

HILTON GARDEN INN

PORTLAND, MAINE

APPLICANT:

THE WIDEWATERS NEW
CASTLE PORTLAND
COMPANY, LLC



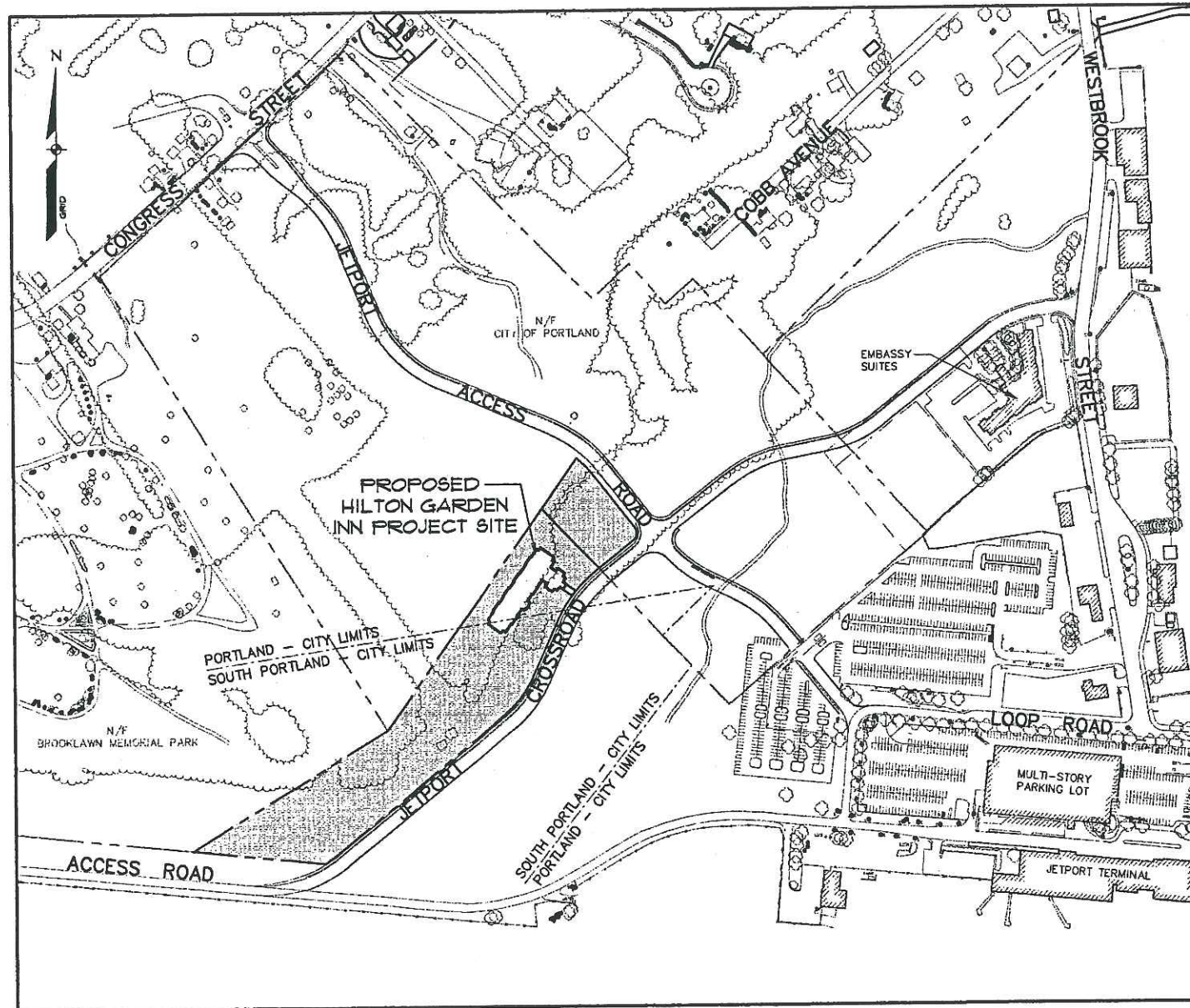
5786 WIDEWATERS PARKWAY
DEWITT, NEW YORK 13214
(315) 445-2424

ENGINEER/
SURVEYOR:

SEBAGO TECHNICS, INC.



Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 856-0277

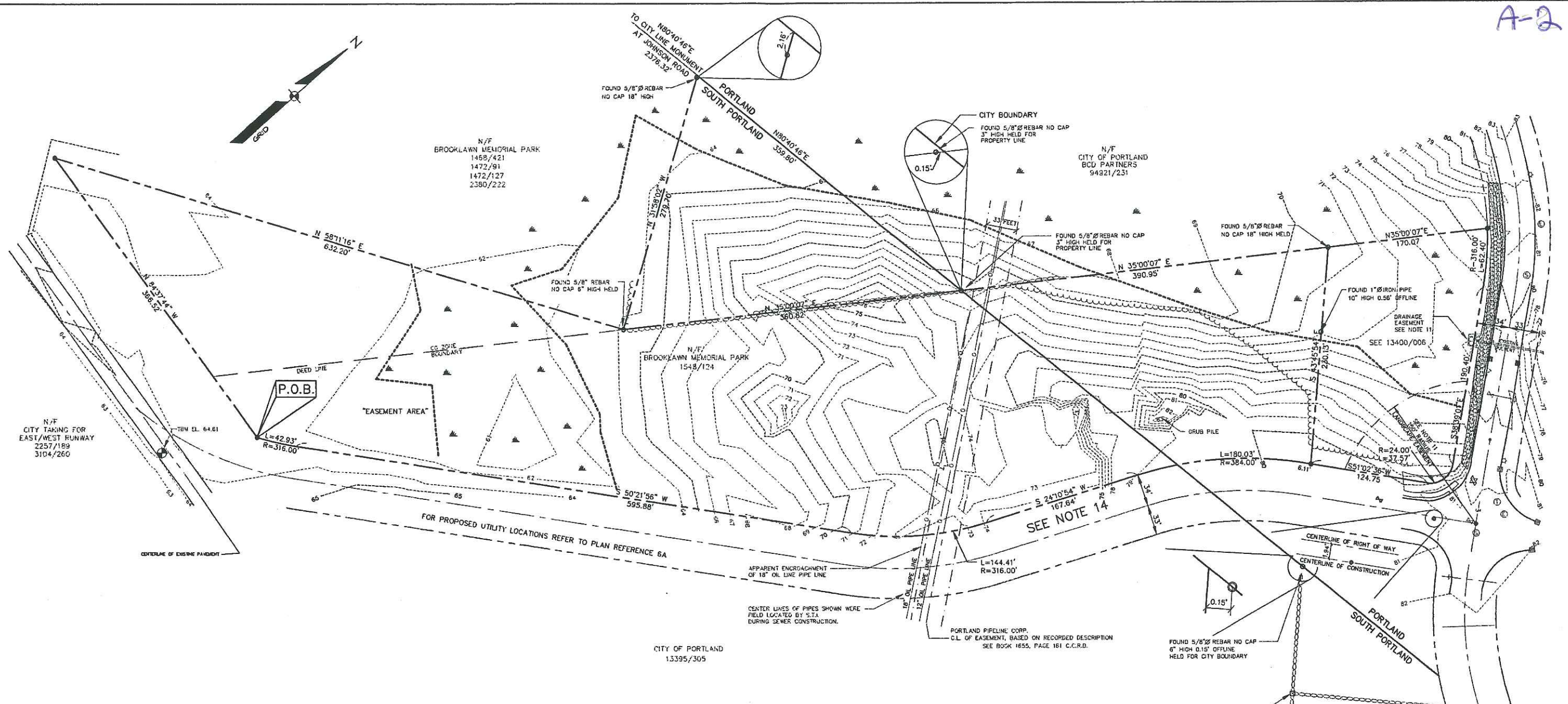


LOCATION MAP

SCALE: 1"=200'

SHEET INDEX

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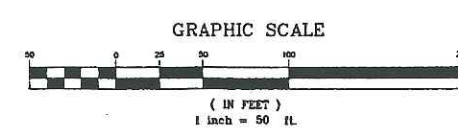


GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS BROOKLAWN MEMORIAL PARK BY A DEED FROM MAINE LAWN CO. DATED MAY 29, 1935 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEED IN BOOK 1468 PAGE 421; A DEED FROM ALBERT H. CHESLEY DATED APRIL 27, 1938 RECORDED IN BOOK 1548 PAGE 124; AND A DEED FROM THE CITY OF PORTLAND DATED OCTOBER 23, 1997 RECORDED IN BOOK 13400 PAGE 6.
- LEASEE: WIDEWATERS NEW CASTLE PORTLAND COMPANY L.L.C. BY MEMORANDUM OF LEASE RECORDED IN BOOK 13980 PAGE 071 CUMBERLAND COUNTY REGISTRY OF DEEDS.
- THIS PROPERTY IS SHOWN THE CITY OF PORTLAND TAX MAP 209 A-A-16 AND ON THE CITY OF SOUTH PORTLAND TAX MAP 46 LOT 30.
- THAT PORTION OF THE PROPERTY IN THE CITY OF PORTLAND LIES PARTIALLY WITHIN THE AB ZONE AND THE R-2 ZONE. THE SOUTH PORTLAND PORTION IS PARTIALLY WITHIN THE RE ZONE AND THE CO ZONE.
- PLAN REFERENCES:
 - PLAN AND PROFILE CONNECTOR ROAD PORTLAND INTERNATIONAL AIRPORT BY DELUCA-HOFFMAN ASSOCIATES DATED THRU 3-15-98 SHEET 3, 5, AND 6.
 - PLAN OF BROOKLAWN MEMORIAL PARK PORTLAND AND SOUTH PORTLAND MAINE BY OWEN HASKELL, INC. DATED SEPT. 5, 1986 AS REVISED FEB. 14 1992
 - PLAN OF LAND WESTBROOK ST. CONGRESS ST. AIRPORT ACCESS ROAD, PORTLAND AND SOUTH PORTLAND BY OWEN HASKELL, INC. DATED AUGUST 6, 1997.
 - STANDARD BOUNDARY SURVEY ON CONGRESS STREET PORTLAND, MAINE FOR THE CITY OF PORTLAND BY OWEN HASKELL, INC. DATED 11/20/1990.
 - PLAN OF PROPOSED OUT SALE FOR THE CITY OF PORTLAND HAZARD ZONE B SHOWN ON COMMUNITY PANEL 230051-0012 B DATED JULY 17, 1986 AND MAY BE SUBJECT TO SHALLOW FLOODING.
- STREET LINES ARE BASED ON DEEDS AND REFERENCED PLANS.
- WETLAND DELINEATION PERFORMED BY MARK J. HAMPTON, C.C.S. SEBAGO TECHNICS, INC. DECEMBER 1998. THE DELINEATION WAS PERFORMED IN ACCORDANCE WITH THE 1987 US ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
- BEARINGS REFER TO THE MAINE STATE GRID (WEST ZONE) BASED ON STATIC GPS OBSERVATIONS DONE ON SITE IN DECEMBER 1998.
- THIS PLAN IS BASED ON A ALTA/ACSM LAND TITLE SURVEY PERFORMED IN ACCORDANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE CATEGORY II, CONDITION I WITH THE EXCEPTIONS THAT NO NEW MONUMENTATION HAS BEEN SET AT THIS DATE AND WETLAND LIMITS WERE NOT DETERMINED BY THE LICENSED LAND SURVEYOR OR LOCATED UNDER HIS DIRECT SUPERVISION, (SEE NOTE 7) NEW DEED DESCRIPTION IS ATTACHED AS A SEPARATE ITEM.
- THE TOTAL AREA OF THE PROPERTY SURVEYED IS 8.21 AC.
- THESE PREMISES ARE SUBJECT TO A DRAINAGE EASEMENT REFERENCED IN BOOK 13400 PAGE 6; A RIGHT OF WAY FOR THE PORTLAND PIPELINE CORPORATION REFERENCED IN BOOK 1655 PAGE 161; A 150 FOOT RADIUS LANDSCAPE EASEMENT REFERENCED IN BOOK 13400 PAGE 6; AND AVIATION EASEMENT MENTIONED OR REFERENCED IN BOOK 13395 PAGE 305.
- NO BUILDINGS WERE OBSERVED UPON SURVEYED PARCEL.
- ELEVATIONS REFER TO TBM FOUND AT THE SITE, SET BY OTHERS, WHICH APPEAR TO BE BASED UPON N.G.V.D. 1929 DATUM AND THE DISK SET IN THE EAST WALL OF THE GENERAL AVIATION TERMINAL.
- NOTICE THERE IS NO ACCESS FOR INGRESS & EGRESS TO OR FROM THIS LEASEHOLD OVER A ONE FOOT STRIP OF LAND AND OTHER LAND OF THE CITY OF PORTLAND ON WHICH THE RELOCATED ACCESS ROAD AND UTILITIES LINE ARE PRESENTLY BEING CONSTRUCTED. ACCESS RIGHTS MUST BE ACQUIRED OVER THIS STRIP, LANDS AND ROADWAYS OWNED BY THE CITY OF PORTLAND DURING OR FOLLOWING SITE PLAN APPROVAL.
- PORTIONS OF THE WETLAND AREAS IN THE CITY OF PORTLAND LIE WITHIN FLOOD HAZARD ZONE B SHOWN ON COMMUNITY PANEL 230051-0012 B DATED JULY 17, 1986 AND MAY BE SUBJECT TO SHALLOW FLOODING.

TO WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM, AND NSPS IN 1997, AND INCLUDES ITEMS OF TABLE A THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN "URBAN CLASS" SURVEY.

