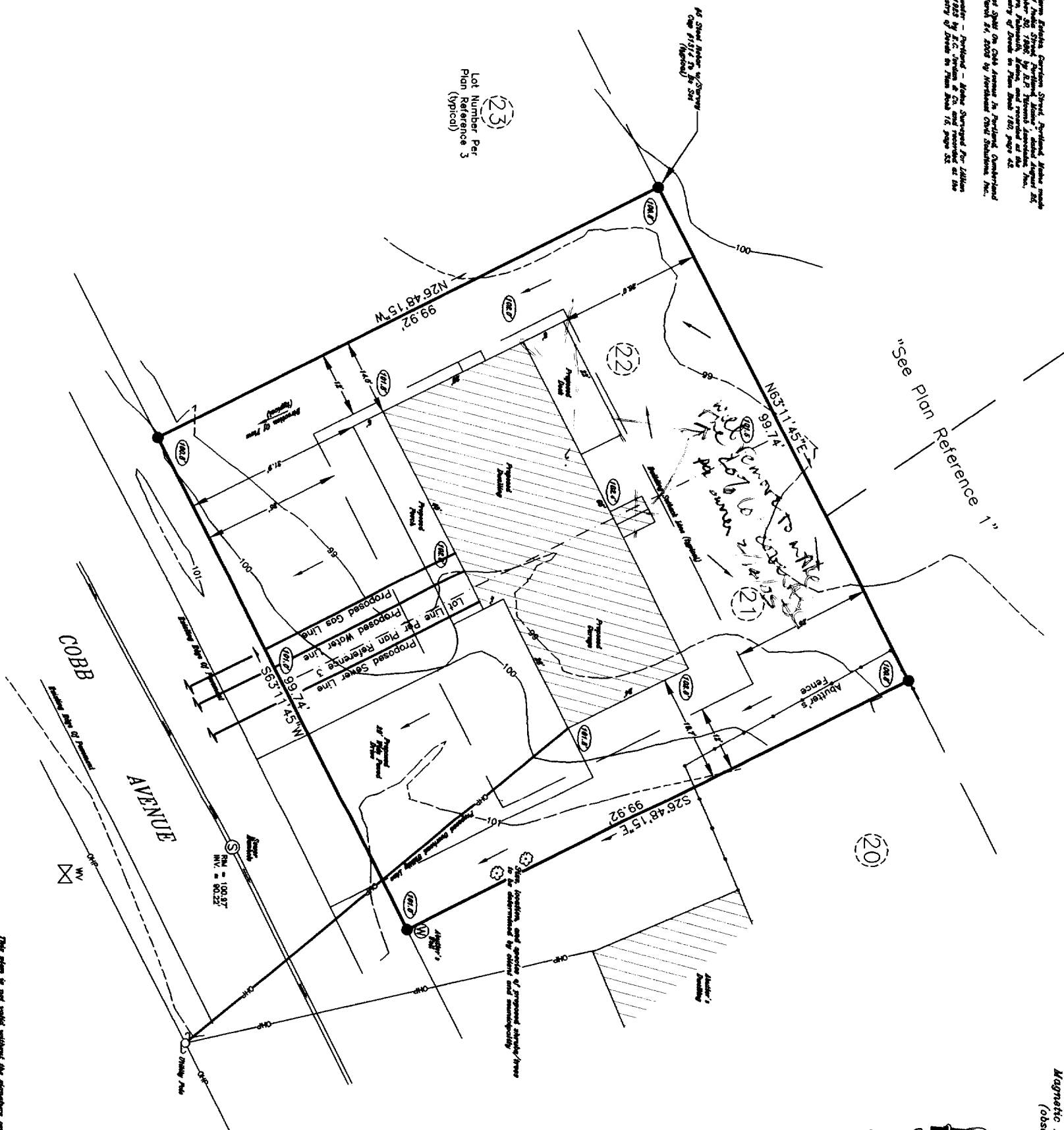


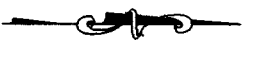
**Plan References:**

1. "Property Map Shows From Public Section Street System, Maine State Planning Corporation, 1988, Street Planning System," dated August 24, 1988, last revised December 20, 1988, by E.P. Hennessey Associates, Inc., 1500 Main Street, Portland, ME 04101, 7000-1000, sheet 100, page 42.
2. "Boundary Survey and Lot Plan for Lots 20-24, Avenue B, Portland, Cumberland County, Maine," dated August 14, 2003 by Portland GIS Associates, Inc., 1500 Main Street, Portland, ME 04101, 7000-1000, sheet 100, page 42.
3. "Plan of Lot 41, 37th Street - Portland - Maine Surveyed by William K. Parker," dated May 1925 by E.C. Adams of O. and F. Adams of the Cumberland County Registry of Deeds in Plan Book 16, page 22.



Graphic Scale:

Magnetic North 2004 (observed)



**General Notes:**

1. This plan is not intended to depict depths or depths of lot lines ownership. The plan is not to be used for any other purpose.
2. This office assumes the responsibility for all data and drawings.
3. The owner of this plan is to be held harmless by all other parties.
4. The owner of this plan is to be held harmless by all other parties.
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**Locus Deed Reference:**