DONALD E. DOSTIE P.L.S. #2147
 FOR SEBAGO TECHNICS, INC. AS OF FEBRUARY 3, 1999



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/LEASE	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
⊠	MONUMENT	●
○	IRON PIPE/ROD	●
○	DRILLHOLE	●
○	CURVE/LINE NO.	○
○	C1/L1	○
▭	BUILDING	▭
⊠	WETLANDS	⊠
---	EDGE WETLAND	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	EDGE WATER	---
---	CONTOURS	---
---	TRELLINE	---
---	OIL PIPE LINE	---
⊠	GATE VALVE	⊠
⊠	LIGHT POLE	⊠
⊠	UTILITY POLE	⊠
⊠	HYDRANT	⊠
⊠	CATCH BASIN	⊠
⊠	MANHOLE	⊠
⊠	POTABLE WELL	⊠
⊠	CULVERT	⊠
⊠	SPOT GRADE	⊠
⊠	STONE WALL	⊠
⊠	ZONELINE	⊠
⊠	BENCHMARK	⊠

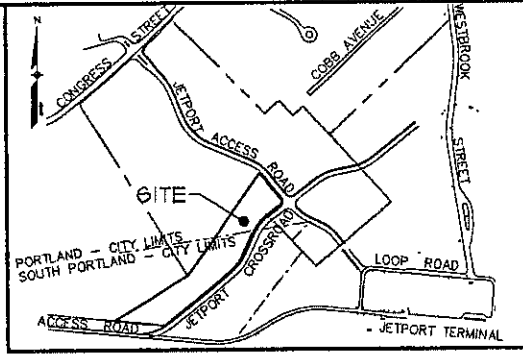
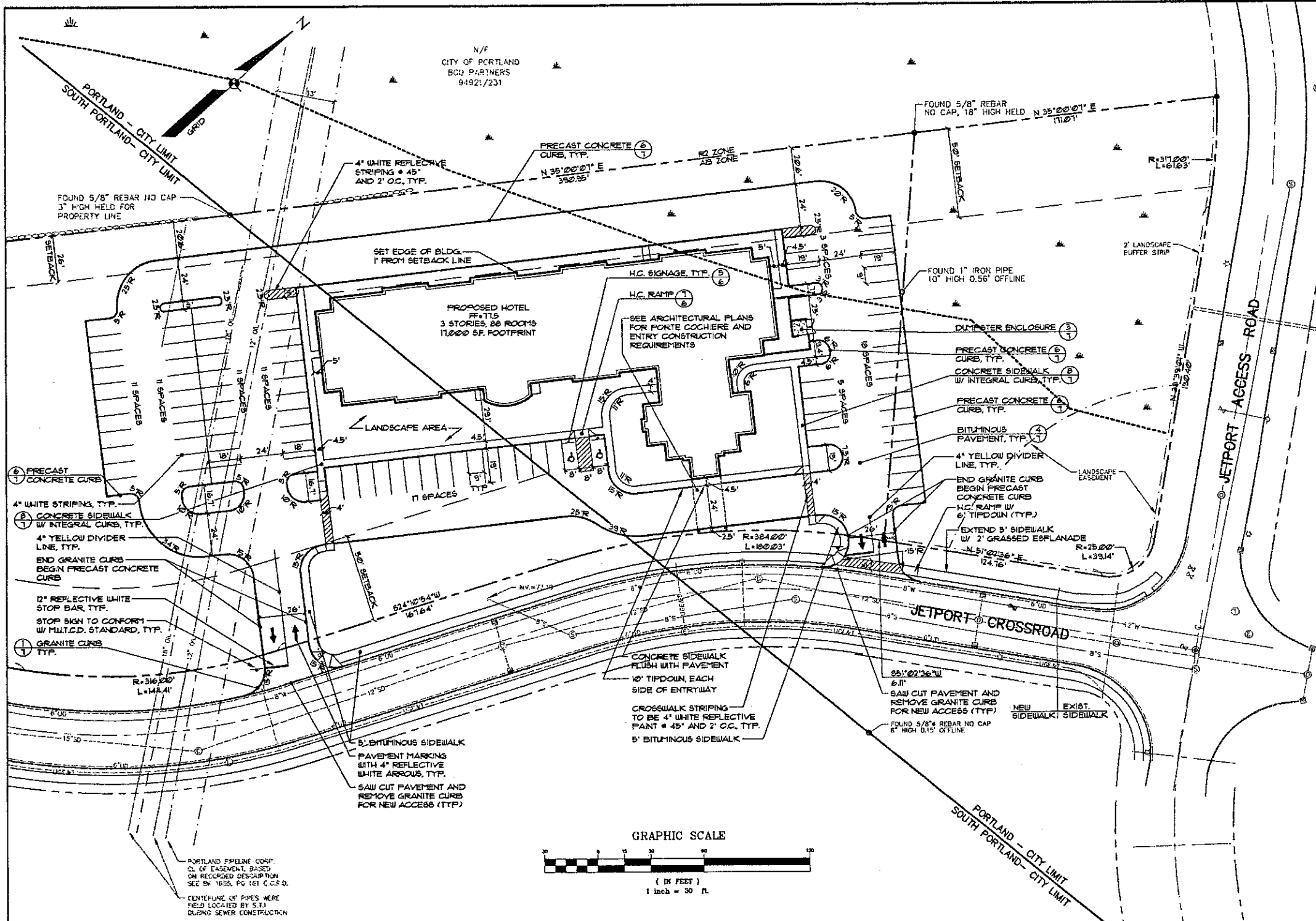
C	DED	10-12-99	ADDED TREE LINE, NO RESEARCH UPDATED
B	JDK	2-3-1999	ADDED NOTE 14, 15, & 16
A	JDK	1-21-99	ISSUED TO CLIENT
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

ALTA/ACSM LAND TITLE SURVEY
 OF:
WIDEWATERS LEASE PROPERTY "URBAN CLASS"
 AIRPORT CONNECTOR RD. PORTLAND, MAINE
 FOR:
WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.
 5786 WIDEWATERS PARKWAY P.O.B. 3
 DEWITT, NEW YORK 13214-0003

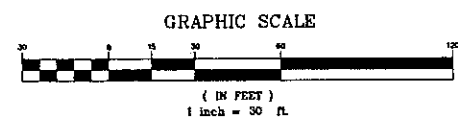
DESIGN BY:
 DRAWN BY: JOK / DED
 CHECKED BY: DED
 DATE: 1-21-1999
 SCALE: 1"=50'
 FIELD BK: 580A
 PROJ. NO: 98386
 DRAWING: 98386LTS
SHEET 2 OF 10

Sebago Technics
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 TEL (207) 656-0217



- GENERAL NOTES**
- THE RECORD OWNER OF THE PROPERTY IS BROOKLAIN MEMORIAL PARK BY A DEED FROM MAINE LAMIN CO. DATED MAY 29, 1935 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 1468, PAGE 421, A DEED FROM ALBERT H. CHEBLEY DATED APRIL 27, 1936 RECORDED IN BOOK 1548, PAGE 124, AND A DEED FROM THE CITY OF PORTLAND DATED OCTOBER 23, 1991 RECORDED IN BOOK 13400, PAGE 6.
 - LEASEE: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. BY MEMORANDUM OF LEASE RECORDED IN BOOK 13980, PAGE 71 CUMBERLAND COUNTY REGISTRY OF DEEDS.
 - THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 209 A-A-16 AND ON THE CITY OF SOUTH PORTLAND TAX MAP 46, LOT 30.
 - THAT PORTION OF THE PROPERTY IN THE CITY OF PORTLAND LIES WITHIN THE AIRPORT BUSINESS (AB) ZONE. THE SOUTH PORTLAND PORTION IS LOCATED WITHIN THE GENERAL COMMERCIAL (CG) ZONE.
 - SPACE AND BULK REQUIREMENTS:

	AIRPORT BUSINESS	GENERAL COMMERCIAL
MIN. LOT SIZE:	20,000 SF.	30,000 SF.
MIN. FRONTAGE:	50 FEET	100 FEET
MIN. FRONT YARD SETBACK:	NONE	50 FEET
MIN. SIDE YARD SETBACK:	NONE	26 FEET
MIN. REAR YARD SETBACK:	50 FEET	26 FEET
 - THE TOTAL AREA OF THE PROPERTY IS .821 AC.
 - WETLAND DELINEATION PERFORMED BY MARK J. HAMPTON, C.C.S. SEBAGO TECHNICS, INC. DECEMBER 1998. THE DELINEATION WAS PERFORMED IN ACCORDANCE WITH THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
 - BEARINGS REFER TO THE MAINE STATE GRID (WEST ZONE) BASED ON STATIC GPS OBSERVATIONS DONE ON SITE IN DECEMBER 1998.
 - PARKING SUMMARY:
 - A. REQUIRED 1 SPACE PER EACH 4 GUEST ROOMS + 22 SPACES
 - B. PROPOSED PARKING: 81 SPACES
 - PLAN REFERENCES:
 - A. PLAN AND PROFILE CONNECTOR ROAD PORTLAND INTERNATIONAL JETPORT BY DELUCA-HOFFMAN ASSOCIATES DATED THRU 3-15-98 SHEET 3, 5, AND 6.
 - B. PLAN OF BROOKLAIN MEMORIAL PARK PORTLAND AND SOUTH PORTLAND MAINE BY OLEN HASKELL, INC. DATED AUGUST 6, 1991.
 - C. PLAN OF LAND WESTBROOK ST. CONGRESS ST. AIRPORT ACCESS ROAD, PORTLAND AND SOUTH PORTLAND BY OLEN HASKELL, INC. DATED AUGUST 6, 1991.
 - D. STANDARD BOUNDARY SURVEY ON CONGRESS STREET PORTLAND, MAINE FOR THE CITY OF PORTLAND BY OLEN HASKELL, INC. DATED 1/20/1950.
 - E. PLAN OF PROPOSED CUT SALE FOR THE CITY OF PORTLAND INTERNATIONAL JETPORT BY SEBAGO TECHNICS, INC. DATED 3/23/1991.
 - THIS PLAN IS BASED ON A ALTA/ACSM LAND TITLE SURVEY PERFORMED IN ACCORDANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE CATEGORY II, CONDITION I WITH THE EXCEPTIONS THAT NO NEW MONUMENTATION HAS BEEN SET AT THIS DATE AND WETLAND LIMITS WERE NOT DETERMINED BY THE LICENSED LAND SURVEYOR OR LOCATED UNDER HIS DIRECT SUPERVISION. (SEE NOTE 1)
 - THESE PREMISES ARE SUBJECT TO A DRAINAGE EASEMENT REFERENCED IN BOOK 13400 PAGE 6, A RIGHT OF WAY FOR THE PORTLAND PIPELINE CORPORATION REFERENCED IN BOOK 1655 PAGE 161, A 50 FOOT RADIUS LANDSCAPE EASEMENT REFERENCED IN BOOK 13400 PAGE 6, AND AVIATION EASEMENT MENTIONED OR REFERENCED IN BOOK 13395 PAGE 302B.
 - THE ENTIRE SITE SHALL BE DEVELOPED AND OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
 - PORTLAND PIPELINE CORPORATION MUST BE PRESENT WHEN WORKING IN THE VICINITY OF THE EASEMENT AREA WITHIN THE SITE.
 - SIDEWALKS AND CURBS SHALL BE CONSTRUCTED WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSS WALKS AND DRIVE WAYS IN CONFORMANCE WITH THE "CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES".
 - ALL PROPOSED POWER LINE UTILITIES SHALL BE UNDERGROUND.
 - THE DUMPSTER SHALL BE SCREENED FROM VIEW WITH A SOLID FENCE ON ALL SIDES. REFER TO THE DUMPSTER ENCLOSURE DETAIL INCLUDED IN THE PLAN SET.



LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---	◇	HYDRANT	---
---	SETBACK	---	■	CATCH BASIN	---
---	EASEMENT	---	⊙	MANHOLE	---
---	CENTERLINE	---	====	CULVERT	---
---	IRON PIPE/ROD	●	⊖	STONE WALL	---
---	DRILLHOLE	○			
---	BUILDING	---			
---	WETLANDS	---			
---	EDGE WETLAND SIGN	---			
---	EDGE PAVEMENT	---			
---	CURBLINE	---			
---	8" WATER	---			
---	8" SEWER	---			
---	12" STORM DRAIN	---			
---	4" UNDERDRAIN	---			
---	UNDERGROUND ELEC. & TEL.	---			
⊗	GATE VALVE				
○	LIGHT POLE				

C	DOB	10-14-99	ADDED NOTES; REISSUED TO CITY OF PORTLAND
B	DOB	10-12-99	REVISED BLDG. & PARKING; ISSUED TO SO. PORTLAND FOR REVIEW
A	OAM	8-27-99	ISSUED FOR PRELIMINARY REVIEW

REV. BY: DATE: STATUS:

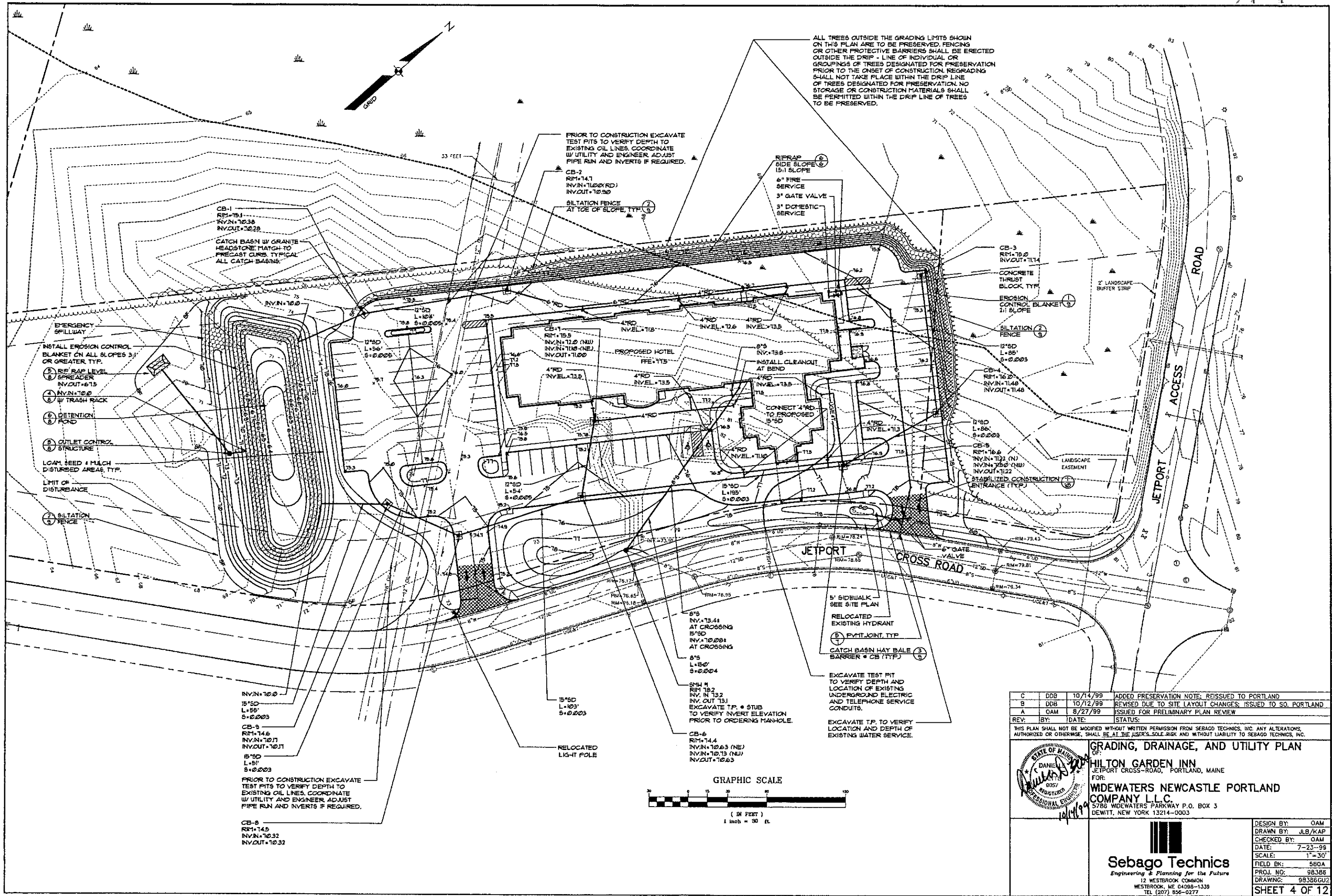
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SITE PLAN
 OF:
HILTON GARDEN INN
 JETPORT CROSS-ROAD, PORTLAND, MAINE
 FOR:
WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.
 5786 WIDEWATERS PARKWAY P.O. BOX 3
 DEWITT, NEW YORK 13214-0003

DESIGN BY: OAM
 DRAWN BY: KAP
 CHECKED BY: OAM
 DATE: 7-23-99
 SCALE: 1"=30'
 FIELD BK: 580A
 PROJ. NO: 95366
 DRAWING: 95366AS

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SHEET 3 OF 12



ALL TREES OUTSIDE THE GRADING LIMITS SHOWN ON THIS PLAN ARE TO BE PRESERVED. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP LINE OF INDIVIDUAL OR GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

PRIOR TO CONSTRUCTION EXCAVATE TEST PITS TO VERIFY DEPTH TO EXISTING OIL LINES. COORDINATE W/ UTILITY AND ENGINEER. ADJUST PIPE RUN AND INVERTS IF REQUIRED.

CB-1
RM=15.1
INV.N=10.38
INV.OUT=10.28
CATCH BASIN W/ GRANITE HEADSTONE MATCH TO PRECAST CURB TYPICAL ALL CATCH BASINS.

CB-2
RM=14.7
INV.N=11.80(YRD)
INV.OUT=10.50
SILTATION FENCE AT TOE OF SLOPE, TYP.

CB-3
RM=15.0
INV.OUT=11.14
CONCRETE THRUST BLOCK TYP.

- EMERGENCY SPILLWAY
- INSTALL EROSION CONTROL BLANKET ON ALL SLOPES 3:1 OR GREATER TYP.
- 1 RIP RAP LEVEL
- 2 SPREADER
- 3 INV.N=10.0
- 4 W/ TRASH RACK
- 5 DETENTION ROAD
- 6 OUTLET CONTROL STRUCTURE
- LOAM, SEED & MULCH DISTURBED AREAS, TYP.
- LIMIT OF DISTURBANCE
- 7 SILTATION FENCE

INV.N=10.0
15' SD
L=55'
S=0.003
CB-5
RM=14.6
INV.N=10.27
INV.OUT=10.17
15' SD
L=51'
S=0.003

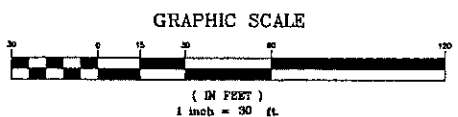
PRIOR TO CONSTRUCTION EXCAVATE TEST PITS TO VERIFY DEPTH TO EXISTING OIL LINES. COORDINATE W/ UTILITY AND ENGINEER. ADJUST PIPE RUN AND INVERTS IF REQUIRED.

CB-6
RM=14.5
INV.N=10.32
INV.OUT=10.32

8" S
INV=13.44
AT CROSSING
15' SD
L=185'
S=0.004
AT CROSSINGS
8" S
L=150'
S=0.004

SMH #1
RM=13.2
INV.N=13.32
INV.OUT=13.1
EXCAVATE T.P. • STUB TO VERIFY INVERT ELEVATION PRIOR TO ORDERING MANHOLE.

CB-6
RM=14.4
INV.N=10.63 (NE)
INV.N=10.13 (NW)
INV.OUT=10.63



C	DOB	10/14/99	ADDED PRESERVATION NOTE; REISSUED TO PORTLAND
B	DOB	10/12/99	REVISED DUE TO SITE LAYOUT CHANGES; ISSUED TO SO. PORTLAND
A	OAM	8/27/99	ISSUED FOR PRELIMINARY PLAN REVIEW
REV:	BY:	DATE:	STATUS:

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STATE OF MAINE
DANIEL L. SEBAGO
PROFESSIONAL ENGINEER
10/14/99

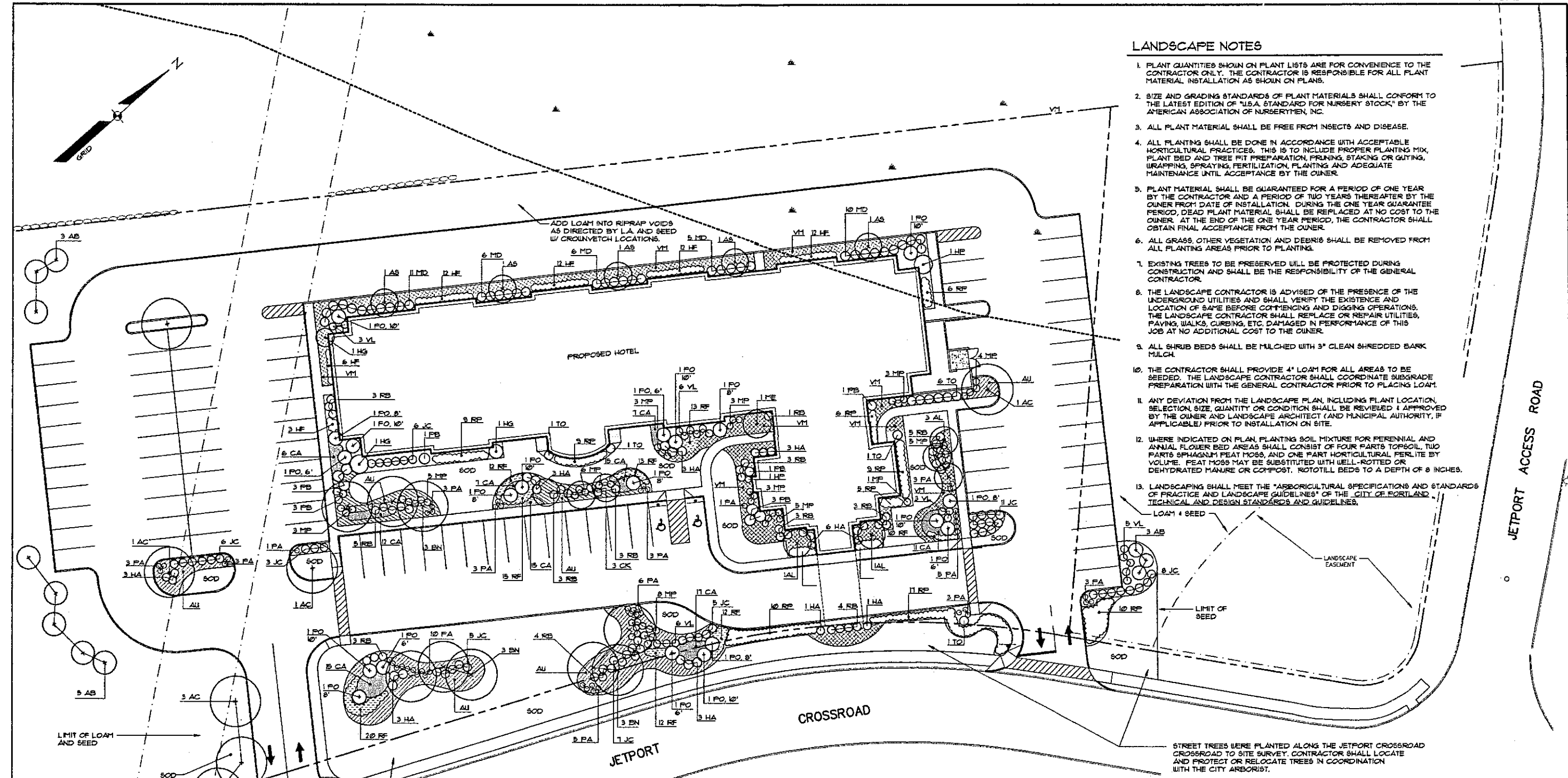
GRADING, DRAINAGE, AND UTILITY PLAN
OF:
HILTON GARDEN INN
JETPORT CROSS-ROAD, PORTLAND, MAINE
FOR:
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12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 856-0277

DESIGN BY:	OAM
DRAWN BY:	JLB/KAP
CHECKED BY:	OAM
DATE:	7-23-99
SCALE:	1"=30'
FIELD BK:	580A
PROJ. NO.:	98386
DRAWING:	99386GU2
SHEET 4 OF 12	

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SEEDED. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED & APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL FERTILITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
13. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND. TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



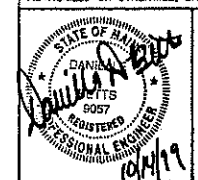
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AB	ABIES CONCOLOR	WHITE FIR	6'-1'
AC	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" CAL
AL	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8'-10' CLUMP
AS	ACER SACCHARUM 'ENDOUMENT'	ENDOUMENT SUGAR MAPLE	3" CAL
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
BN	BETULA Papyrifera	PAPER BIRCH	10'-12' CLUMP
BP	BETULA PENDULA 'YOUNG'	YOUNG'S WEEPING BIRCH	2 1/2" CAL
CA	CALAMAGROSTIS X ACUTIFOLIA KARL FOERSTER'	KARL FOERSTER'S FEATHER REED GRASS	NO. 2 CLUMP
CK	CORUS KOUSA 'CHINENSIS'	KOREAN DOGWOOD	
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24"-30"
HF	HOSTA FORTUNEI 'FRANCEE'	FRANCEE HOSTA	NO. 2 CLUMP
HG	HYDRANGEA PANICULATA 'GRANDIFLORA'	PANICULATA HYDRANGEA	4 1/2"-5" TREE FORM
HY	HYDRANGEA ANGIOLATA FETIDULARIS	CLIMBING HYDRANGEA	NO. 5 CONT.
JC	JUNIFERUS CHIN 'SEA GREEN'	SEA GREEN JUNIFER	24"-30"
MD	MICROBIOTA DECUBATA	SIBERIAN CYPRESS	24"-30"
ME	MAGNOLIA 'ELIZABETH'	ELIZABETH MAGNOLIA	6'-8'
MP	MATTEUCIA PENNSYLVANICA	OSTRICH FERN	
PA	PENNISETUM ALCOPECURIODES	FOUNTAIN GRASS	NO. 2 CLUMP
PB	PIERIS 'BROUWER'S BEAUTY'	BROUWER'S BEAUTY ANDROMEDA	24"-30"
PO	PICEA CHORIKA	SERBIAN SPRUCE	6'-8', 8'-10', 10'-12' (SEE PLAN FOR SIZE)
RB	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	NO. 2 CLUMP
RF	RUBICEKIA FULGIDA SPECIOSA 'GOLDSTRUM'	BLACK-EYED SUSAN	15'
RP	ROSA PEARL MEDILAND HEIFLATIN 'PP6802'	PEARL MEDILAND ROSE	
TO	THUNIA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBOREVIATAE	
VL	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	3'-4'
VN	VINCA MINOR	MYRTLE	CLUMP/PLAT

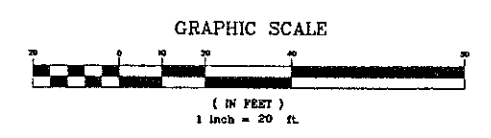
STREET TREES WERE PLANTED ALONG THE JETPORT CROSSROAD CROSSROAD TO SITE SURVEY. CONTRACTOR SHALL LOCATE AND PROTECT OR RELOCATE TREES IN COORDINATION WITH THE CITY ARBORIST.

LIMIT OF LOAM AND SEED

C	SGD	10-14-99	ADDED NOTE; REISSUED TO CITY OF PORTLAND
B	SGD	9-16-99	REVISED LANDSCAPE PLAN
A	SGD	8-27-99	ISSUED FOR PRELIMINARY REVIEW
REV:	BY:	DATE:	STATUS:

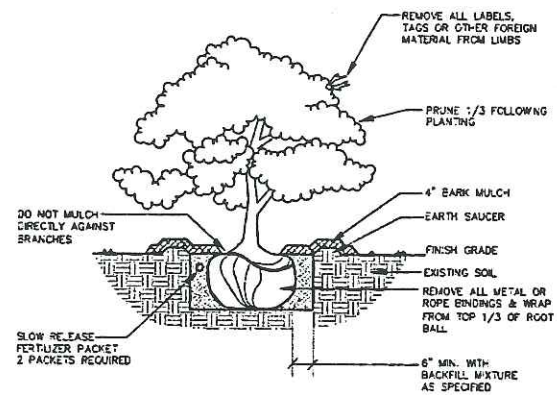


LANDSCAPE PLAN OF:
HILTON GARDEN INN
 JETPORT CROSS-ROAD, PORTLAND, MAINE
 FOR:
WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.
 5786 WIDEWATERS PARKWAY P.O. BOX 3
 DEWITT, NEW YORK 13214-0003

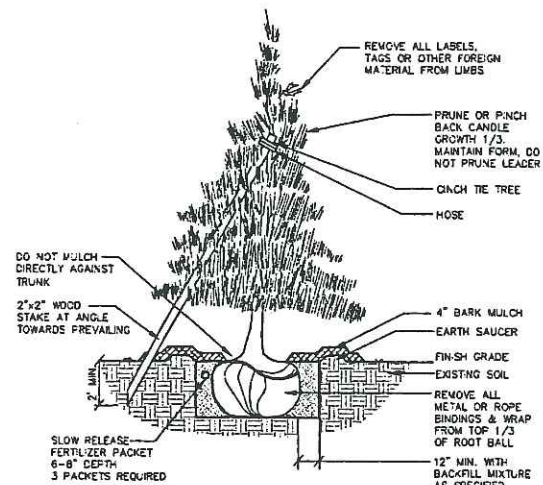


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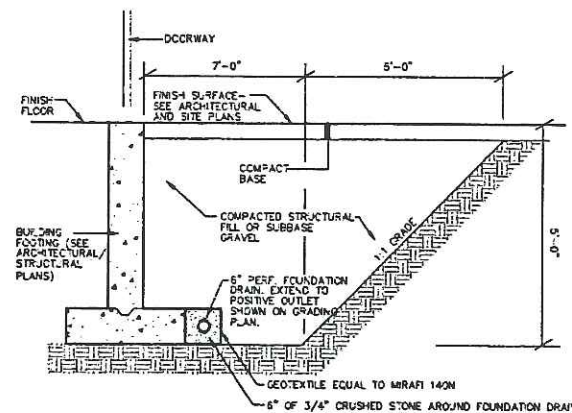
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 DRAWN BY: JLB
 CHECKED BY: OAM
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 SCALE: 1"=20'
 FIELD BK: 580A
 PROJ. NO: 98386
 DRAWING: 98386AL
SHEET 5 OF 12



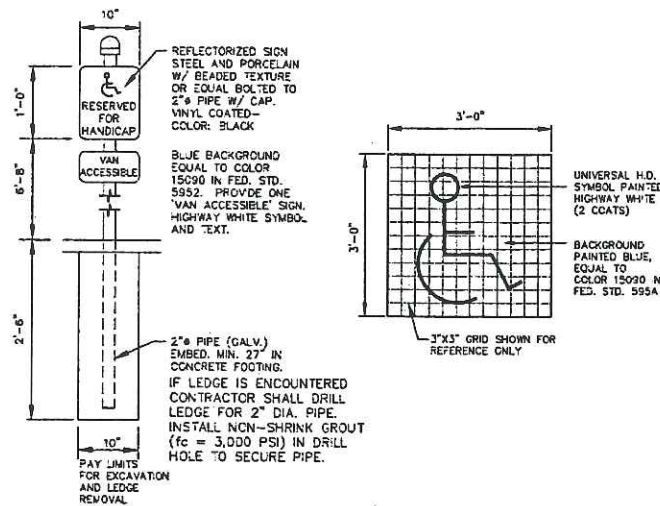
1 DECIDUOUS & EVERGREEN SHRUB
NOT TO SCALE