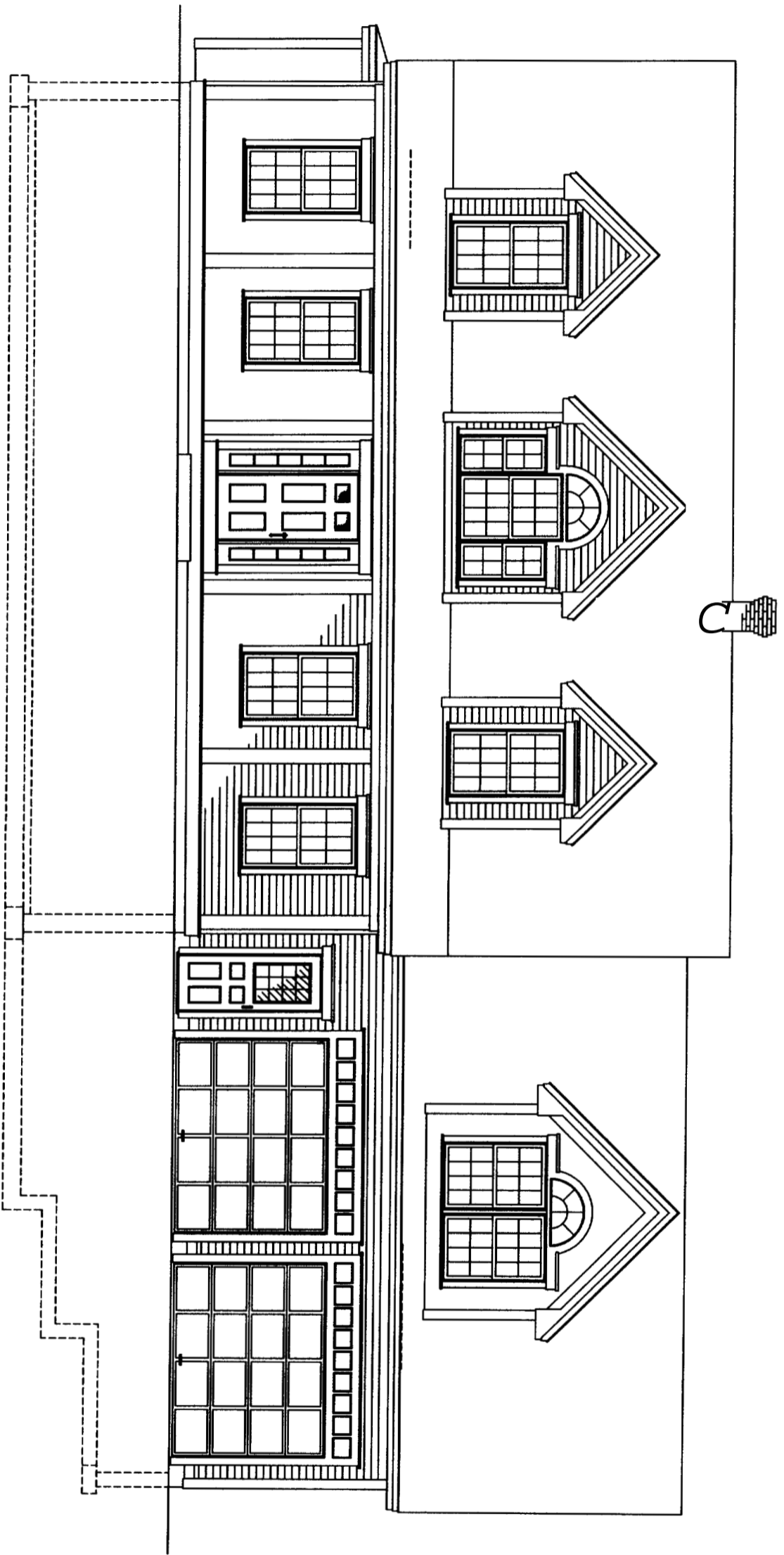
*Rebba S. Russell-Kirball  
to  
Douglas Fullitt and Pamela Gilmore*  
dated August 2, 2004, and recorded at the Cumberland County Registry of Deeds in Book 81078, page 188.

Plan Showing The Location of A Proposed Dwelling  
Made For  
**Douglas Fullitt and Pamela Gilmore**  
Northeasterly Side of Cobb Avenue  
**PORTLAND, MAINE**

PREPARED BY: **NADEAU & LODGE, INC.**  
PROFESSIONAL LAND SURVEYORS  
918 BRIGHTON AVENUE  
PORTLAND, ME 04102  
(207) 878-7870

**GENERAL NOTES:**  
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DESIGNER: NADEAU & LODGE, INC.	DRAWN BY: TFB	CHECKED BY: JMW/BNL	DATE: JAN 7, 2006
PROJECT NO: 05-03	SHEET NO: 1 OF 1	SCALE: AS SHOWN	



FRONT ELEVATION

REVISED 03-04-05

Treeline Development Corporation  
Portland, Maine

MORIN DRAFTING GORHAM, ME. 893-2462

WILLETT RESIDENCE  
COBB AVENUE

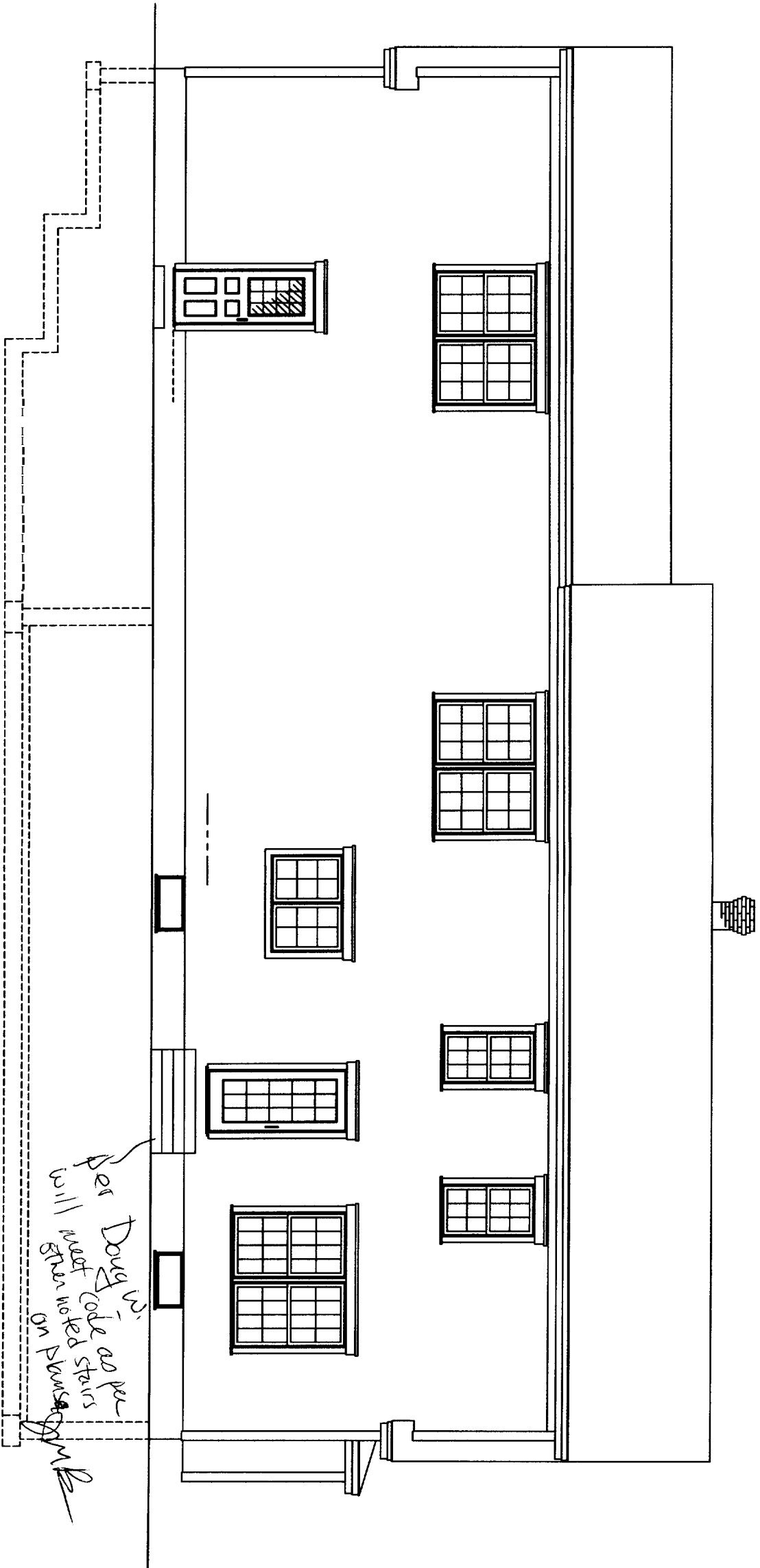
ELEVATION

DRAWN: J. MORIN

SCALE: 1/4"=1'-0"