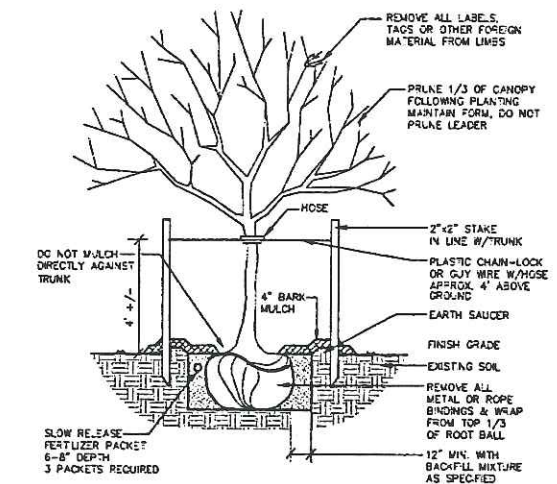
4 DECIDUOUS TREES UNDER 2" CALIPER OR EVERGREEN TREES UNDER 8' IN HEIGHT
NOT TO SCALE



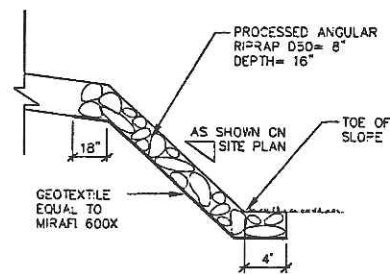
2 5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE



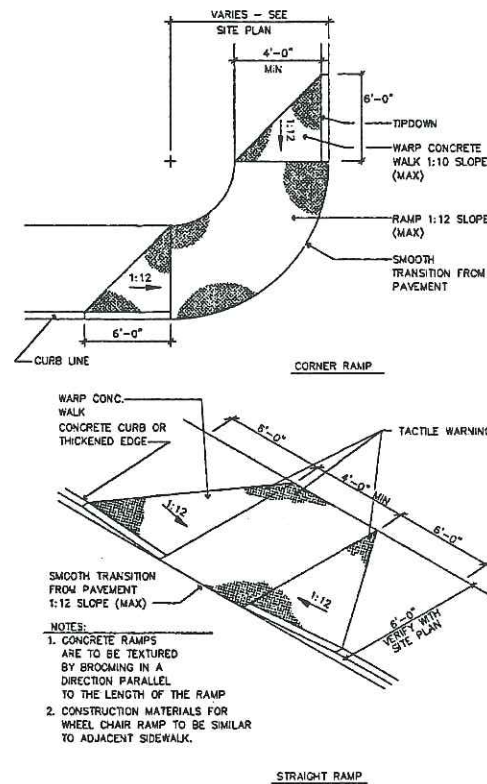
5 HANDICAP SIGNS & PAVEMENT MARKINGS
NOT TO SCALE



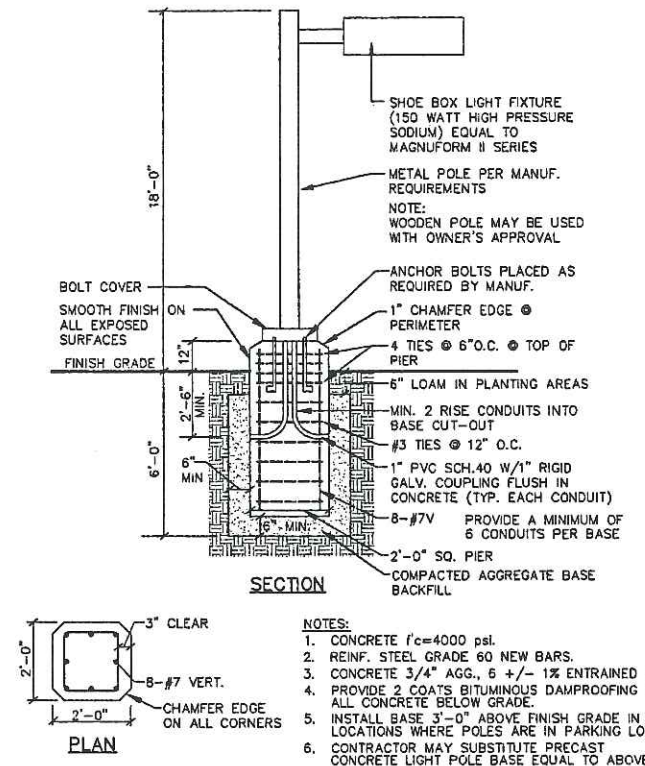
3 DECIDUOUS TREES 2" TO 4" CALIPER
NOT TO SCALE



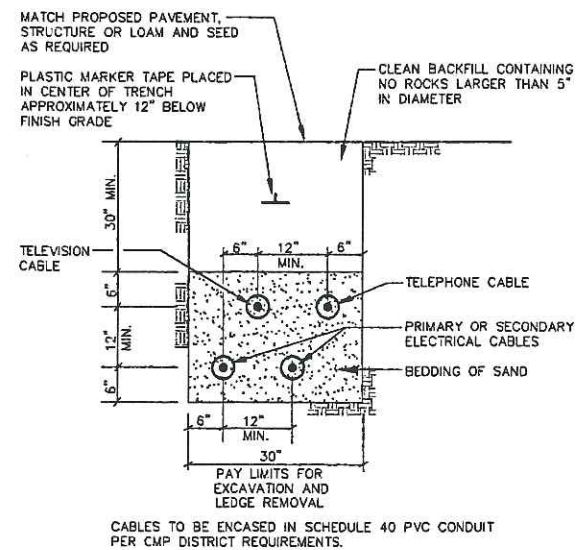
6 SIDE SLOPE RIPRAP DETAIL
NOT TO SCALE



7 HANDICAP RAMP DETAILS
NOT TO SCALE

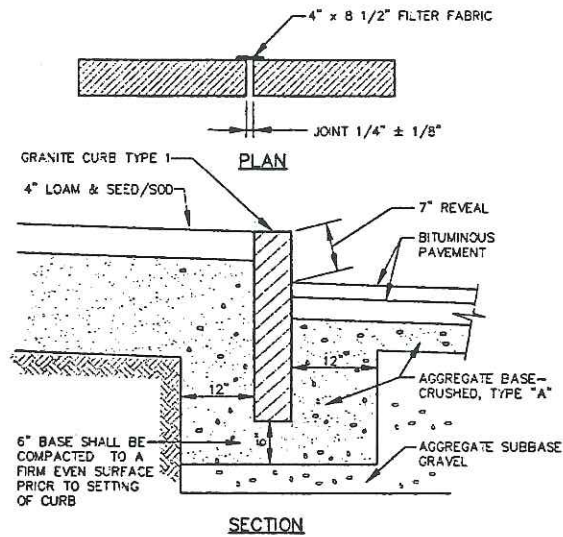


9 LIGHT POLE BASE
NOT TO SCALE

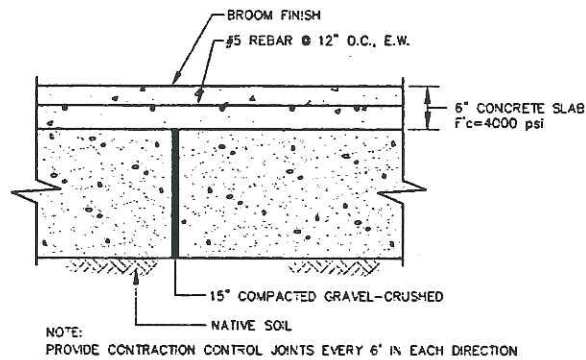


8 TYPICAL UNDERGROUND CABLE INSTALLATION
NOT TO SCALE

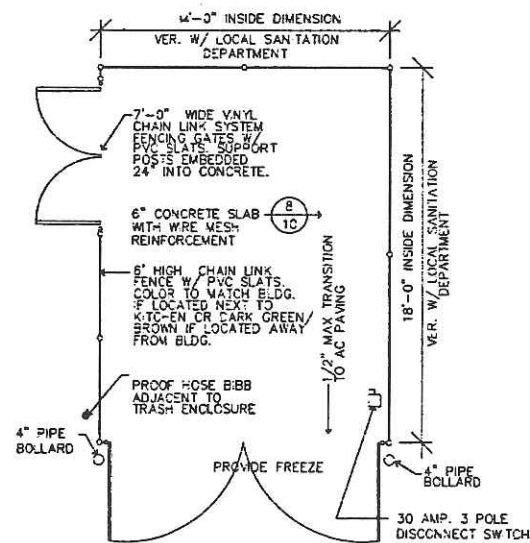
A	OAM	10-12-99	ISSUED TO SOUTH PORTLAND FOR REVIEW
REV:	BY:	DATE:	STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.			
DETAIL SHEET OF: HILTON GARDEN INN JETPORT CROSS-ROAD, PORTLAND, MAINE FOR: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. 5786 WIDEWATERS PARKWAY P.O. BOX 3 DEWITT, NEW YORK 13214-0003			
DESIGN BY:	OAM		
DRAWN BY:	KAP		
CHECKED BY:	OAM		
DATE:	8/25/99		
SCALE:	AS NOTED		
FIELD BK:			
PROJ. NO.:	98386		
DRAWING:	98386AD5		
SHEET	6 OF 10		



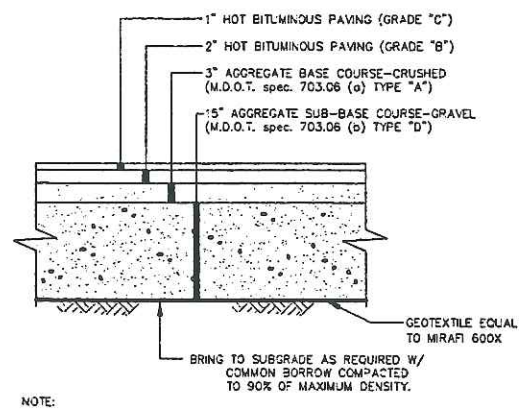
1 VERTICAL GRANITE CURB
NOT TO SCALE



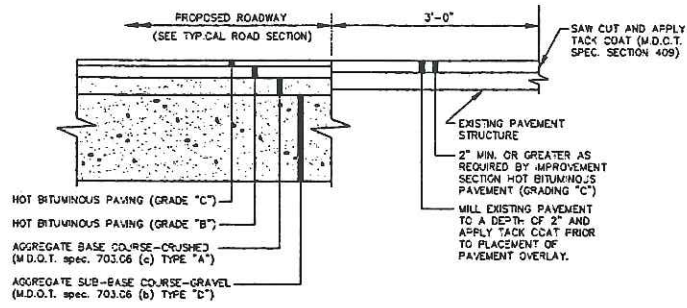
2 TYPICAL CONCRETE PAD
NOT TO SCALE



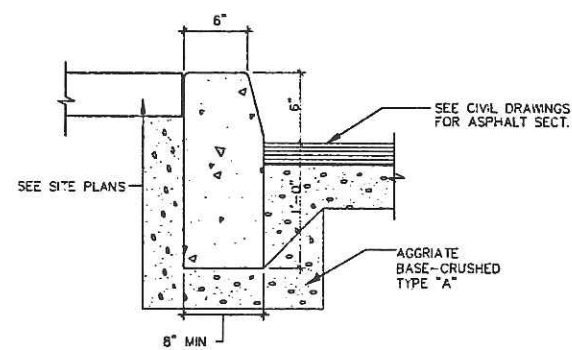
3 DUMPSTER ENCLOSURE
NOT TO SCALE



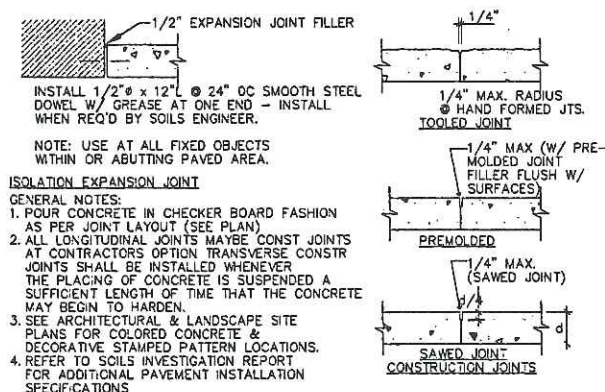
4 TYPICAL PAVED PARKING LOT SECTION
NOT TO SCALE



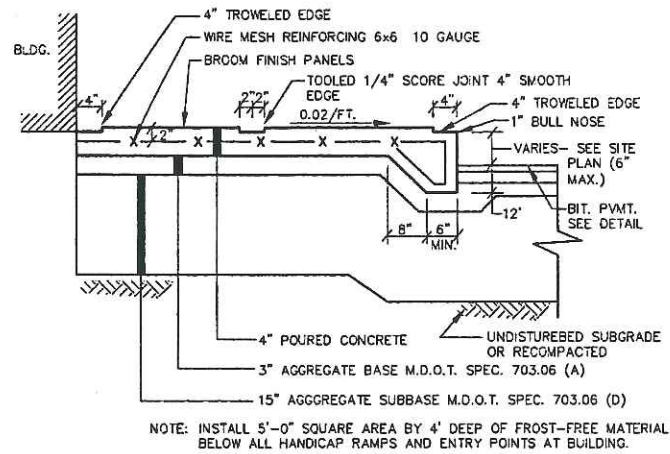
5 PAVEMENT JOINT DETAIL
NOT TO SCALE



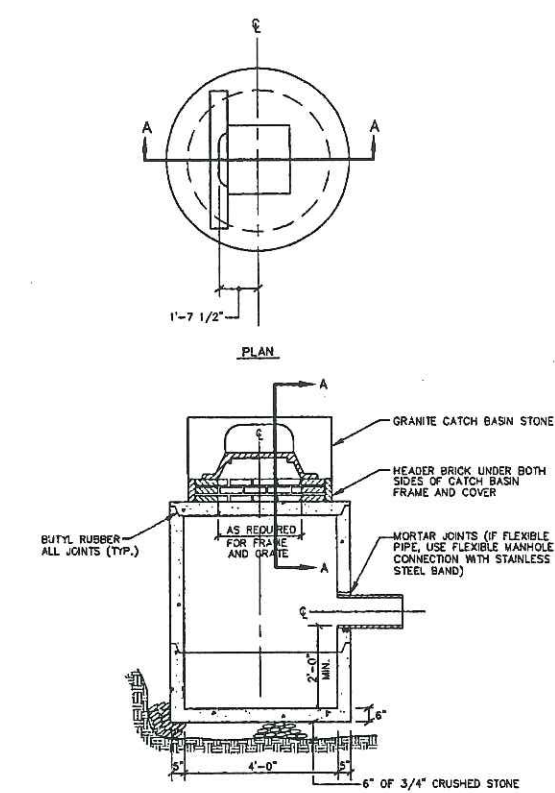
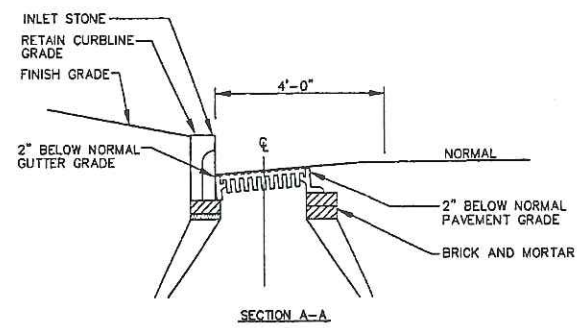
6 PRECAST CONCRETE CURB DETAIL
NOT TO SCALE



7 CONTROL JOINT DETAILS
NOT TO SCALE



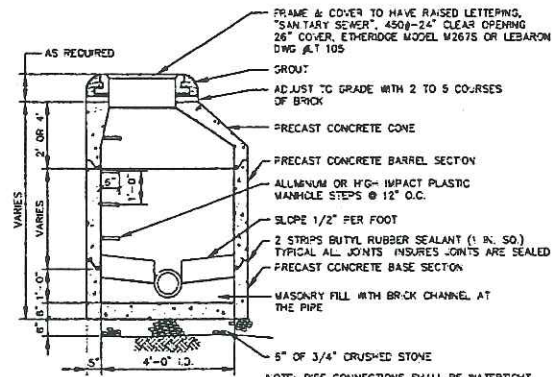
8 CONCRETE SIDEWALK
NOT TO SCALE



- NOTES:
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 - CATCH BASIN FRAME AND GRATE TO ACCOMMODATE 2' MIN. GRATE AND SHALL COMPLY WITH CITY OF PORTLAND STANDARDS. (H-20 LOADING & BICYCLE SAFE) PROVIDE SHOP DRAWINGS FOR ENGINEER'S / OWNER REPRESENTATIVE'S APPROVAL.

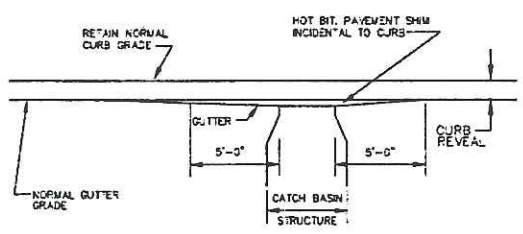
9 CATCH BASIN W/ GRANITE HEADSTONE
NOT TO SCALE

A	OAM	10-12-99	ISSUED TO SOUTH PORTLAND FOR REVIEW
REV:	BY:	DATE:	STATUS:
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DETAIL SHEET OF: HILTON GARDEN INN JETPORT CROSS-ROAD, PORTLAND, MAINE FOR: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. 5785 WIDEWATERS PARKWAY P.O. BOX 3 DEWITT, NEW YORK 13214-0003			
DESIGN BY: OAM DRAWN BY: KAP CHECKED BY: OAM DATE: 8/25/99 SCALE: AS NOTED FIELD BK: PROJ. NO: 98386 DRAWING: 98386AD4		Engineering & Planning for the Future 12 WESTBROOK COMMON WESTBROOK, ME 04091-1110	



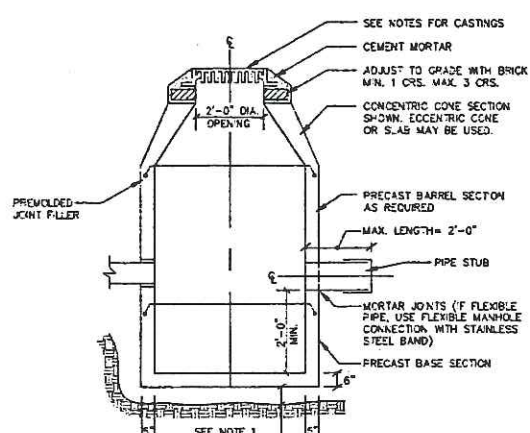
- NOTES:**
- CONTRACTOR MAY UTILIZE FIBERGLASS ASSETS THROUGH MANHOLES WITH APPROVAL OF THE PWD AND OWNER.
 - EXTERIOR CONCRETE SURFACES OF SEWER MANHOLES SHALL BE COATED WITH TWO (2) APPLICATIONS OF BITUMASTIC SEALANT.
 - SUBMIT SHOP DRAWINGS FOR OWNERS/ENGINEERS REVIEW.
 - PIPE SIZES AND INVERTS AS NOTED ON PLANS.

1 PRECAST MANHOLE
NOT TO SCALE



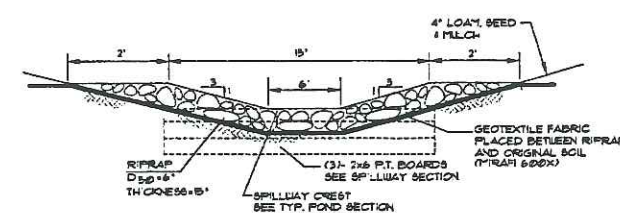
NOTE: CATCH BASIN GRATES SHALL BE DERESSED 2" BELOW THE GUTTER GRADE

2 GUTTER GRADE TRANSITION AT CATCH BASIN
NOT TO SCALE

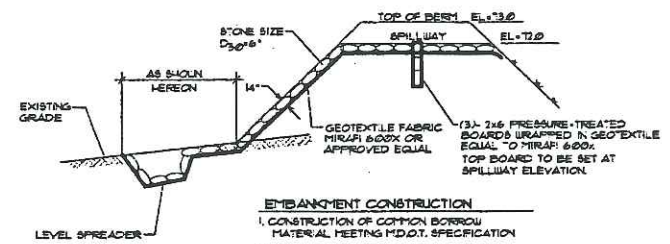


- NOTES:**
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
 - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 - CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY M2485 OR APPROVED EQUAL.
 - DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY M2485 OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

3 TYPICAL CATCH BASIN/DRAINAGE MANHOLE
NOT TO SCALE

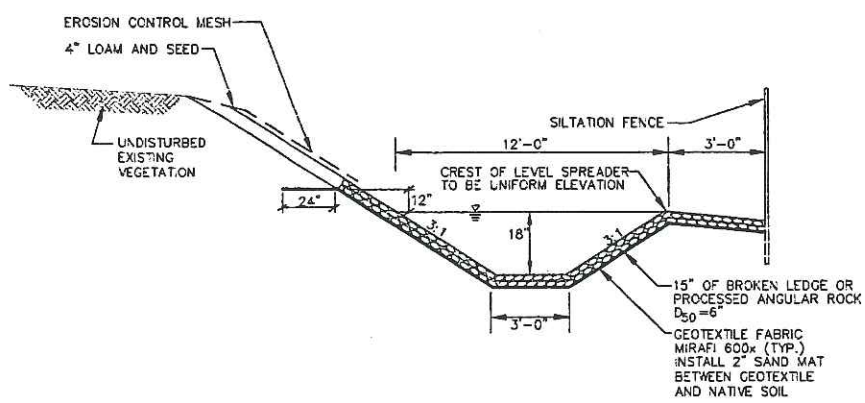


SPILLWAY CROSS-SECTION

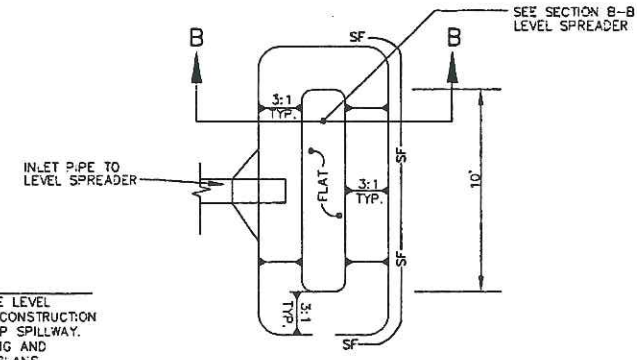


- EMBANKMENT CONSTRUCTION**
- CONSTRUCTION OF COMMON BORROW MATERIAL MEETING M.D.O.T. SPECIFICATION 703.18.
 - PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY.
 - INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS.
 - LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

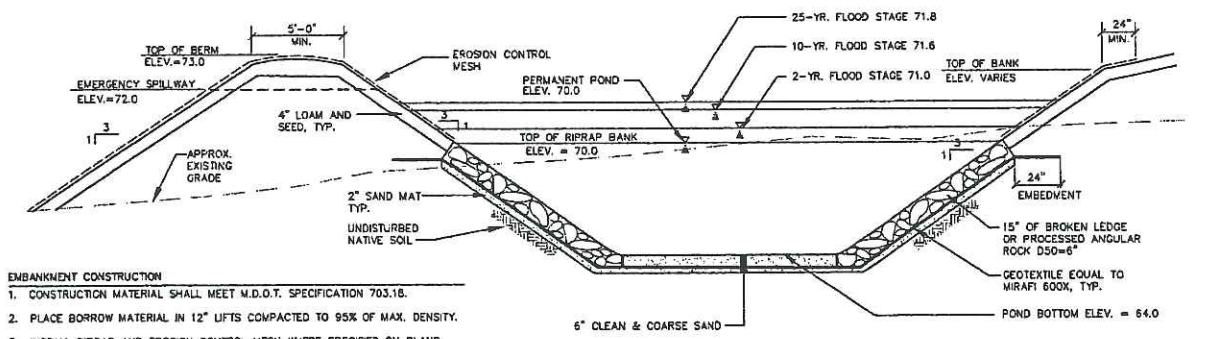
4 SPILLWAY SECTION
NOT TO SCALE



SECTION B-B LEVEL SPREADER

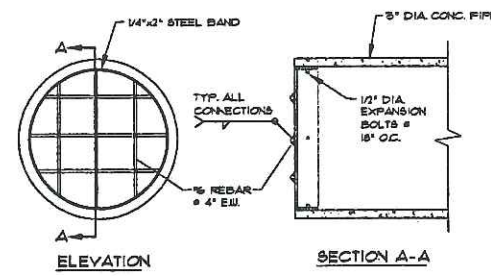


5 PLAN VIEW-LEVEL SPREADER @ PIPE OUTLET
NOT TO SCALE

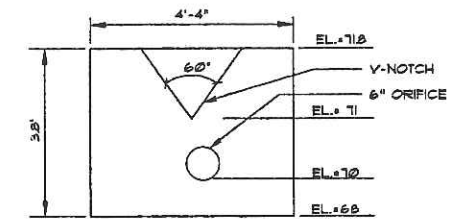


- EMBANKMENT CONSTRUCTION**
- CONSTRUCTION MATERIAL SHALL MEET M.D.O.T. SPECIFICATION 703.18.
 - PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAX. DENSITY.
 - INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS.
 - LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

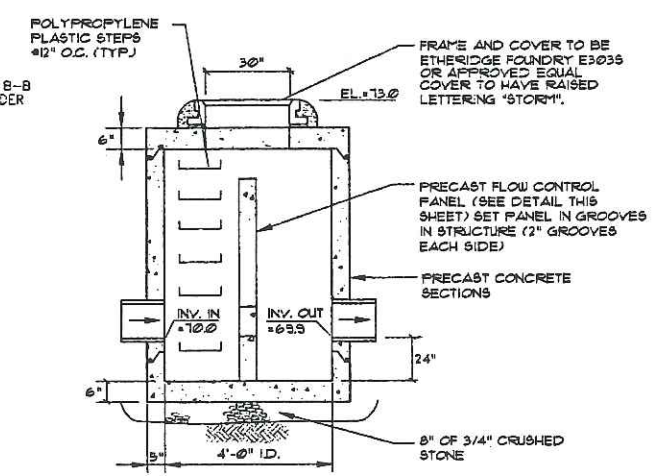
6 TYP. DETENTION POND SECTION
NOT TO SCALE



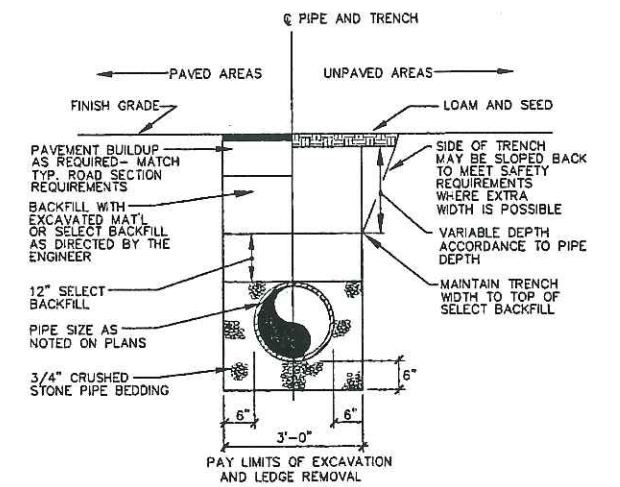
7 TRASH RACK DETAIL
NOT TO SCALE



PRECAST FLOW CONTROL PANEL
NOT TO SCALE



8 OUTLET CONTROL STRUCTURE
NOT TO SCALE

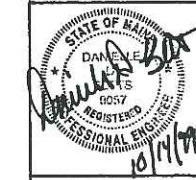


9 TYPICAL TRENCH SECTION
NOT TO SCALE

REV	BY	DATE	STATUS
B	DDB	10-12-98	ADDED POND STAGE DATA
A	DAM	10-12-98	ISSUED TO SOUTH PORTLAND FOR REVIEW

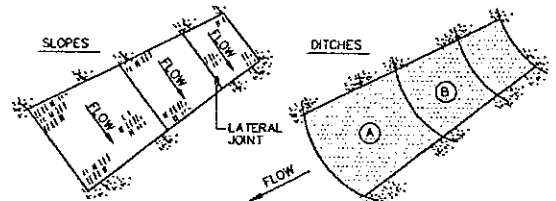
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DETAIL SHEET
OF:
HILTON GARDEN INN
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5786 WIDEWATERS PARKWAY P.O. BOX 3
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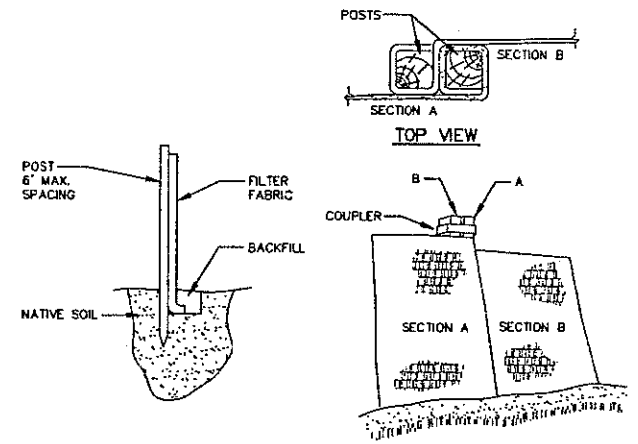
Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04095-1339
TEL: (207) 866-0277

DESIGN BY: OAM
DRAWN BY: KAP
CHECKED BY: OAM
DATE: 8/25/99
SCALE: AS NOTED
FIELD BK: 98386
PROJ. NO: 98386
DRAWING: 98386ADJ
SHEET 8 OF 12



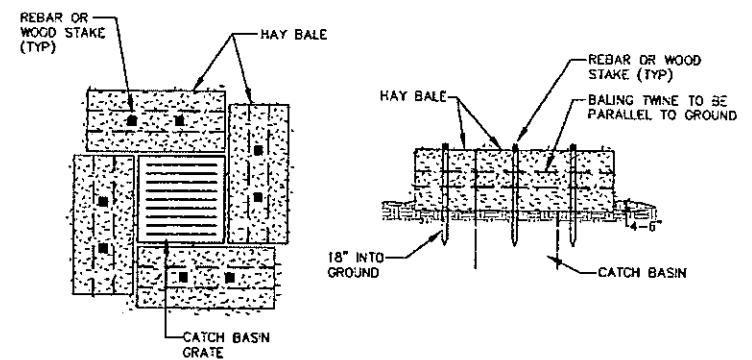
- NOTES:**
- BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
 - FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED. OVERLAP B OVER A.
 - LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
 - STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
 - WIRE STAPLES TO BE MIN. OF #11 WIRE 6" LONG AND 1-1/2" WIDE.
 - USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL.