DATE: 11-30-04

A1



REAR ELEVATION

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 MAR - 7 2005  
 RECEIVED

REVISED 01-02-05

Treeline Development Corporation  
 Portland, Maine

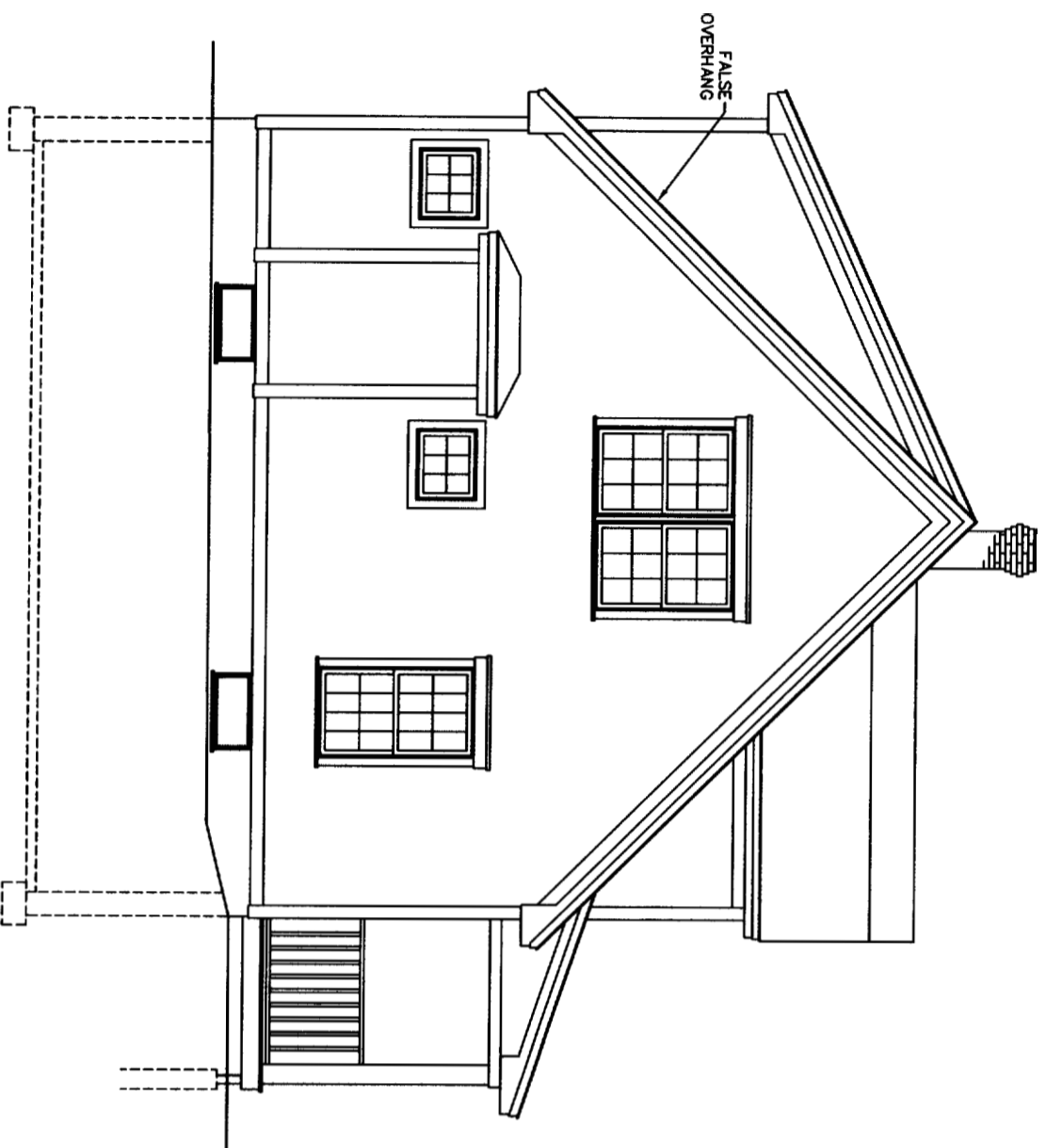
MORIN DRAFTING GORHAM, ME: 893-2462

WILLETT RESIDENCE  
 COBB AVENUE

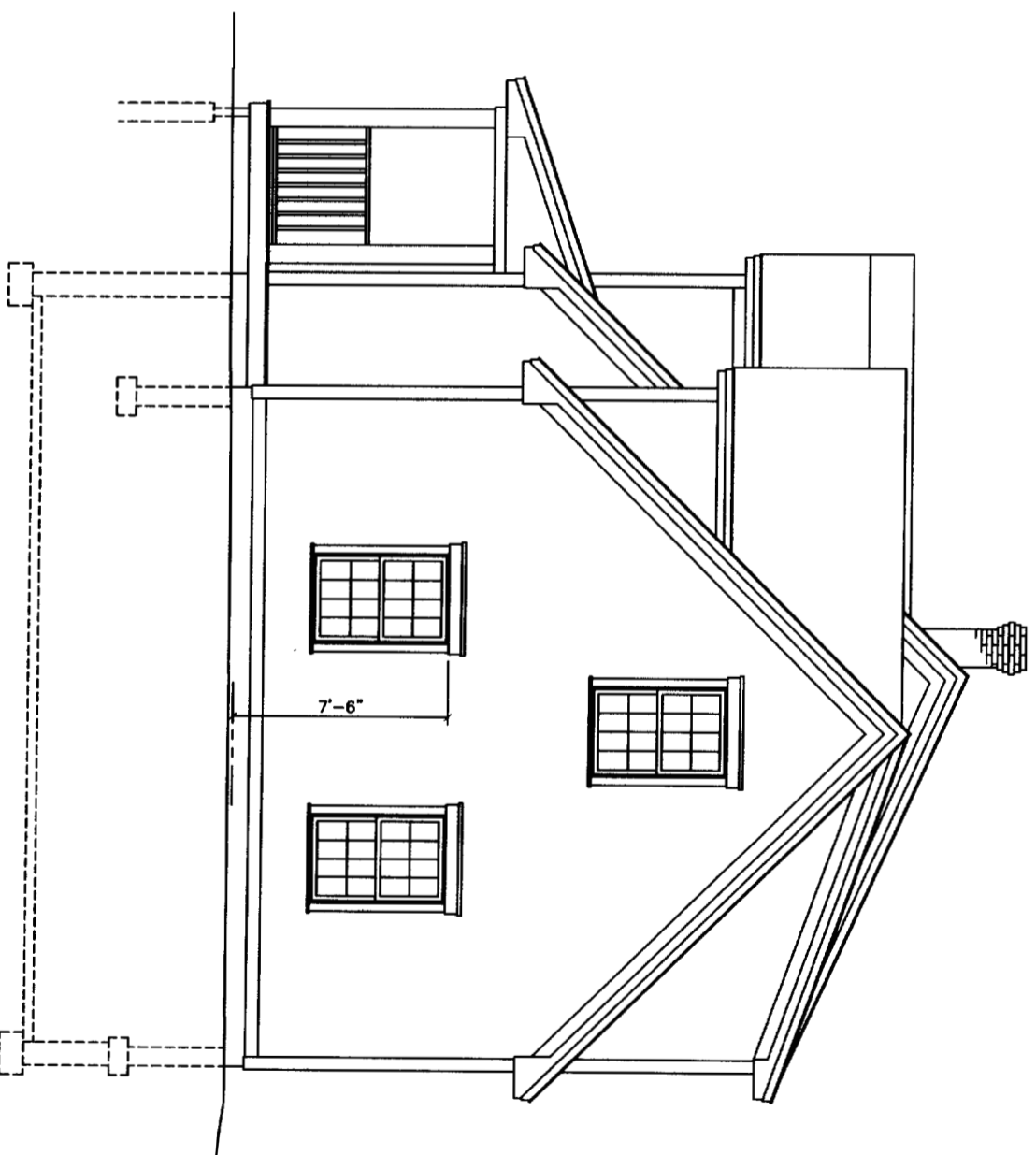
ELEVATION

DRAWN: J. MORIN  
 SCALE: 1/4"=1'-0"  
 DATE: 11-30-04

A2



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR - 7 2005  
RECEIVED

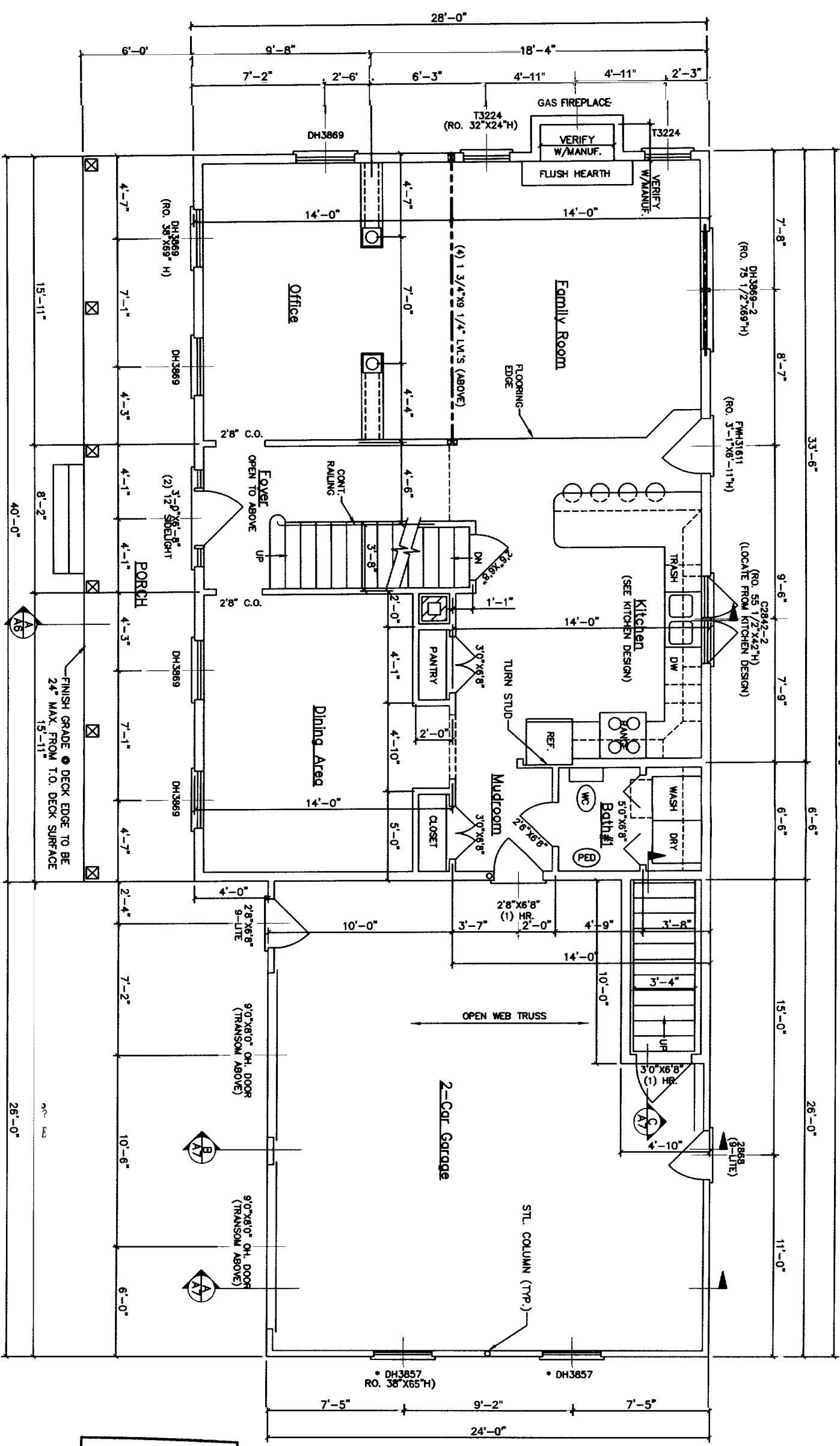
REVISED 03-04-05  
Treeline Development Corporation  
Portland, Maine  
MORIN DRAFTING GORHAM, ME. 893-2462  
WILLETTS RESIDENCE  
COBB AVENUE  
ELEVATION  
DRAWN: J. MORIN  
SCALE: 1/4"=1'-0"  
DATE: 11-30-04

A3

\* DENOTES WINDOWS THAT ARE IN STOCK-SEE OWNER

HEADER SCHEDULE	
HEADER SPAN	FIRST FLOOR (1,300 P.F.)
0'-0" - 4'-0"	(3) 2 X 10
4'-1" - 7'-0"	(3) 2 X 12*
7'-1" - 10'-0"	(3) 1 3/4 X 9 1/2 L.V.S.**
10'-1" - 15'-0"	(3) 1 3/4 X 9 1/2 L.V.S.**
15'-1" - 26'-0"	(3) 2 X 8
26'-1" - 33'-0"	(3) 2 X 12*
33'-1" - 66'-0"	(3) 2 X 12*
66'-1" - 111'-0"	(3) 1 3/4 X 9 1/2 L.V.S.**
111'-1" - 155'-0"	(3) 2 X 12*
155'-1" - 266'-0"	(3) 2 X 12*

\*\* - INCLUDES TRIPLE 3'-0" WINDOWS



**GENERAL CONSTRUCTION NOTES:**  
 (THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY. THEY SHOULD NOT BE INTERPRETED AS CODE OR VIEWED AS THE COMPLETE CODE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE TOWN ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS.)

1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE CODE FASTENER SCHEDULE.
2. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREAD.
3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS, AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER CODE REQUIREMENTS.
4. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIAL.
5. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
6. ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.
7. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
8. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
9. GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY SURFACE - GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
10. GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.
11. ALL GARAGE WALLS REQUIRED TO BE FIRE-RATED SHALL BE CONSTRUCTED WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BD.

**FLOOR PLAN-FIRST FLOOR**

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL. IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.

REVISED 03-04-05

Treeline Development Corporation  
 Portland, Maine

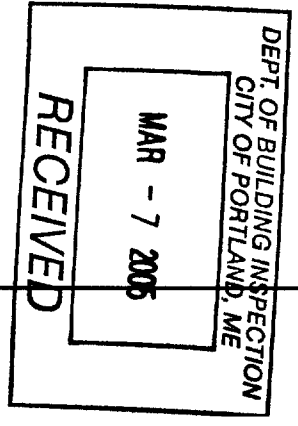
MORIN DRAFTING GORHAM, ME. 893-2462

WILLETT RESIDENCE  
 COBB AVENUE

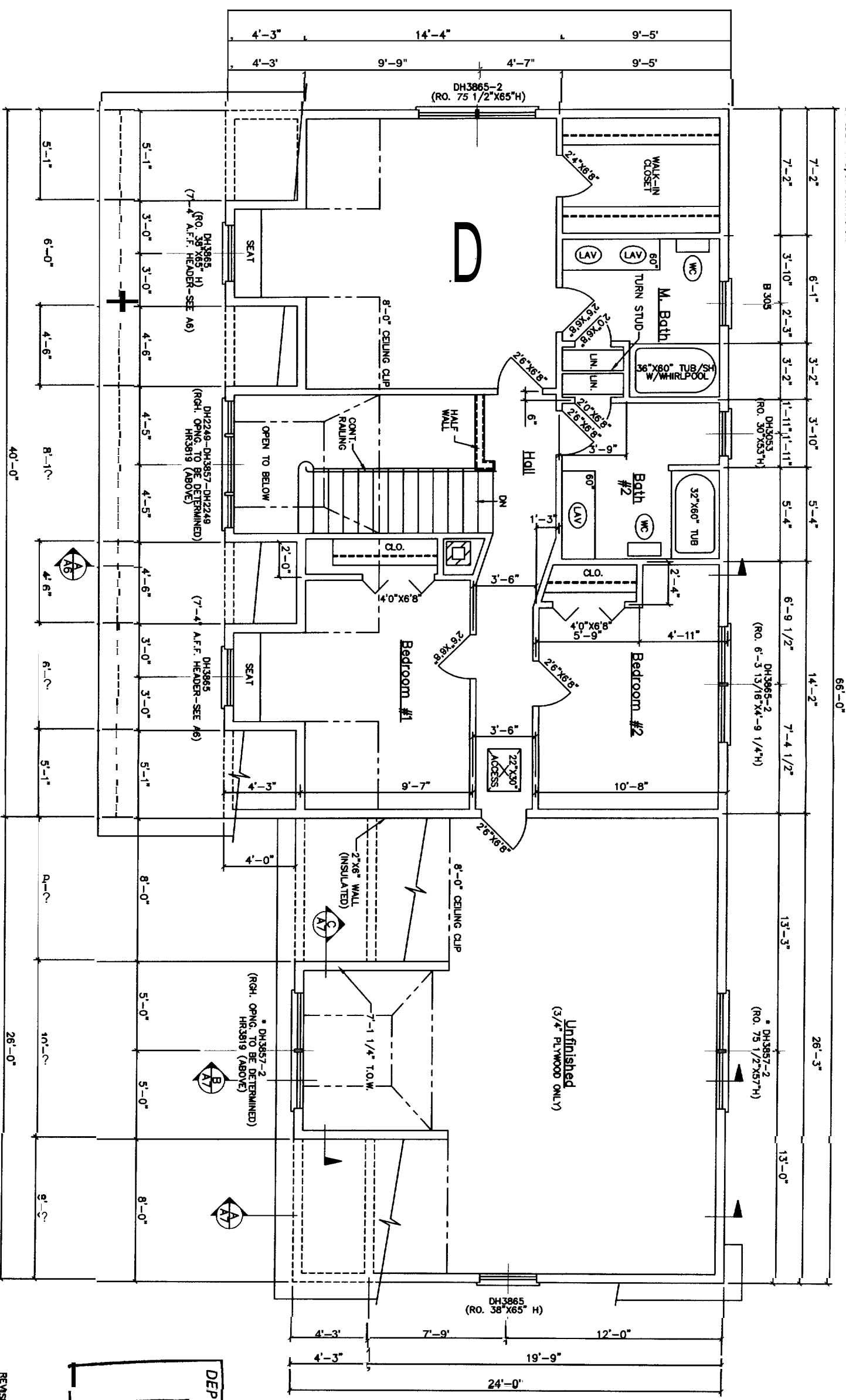
FLOOR PLAN-FIRST FLOOR

DRAWN: J. MORIN  
 SCALE: 1/4" = 1'-0"  
 DATE: 11-30-04

A4



ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL. IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



\* DENOTES WINDOWS THAT ARE IN STOCK-SEE OWNER

FLOOR PLAN-SECOND FLOOR

GENERAL CONSTRUCTION NOTES:  
 ALL SECOND FLOOR EGRESS WINDOWS SHALL MEET THE 5.7 SQ. FT. MIN. NET CLEAR OPENING REQUIREMENT  
 SEE DWG. A1 FOR ADDITIONAL INFORMATION

REMOVED 03-04-05

Treeline Development Corporation  
 Portland, Maine  
 MORIN DRAFTING GORHAM, ME. 893-2462  
 WILLETT RESIDENCE  
 COBB AVENUE