1 EROSION CONTROL BLANKET
NOT TO SCALE

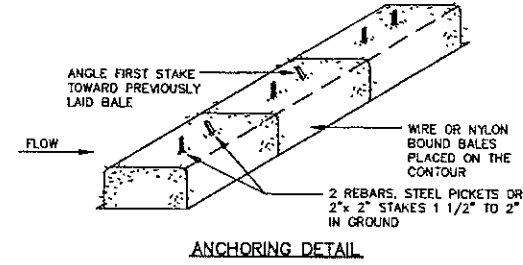
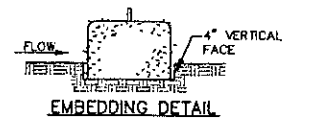


- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 - JOIN SECTION AS SHOWN ABOVE.
 - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

2 SILTATION FENCE
NOT TO SCALE



- NOTE: INSTALL BARRIER AT EACH CATCH BASIN
- 3 CATCH BASIN HAY BALE BARRIER**
NOT TO SCALE



- NOTES:**
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

4 HAY BALE BARRIER
NOT TO SCALE

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS, ALLAY DUST, AND TAKE WHATEVER MEASURES ARE NECESSARY TO INSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN AND CITY REQUIREMENTS.
- ALL STORM DRAINAGE PIPE SHALL BE SMOOTH BORE H.D.P.E. PIPING OR AS NOTED ON PLANS. ALL SEWER PIPE SHALL BE PVC SDR 35.
- PROTECT, CLEAN AND REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES (INCLUDING DETENTION POND) WITHIN THE CONSTRUCTION AREA.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL INSPECT THE SITE FOR GENERAL CONDITIONS AND ANY SPECIAL REQUIREMENTS NECESSARY FOR PROJECT CONSTRUCTION. THESE COSTS SHALL BE INCLUDED IN CONTRACTOR'S BID.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN PROJECT CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES AND MAINTAIN SITE STABILITY. DURING CONSTRUCTION, CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONDUIT TO SITE LIGHTING, COMPLYING WITH APPLICABLE CODES. COORDINATE WITH OWNER AND ARCHITECTURAL AND CMP PLANS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFORM WITH CMP, CABLE & TELEPHONE COMPANIES INDIVIDUAL UTILITY REQUIREMENTS FOR INSTALLATION AND LOCATIONS OF UTILITIES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH MDOT SPECIFICATIONS.
- ALL FILLS SHALL BE PLACED LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS)
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH SUITABLE INTERFACE FOR ALL FILLS. FILLS AROUND TREE SAVES ARE SUBJECT TO SPECIAL PROVISIONS THAT ARE NOTED IN SPECIFICATIONS AND PLANS.
- PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL CONFIRM SETBACKS, BUILDING DIMENSIONS AND COORDINATES BETWEEN SITE AND ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DIFFERENCES AFFECTING BUILDING OR SITE CONSTRUCTION. COORDINATE SITE WORK WITH REQUIREMENTS OF ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FOUNDATION PLANS.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AND AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION, MUST BE EMPLOYED TO REGULATE TRAFFIC AND IN ACCORDANCE WITH M.D.O.T. STANDARDS.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PARKS AND PUBLIC WORKS SEWER DIVISION.
- ALL NEW CONNECTIONS, RECONNECTIONS ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK. THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT TO ALLOW FOR INSPECTION.
- A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- SEWER MANHOLES SHALL BE VACUUM TESTED AND SANITARY LINES SHALL BE LEAKAGE TESTED.
- WATER MAIN SHALL CEMENT LINED DUCTILE IRON CLASS 52 OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH PORTLAND WATER DISTRICT STANDARDS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH PWD AND OBTAIN ALL APPROVALS/PERMITS.
- LEVEL SPREADERS
 - LEVEL SPREADERS SHALL CONSTRUCTED ON UNDISTURBED SOIL WHERE POSSIBLE. IF FILL IS USED, IT SHALL BE CONSTRUCTED OF MATERIAL COMPACTED TO 95% OF STANDARD PROCTOR TEST LEVELS PRIOR TO SEEDING FOR THAT AREA NOT CONSIDERED THE SEEDBED.
 - AFTER CONSTRUCTION, LEVEL SPREADERS NEED TO BE CAREFULLY INSPECTED FOR ANY SIGNS OF CHANNELIZATION AND IMMEDIATELY REPAIRED. THE STRUCTURE WILL FAIL IF WATER EXITS FROM IT IN CHANNELIZATION FLOW. VEGETATED LEVEL SPREADERS MAY REQUIRE PERIODIC MOWING. SPREADERS CONSTRUCTED OF WOOD, ASPHALT, STONE OR CONCRETE CURBING ALSO REQUIRE PERIODIC INSPECTION TO CHECK FOR DAMAGE AND TO BE REPAIRED AS NEEDED.
- PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR SHALL REVIEW ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FOUNDATION PLANS FOR COORDINATION WITH SITE PLANS. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS/ OWNERS ATTENTION PRIOR TO BIDDING AND SHALL BE RESOLVED PRIOR TO BIDDING.
- SEE ARCHITECTURAL/MECHANICAL/ELECTRICAL PLANS FOR LOCATIONS AND REQUIREMENTS FOR UTILITY SERVICES TO BUILDINGS AND SITE INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, WATER, SEWER, FOUNDATION DRAINAGE. CONTRACTOR SHALL INSTALL UNDERGROUND ELECTRICAL/TELEPHONE AND CABLE SERVICES TO ALL BUILDINGS AND SHALL COORDINATE WITH RESPECTIVE UTILITIES FOR LOCATIONS OF SERVICE LINES, TRANSFORMER PADS, AND OTHER NECESSARY STRUCTURES. THIS SHALL BE COMPLETED BY THE CONTRACTOR AS PART OF THE BIDDING PROCESS AND SHALL BE COORDINATED WITH THE OWNER.

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A	OAM	8/25/99	ISSUED FOR PRELIMINARY PLANNING BOARD REVIEW
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		DETAIL SHEET OF: HILTON GARDEN INN JETPORT CROSS-ROAD, PORTLAND, MAINE FOR: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. 5786 WIDEWATERS PARKWAY P.O. BOX 3 DEWITT, NEW YORK 13214-0003	
DESIGN BY:	OAM	DRAWN BY:	KAP
CHECKED BY:	OAM	DATE:	8/25/99
SCALE:	AS NOTED	FIELD BK:	
PROJ. NO.:	98386	DRAWING:	98386A02
12 WESTBROOK COMMON WESTBROOK, ME 04098-1339 TEL (207) 856-0277		SHEET 9 OF 12	

EROSION AND SEDIMENT CONTROL PLAN

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.

ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY REGRADING.

ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES [SEE ABOVE REFERENCE.]

A. PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, HAY BALE BARRIERS/FILTER FABRIC FENCING SHALL BE STAKED ACROSS THE SLOPE(S), ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES AND HAY BALES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES. THIS NETWORK IS TO BE PROVIDED, INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.

PRIOR TO ANY CONSTRUCTION AT THE SITE, REPRESENTATIVES OF THE OWNER, SITE CONTRACTOR AND THE ENGINEER SHALL MEET WITH THE OWNER, CITY PLANNING DEPARTMENT AND PUBLIC WORK DEPARTMENT AND AIRPORT DIRECTOR OF OPERATIONS TO DISCUSS THE SCHEDULING OF THE SITE CONSTRUCTION. ON OR BEFORE THAT MEETING, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP SITE PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THREE COPIES OF THE SCHEDULE AND MARKED UP SITE PLAN SHALL BE PROVIDED TO THE CITY. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP - LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP - LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP - LINE OF TREES TO BE PRESERVED. REFER TO THE GRADING AND UTILITY PLAN FOR ALL AREAS TO BE PRESERVED.

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE SITE CONTRACTOR(S) THROUGHOUT CONSTRUCTION OF THIS PROJECT.

B. CONSTRUCTION AND POST-CONSTRUCTION PHASE

1. AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT SITE CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL BLANKET, NETTING OR MULCH ON ALL SLOPES 15% OR GREATER AND AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE SEED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1,000 S.F. TO PROVIDE WINTER PROTECTION AND COVERED WITH EROSION CONTROL MESH. ALL SLOPES GREATER THAN 8% AND NOT VEGETATED BY SEPTEMBER 15 SHALL BE COVERED WITH EROSION CONTROL BLANKET. ANY SLOPES GREATER THAN 15% SHALL BE COVERED WITH EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT A RATE SO THAT THE SOIL BENEATH IS NOT VISIBLE THROUGH THE MULCH. MULCH SHALL NOT BE APPLIED OVER SNOW COVER. SNOW MUST BE REMOVED PRIOR TO PLACING MULCH.

2. AT THE START OF CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED DAILY THROUGHOUT CONSTRUCTION TO PREVENT MATERIAL TRACKING ONTO PUBLIC WAYS.

3. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEED WITH RYE AT 3 LBS./1,000 S.F., AND MULCHED ON-SITE AND RE-USED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER. DESIGNATED LOCATIONS SHALL BE DETERMINED PRIOR TO OR AT THE PRE-CONSTRUCTION MEETING.

4. ALL SILT FENCES AND/OR HAY BALE BARRIERS SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE SILT FENCES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.

5. ALL AREAS SHALL BE SEED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.

6. HAYBALE BARRIERS SHALL BE PLACED AROUND ALL CATCH BASINS UNTIL PLACEMENT OF ROAD SUBBASE GRAVEL IS COMPLETED.

C. VEGETATION PLAN

REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. DISTURBED AREAS SHALL BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE HAY MULCHED AT A RATE OF 150 LBS PER 1,000 S. F. AND SEED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1,000 S.F. TO PROVIDE WINTER PROTECTION. HAY MULCH SHALL BE SECURED WITH A SUITABLE BINDER TO INCLUDE RMB PLUS AND /OR EROSION CONTROL NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER.

REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

- FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 3 TONS PER ACRE. 10-20-20 FERTILIZER SHALL BE APPLIED AT A RATE OF 800 LBS./ACRE. THESE SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING.
- FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEED AT A RATE OF 4 LBS./1,000 S.F. TO A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYE GRASS, 20% ANNUAL RYE GRASS AND 5% WHITE DUTCH CLOVER. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF BLUEGRASS AND/OR FESCUE; SEEDING RATE OF 3 LBS. PER 1,000 SQUARE FEET.
- HAY MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT THE RATE OF 150 LBS. PER 1,000 SQUARE FEET, OR A HYDRO-APPLICATION OF ASPHALT, WOOD OR PAPER FIBER WILL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER, SUCH AS RMB PLUS AND/OR EROSION CONTROL NETTING WILL BE USED ON HAY MULCH FOR WIND CONTROL.
- ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDING HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

D. EROSION CONTROL DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO ALLOWING THESE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE. IN ALL CASES MULCH SHALL BE APPLIED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- A.) BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER.
B.) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3%, FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
C.) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING FOR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

E. CONSTRUCTION SCHEDULE

CONSTRUCTION WILL MOST LIKELY BEGIN IN FALL 1999. THE FOLLOWING SCHEDULE HAS BEEN PREPARED BASED UPON AN ANTICIPATED CONSTRUCTION SCHEDULE OF 5 MONTHS.

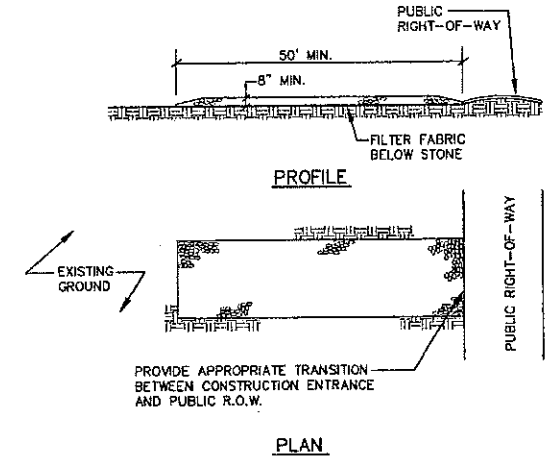
SCHEDULE

- | | |
|---|--------------------------------|
| 1. ESTIMATED CONSTRUCTION TIME: | NOV 20, 1999 - APRIL 30, 2000 |
| 2. EROSION CONTROL MEASURES PLACED. | NOV. 23, 1999 |
| 3. SITE CLEARING, GRUBBING, EXCAVATION AND FILLING (ROADWAY CONSTRUCTION) | NOV 25, 1999 - DEC. 1999 |
| 4. DRAINAGE & UTILITY IMPROVEMENTS. | DEC 10, 1999 - JAN 31, 2000 |
| 5. START FINAL/TEMPORARY SEEDINGS ON PREPARED AREAS. | APRIL 15, 2000 |
| 6. BIWEEKLY MONITORING OF VEGETATIVE GROWTH | APRIL 15, 2000 - SEPT 15, 2000 |
| 7. RE-SEEDING OF AREAS, IF NEEDED. | APRIL 25, 2000 - SEPT 15, 2000 |
| 8. REMOVAL OF EROSION CONTROL DEVICES. | JUNE 2000 - SEPT 2000 |
| 9. MULCH SPREAD FOR WINTER EROSION CONTROL. | OCT. 15, 1999 - APRIL 1, 2000 |
| 10. DETENTION POND CONSTRUCTION | NOV. 1999 - DEC. 1999 |

F. INSPECTIONS/MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION.

FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE SITE SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.