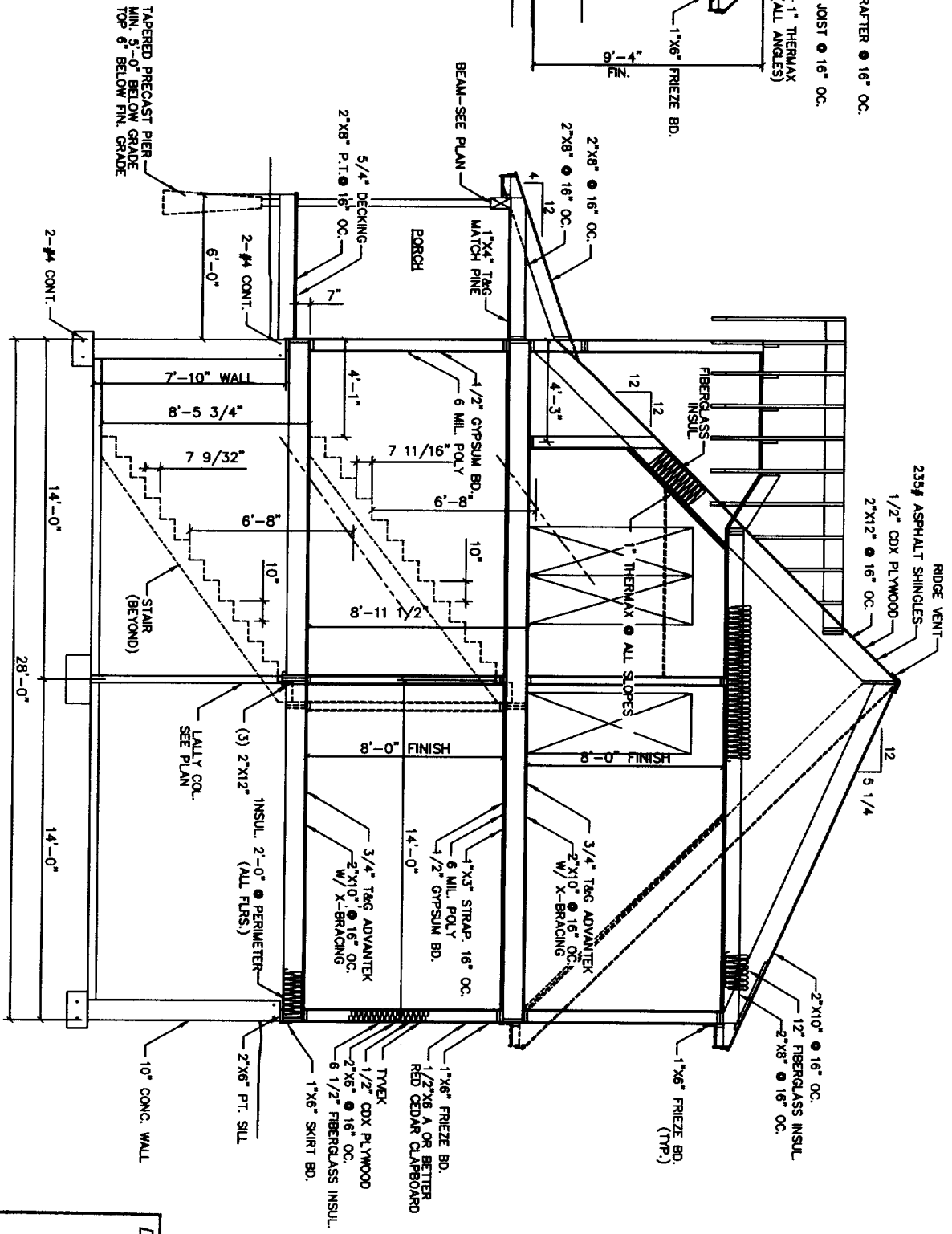
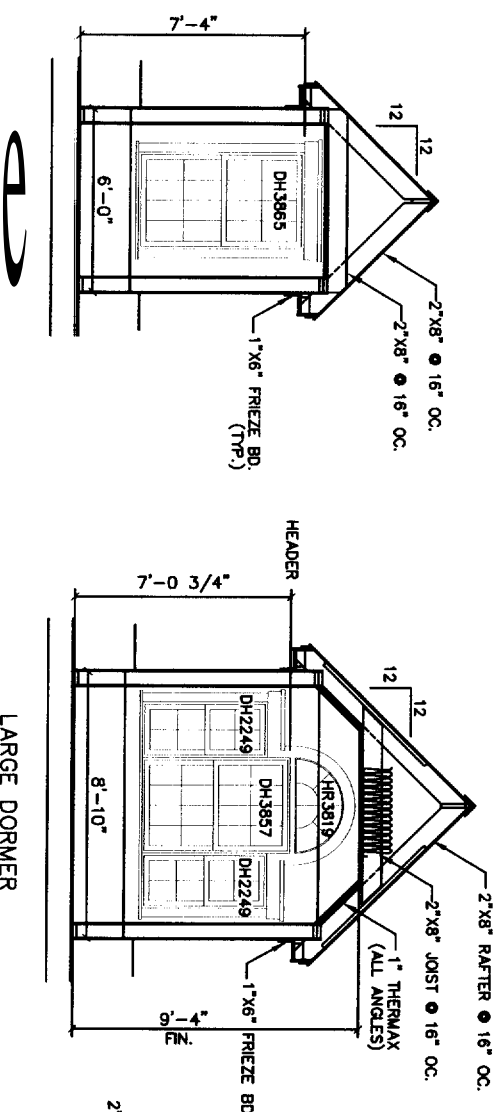
FLOOR PLAN-SECOND FLOOR

DRAWN: J. MORIN  
 SCALE: 1/4"=1'-0"  
 DATE: 11-30-04

A5

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 MAR - 7 2005  
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ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL. IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS SPECIFICATIONS CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT. CONTRACTOR BEGINS WORK DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



SECTION @ HOUSE  
SCALE: 1/4"=1'-0"

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CITY OF PORTLAND, ME  
MAR - 7 2005  
RECEIVED

REVISED 03-04-05

Treeline Development Corporation  
Portland, Maine

MORIN DRAFTING GORHAM, ME. 893-2462

WILLETT RESIDENCE  
COBB AVENUE

SECTION

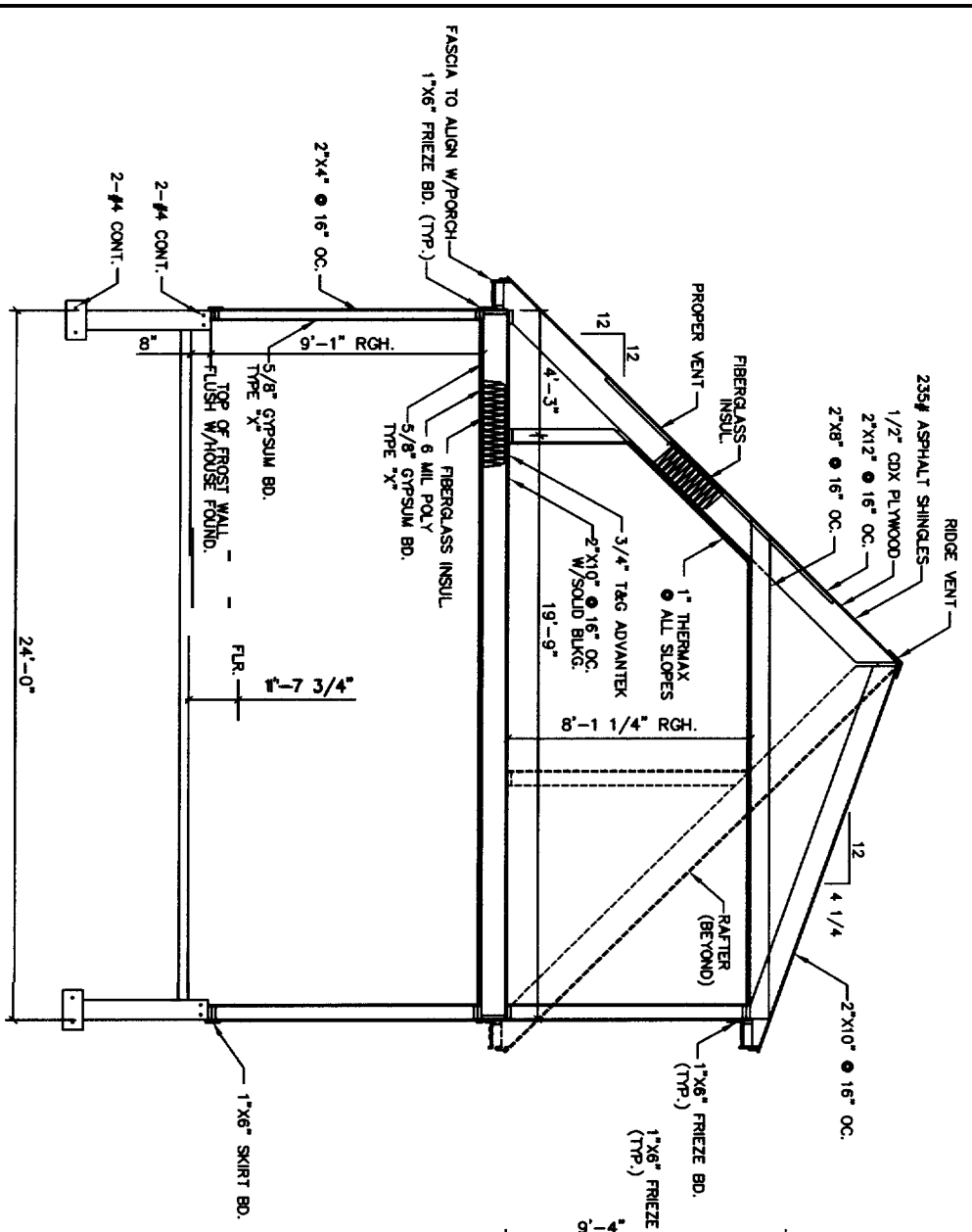
DRAWN: J MORIN

SCALE: 1/4"=1'-0"

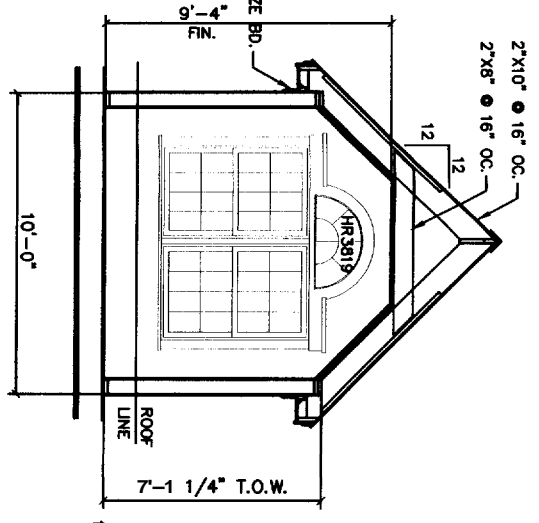
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A6

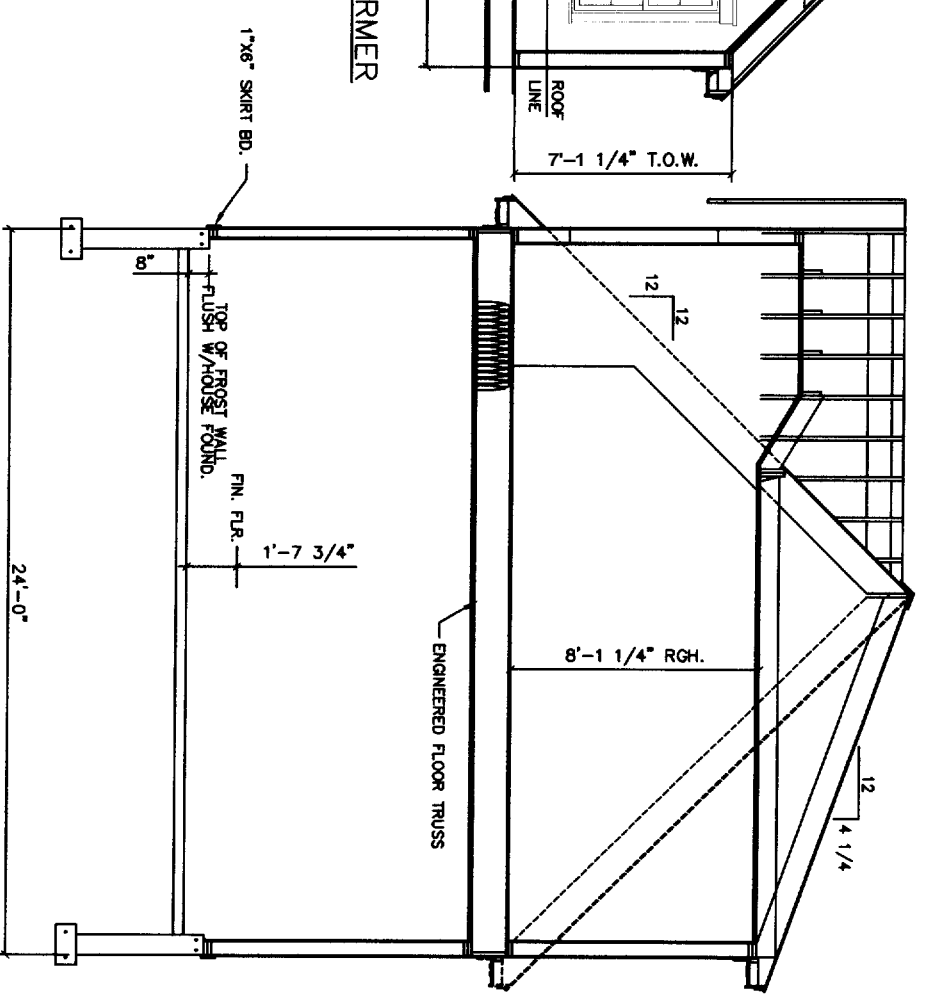
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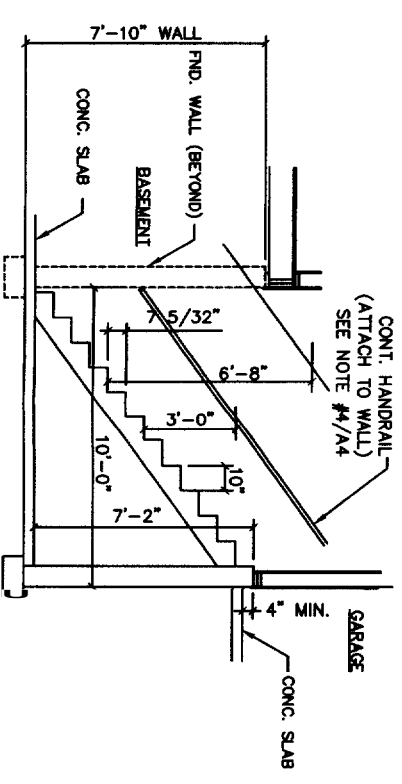
**A-A** SECTION @ GARAGE  
SCALE: 1/4"=1'-0"