- NOTES:**
- STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
 - LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
 - THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

1 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

B	DOB	10-14-99	ADDED NOTES; REISSUED TO CITY OF PORTLAND
A	OAM	8-25-99	ISSUED FOR PRELIMINARY PLANNING BOARD REVIEW
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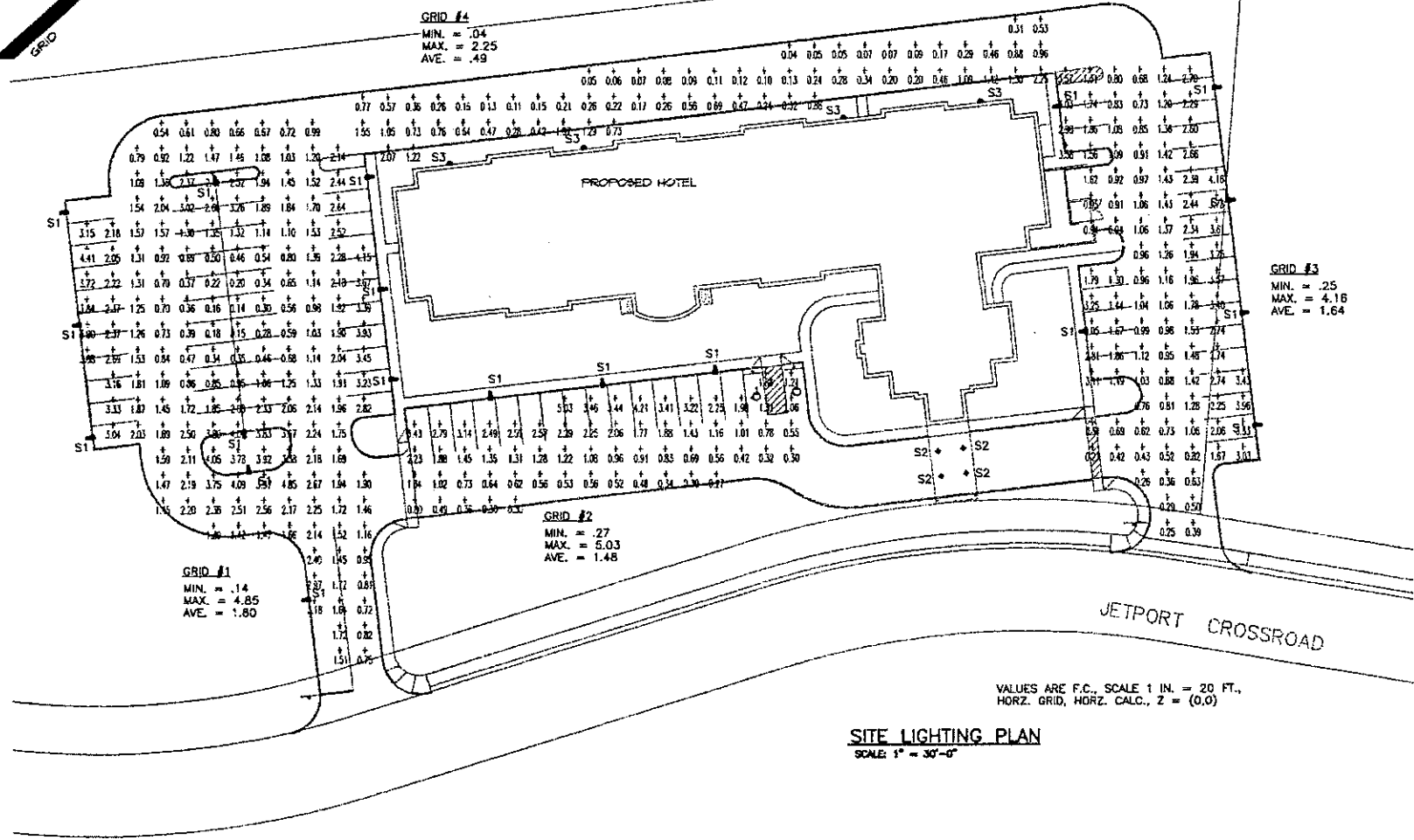
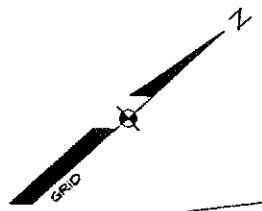
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DETAILS OF:
HILTON GARDEN INN
 JETPORT CROSS-ROAD, PORTLAND, MAINE
 FOR:
WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.
 5786 WIDEWATERS PARKWAY P.O. BOX 3
 DEWITT, NEW YORK 13214-0003

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DESIGN BY:	OAM
DRAWN BY:	DAZ
CHECKED BY:	OAM
DATE:	8/25/98
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FIELD BK:	
PROJ. NO.:	98386
DRAWING:	98386AD1

SHEET 10 OF 12



VALUES ARE F.C. SCALE 1 IN. = 20 FT.,
 HORZ. GRID, HORZ. CALC., Z = (0.0)

SITE LIGHTING PLAN
 SCALE 1" = 30'-0"

GRID #1
 MIN. = .14
 MAX. = 4.85
 AVE. = 1.80

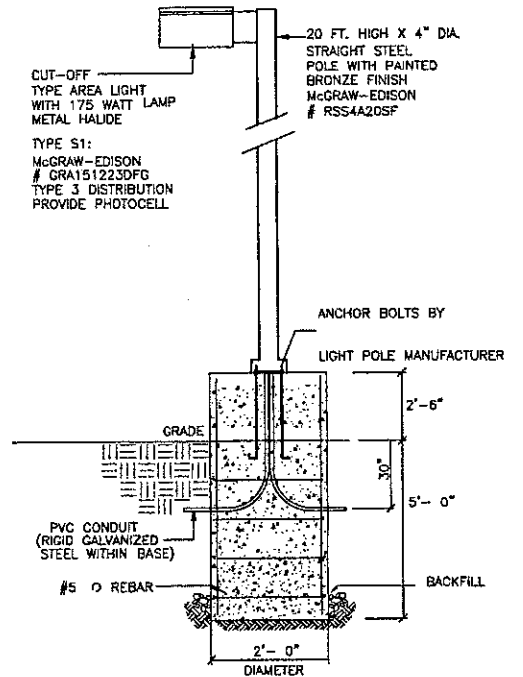
GRID #4
 MIN. = .04
 MAX. = 2.25
 AVE. = .49

GRID #3
 MIN. = .25
 MAX. = 4.16
 AVE. = 1.64

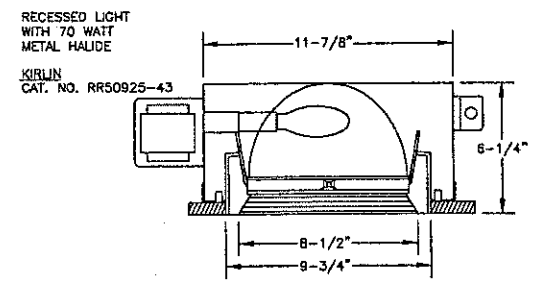
GRID #2
 MIN. = .27
 MAX. = 5.03
 AVE. = 1.48

CANOPY GRID
 MIN. = 4.45
 MAX. = 25.7
 AVE. = 15.8
 AVE. MIN. = 3.55

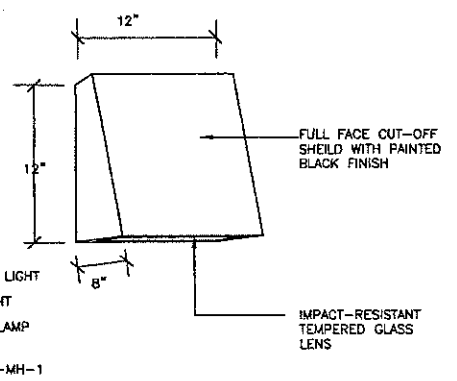
CANOPY LIGHTING PLAN
 SCALE 1/8" = 1'-0"



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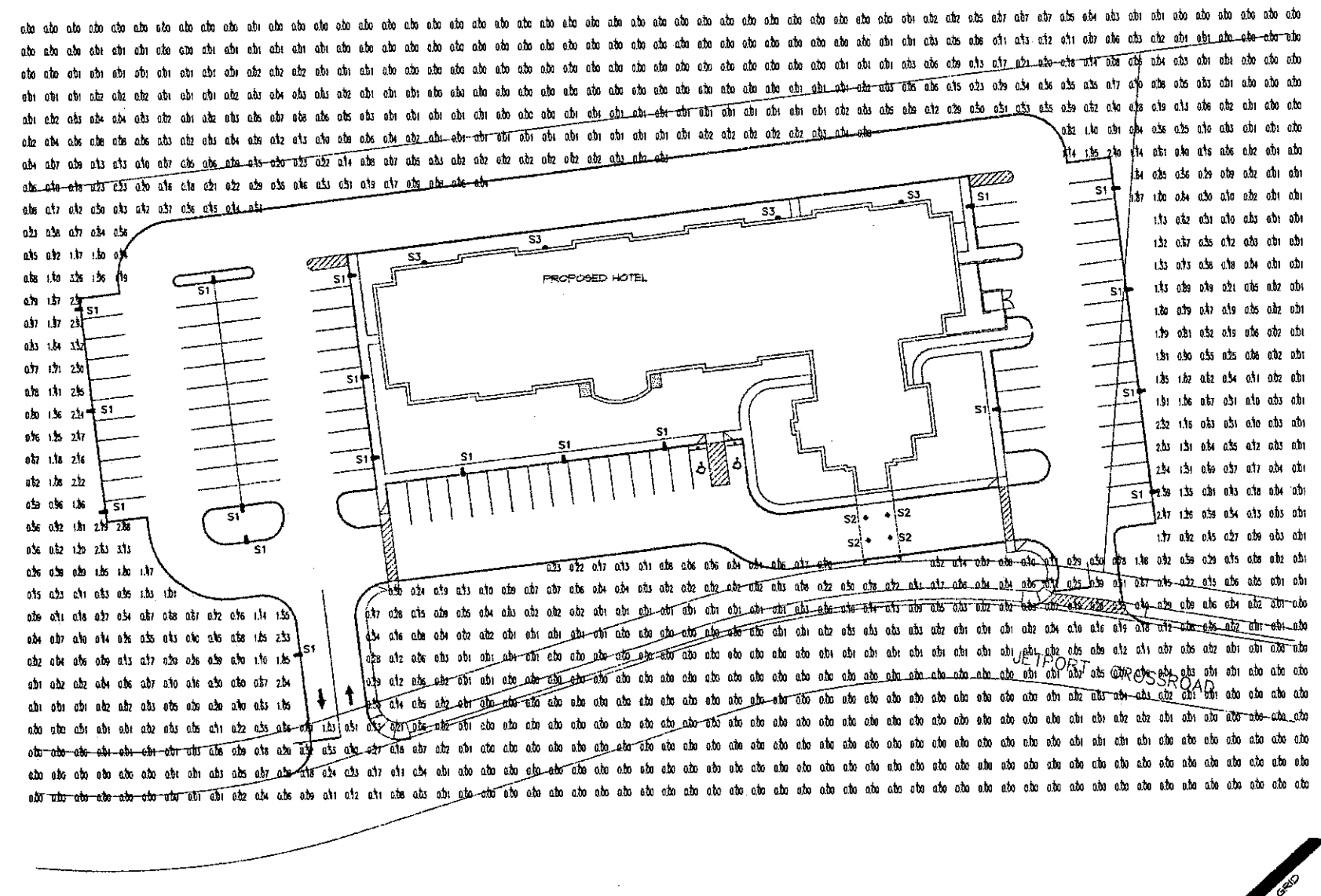
TYPE S2 DETAIL
 NOT TO SCALE



TYPE S3 DETAIL
 NOT TO SCALE

Bartlett Design
 LIGHTING & ELECTRICAL ENGINEERING
 942 WASHINGTON STREET, BATH, ME 04530
 TEL (207) 443-5447 FAX (207) 443-5500

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LIGHTING PLAN			
OF: HILTON GARDEN INN JETPORT CROSS-ROAD, PORTLAND, MAINE			
FOR: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. 5786 WIDEWATERS PARKWAY P.O. BOX 3 DEWITT, NEW YORK 13214-0003			
	Sebago Technics Engineering & Planning for the Future 12 WESTBROOK COMMON WESTBROOK, ME 04098-1339 TEL (207) 856-0277		
DESIGN BY:	JC		
DRAWN BY:	JC		
CHECKED BY:	LEB		
DATE:	10-13-99		
SCALE:	1" = 30'		
FIELD BK:	580A		
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SHEET 11 OF 12			

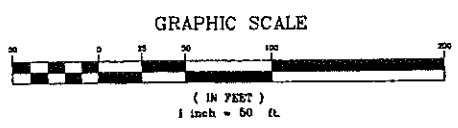
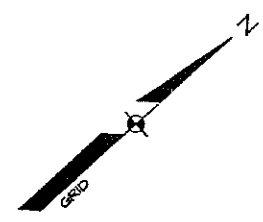
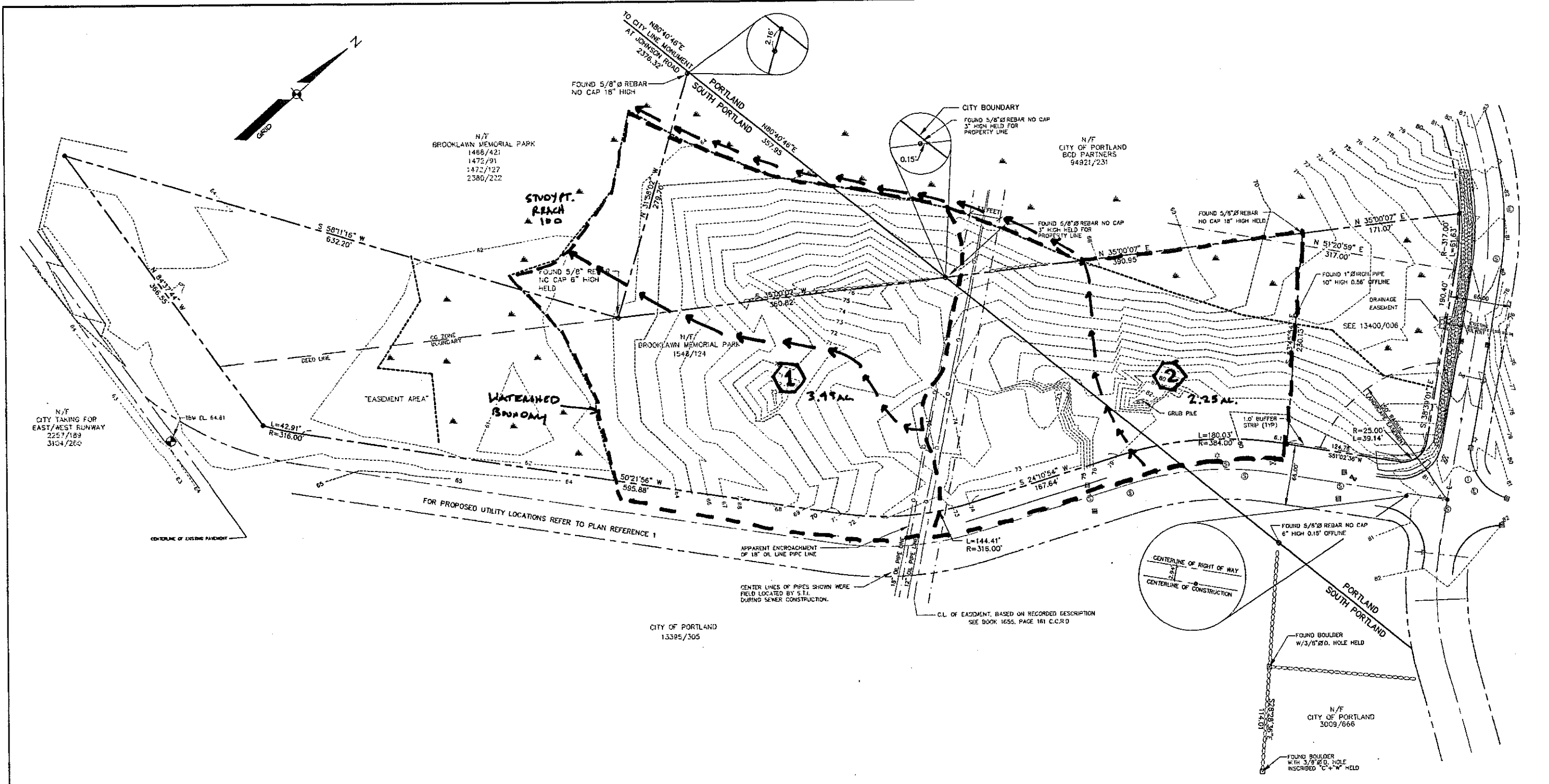


VALUES ARE F.C., SCALE 1 IN. = 20 FT.
 HORZ. GRID, HORZ. CALC., Z = (0,0)

SITE LIGHTING PLAN
 SCALE 1" = 30'-0"

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LIGHTING PLAN OF: HILTON GARDEN INN JEFFPORT CROSS-ROAD, PORTLAND, MAINE FOR: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. 5786 WIDEWATERS PARKWAY P.O. BOX 3 DEWITT, NEW YORK 13214-0003			
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SCALE:	1" = 30'		
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PROJ. NO:	98386		
DRAWING:	98386L2		
			SHEET 12 OF 12