**C-C** SECTION @ DORMER  
SCALE: 1/4"=1'-0"



**B-B** SECTION @ GARAGE  
SCALE: 1/4"=1'-0"



**D-D** SECTION @ BASEMENT STAIR  
SCALE: 1/4"=1'-0"

REVISED 03-04-05

Treeline Development Corporation Portland, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
WILLETT RESIDENCE COBB AVENUE	
SECTION	
DRAWN: J. MORIN	
SCALE: 1/4"=1'-0"	
DATE: 11-30-04	

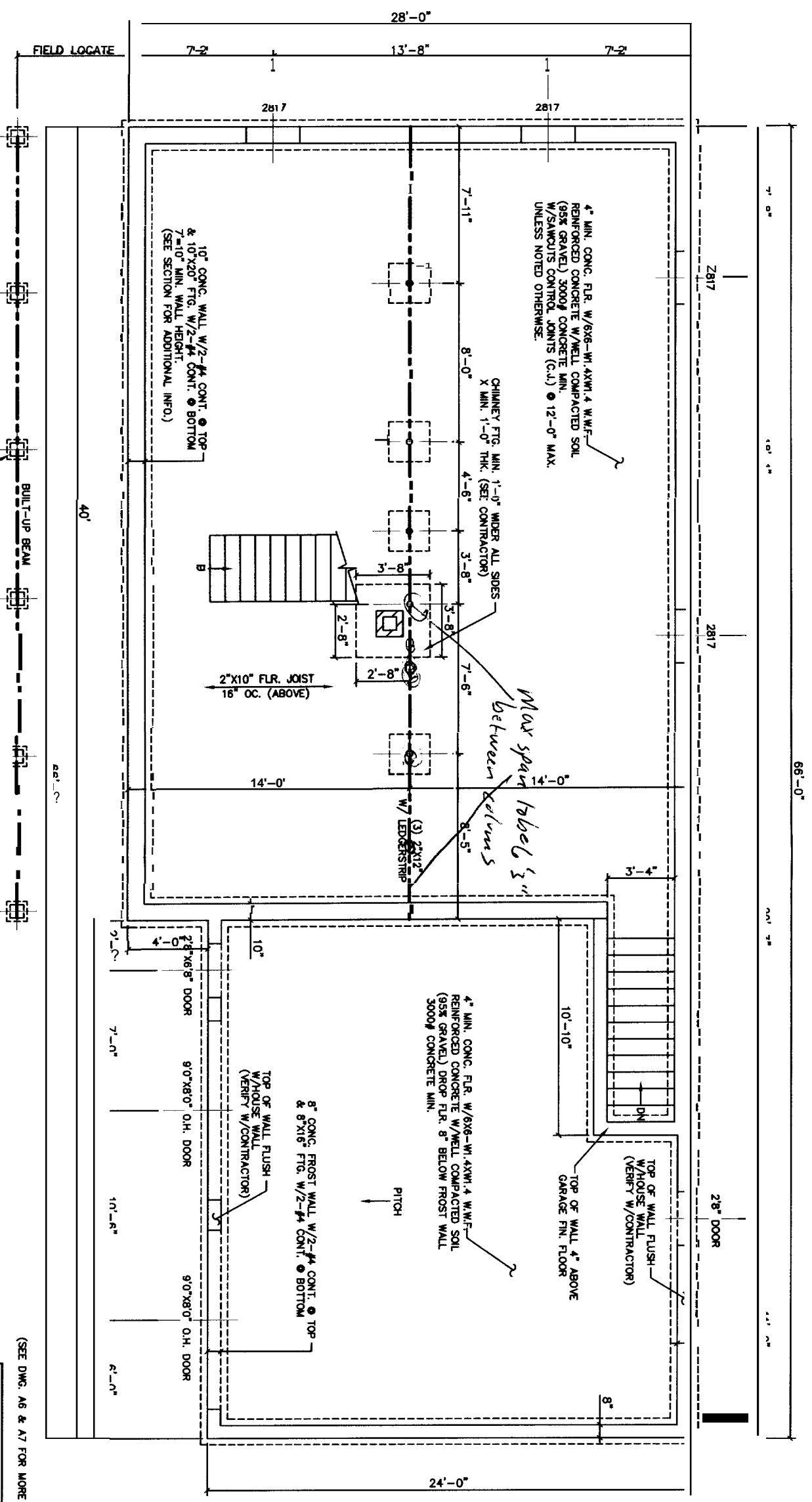
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A7



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- FOUNDATION NOTES:**
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
  2. BASEMENT WINDOW LOCATIONS, AND ROUGH OPENINGS SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
  3. ALL ANCHOR BOLTS SHALL BE 1/2"x1'-0" HOOKED OR EQUIVALENT.
  4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
  5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
  6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN & VERIFY PRODUCT (IE. BULKHEAD ETC.) DIMENSIONS & SPECS. BEFORE FORMS ARE SET.
  8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
  9. DO NOT BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING- JOIST & SUBFLOOR IS COMPLETE.
  10. DRAWING TITLE SHALL BE FLOORED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DIMENSIONS SHALL BE SHOWN IN FIELD DRAWING.
  11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.
  12. ALL CONCRETE SLABS SHALL HAVE SAW-CUT CONTROL JOINTS @ 12'-0" MAX. UNLESS NOTED OTHERWISE.
  13. ALL EXTERIOR BASEMENT WALLS SHALL BE DAMP-PROOFED.



**FOUNDATION PLAN**

(SEE DWG. A6 & A7 FOR MORE INFO.)      REVISED 03-04-05

Treeline Development Corporation Portland, Maine	
MORIN DRAFTING GORHAM, ME: 893-2462	
WILLETTS RESIDENCE COBB AVENUE	
<b>FOUNDATION PLAN</b>	
DRAWN: J. MORIN	
SCALE: 1/4"=1'-0"	
DATE: 11-30-04	