REV.	BY:	DATE:	STATUS:
A	OAM	8/27/99	ISSUED FOR PRELIMINARY PLAN REVIEW

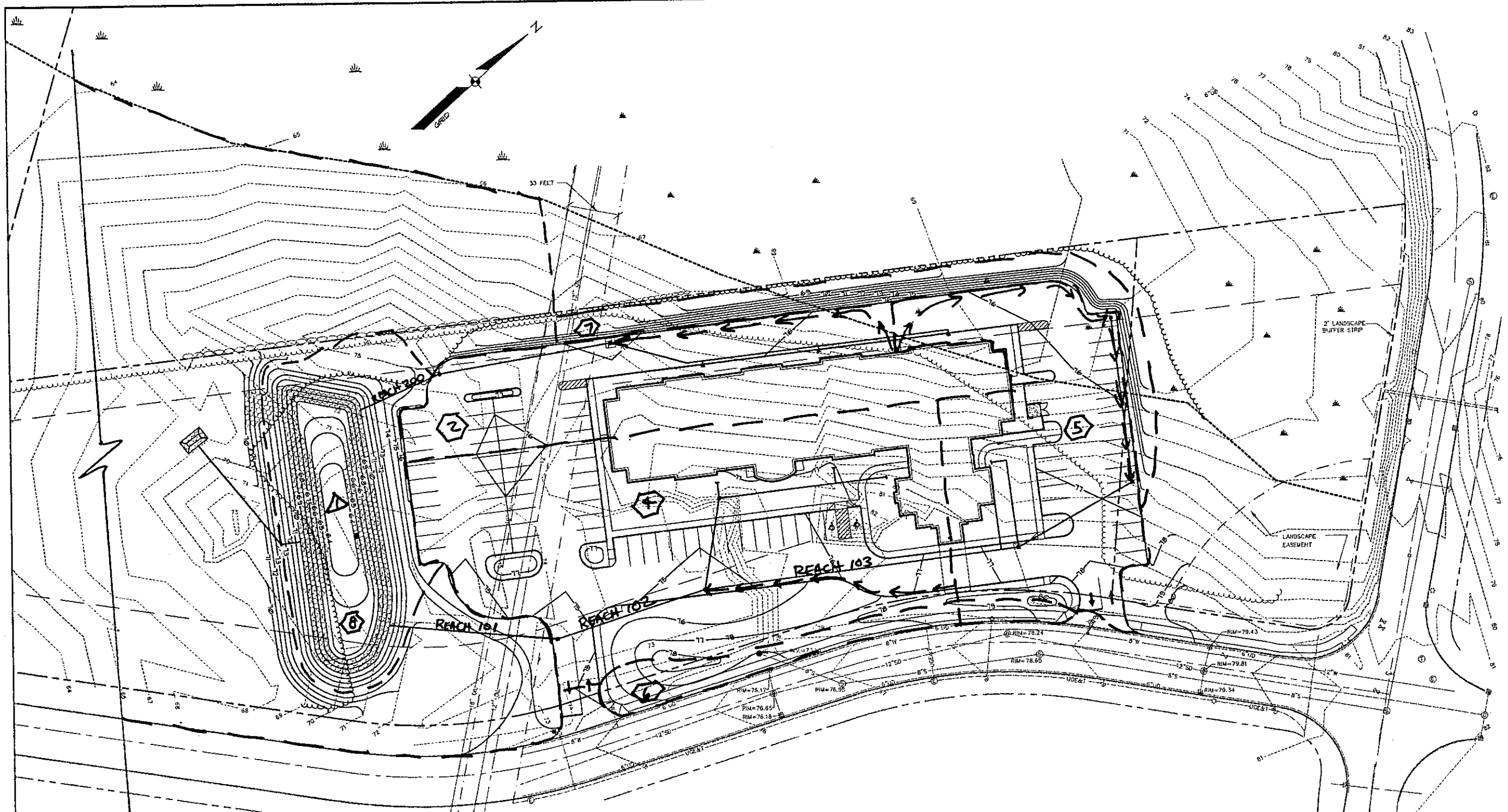
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

PRE DEVELOPMENT WATERSHED MAP
 OF:
WIDEWATERS LEASE PROPERTY
 AIRPORT CONNECTOR RD. PORTLAND, MAINE
 FOR:
WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.
 5786 WIDEWATERS PARKWAY P.O.B. 3
 DEWITT, NEW YORK 13214-0003

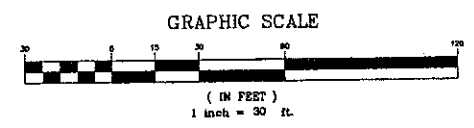
Sebago Technics
 Engineering & Planning for the Future
 12 WESTBROOK COMMON
 WESTBROOK, ME 04098-1339
 TEL (207) 855-0277

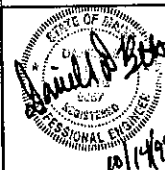

DESIGN BY:	JDK / DED
DRAWN BY:	JDK / DED
CHECKED BY:	OAM
DATE:	1-21-1999
SCALE:	1" = 50'
FIELD BK:	580A
PROJ. NO:	98386
DRAWING:	98386PREW

SHEET 1 OF 2

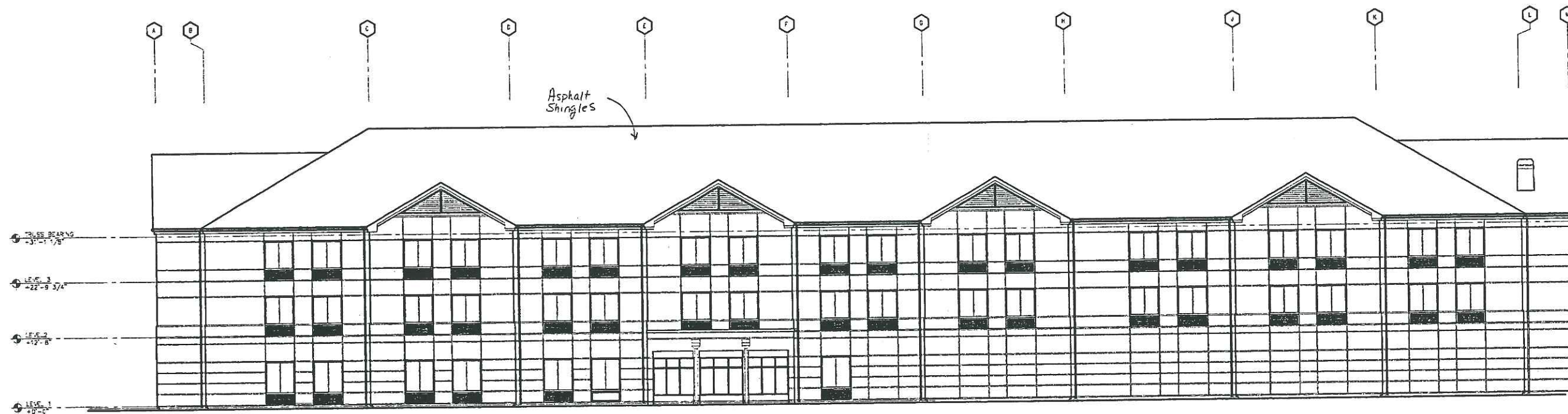


SEE PREDEVELOPMENT
MAP FOR CONTINUATION

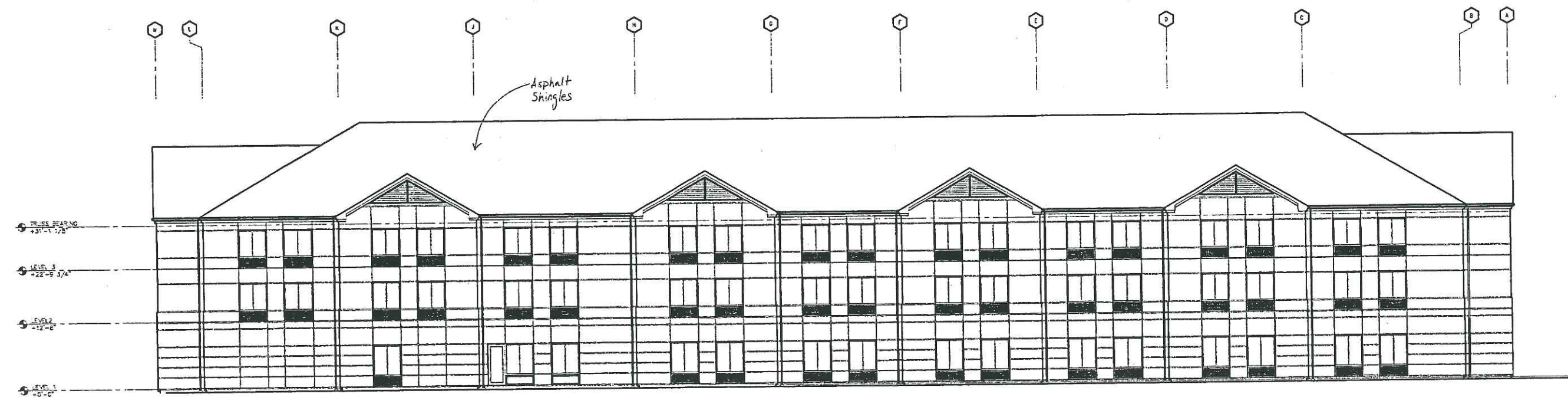


REV:	A	OAM	8/27/99	ISSUED FOR PRELIMINARY PLAN REVIEW
BY:				STATUS:
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		POST DEVELOPMENT WATERSHED MAP OF: HILTON GARDEN INN JETPORT CROSS-ROAD, PORTLAND, MAINE FOR: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. 5788 WIDEWATERS PARKWAY P.O. BOX 3 DEWITT, NEW YORK 13214-0003		
		DESIGN BY: OAM DRAWN BY: JLB/KAP CHECKED BY: OAM DATE: 7-23-99 SCALE: 1"=30' FIELD BK: 580A PROJ. NO: 98386 DRAWING: 98386APSTW SHEET 2 OF 2		
Sebago Technics Engineering & Planning for the Future 12 WESTBROOK COMMON WESTBROOK, ME 04098-1339 TEL (207) 856-0277				

A-15



1 SOUTH ELEVATION
 2A-10 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 2A-10 SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR SIDES OF BUILDING
 WILL BE FINISHED WITH EIFS
 (EXTERIOR INSULATION AND FINISH
 SYSTEM) IN FOUR (4) COLOR BANDS.

JOSEPH E. RABUN
 ARCHITECT
 44 Broad Street, NW
 New Brunswick, NJ 08901
 908-834-1000

HILTON
 GARDEN
 INN
 PORTLAND,
 MAINE

REVISIONS
 8/14/99 OWNER REVIEW
 9/22/99 SDC REVIEW AND
 COORDINATION SET

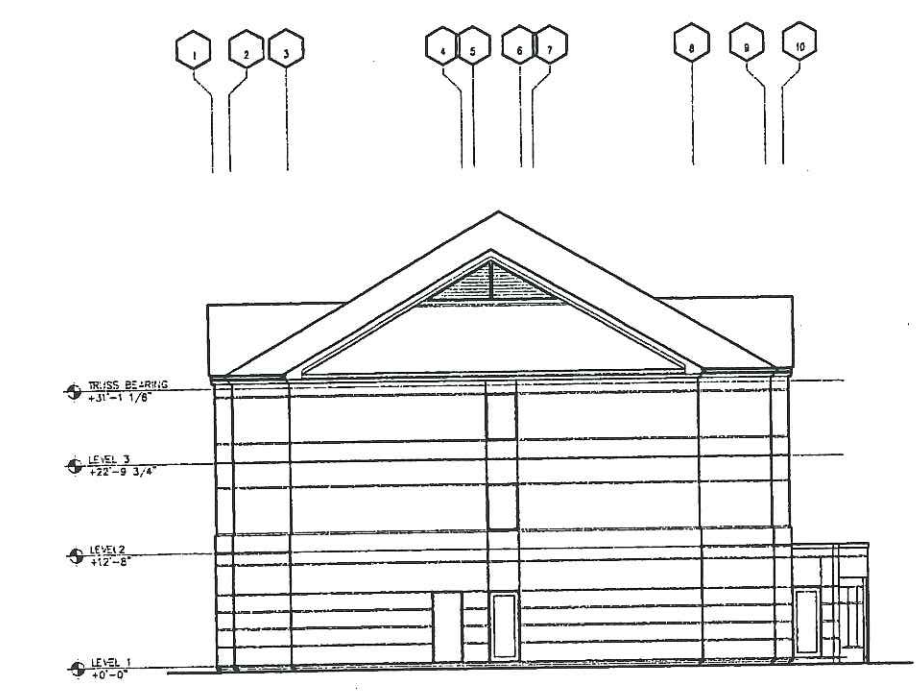
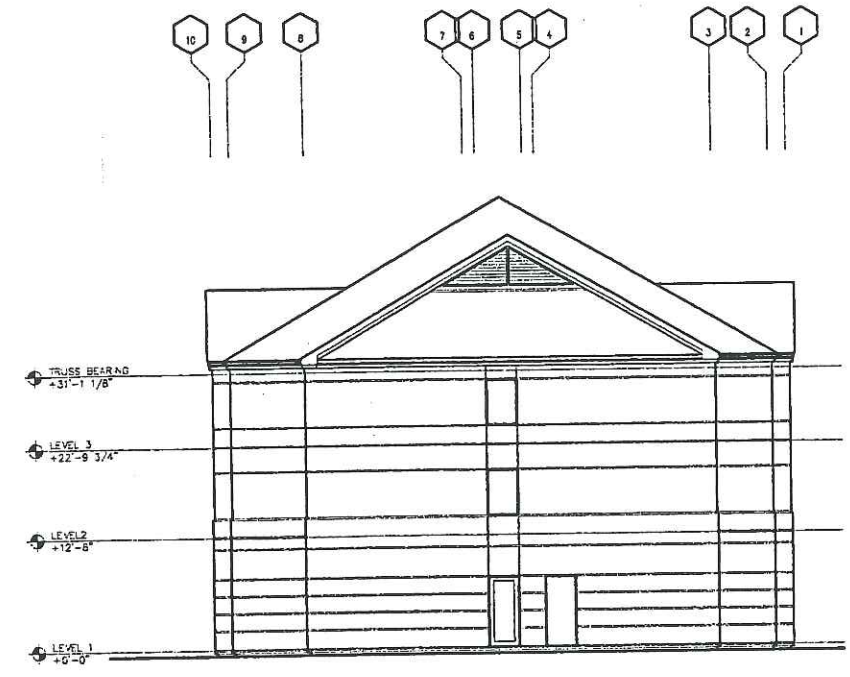
TITLE
 NORTH &
 SOUTH
 TOWER
 ELEVATIONS

PROJECT NUMBER
 403

DATE
 9/22/99

SHEET NUMBER
 2A-10

A-116



NOTE: ALL EXTERIOR SIDES OF BUILDING WILL BE FINISHED WITH EIFS (EXTERIOR INSULATION AND FINISH SYSTEM IN FOUR (4) COLOR BANDS.

JOSEPH E. RABUN
ARCHITECT
44 Broad Street, NW
Third Floor, Atlanta, Georgia
404-525-1500 FAX 404-525-1504

HILTON
GARDEN
INN
PORTLAND,
MAINE

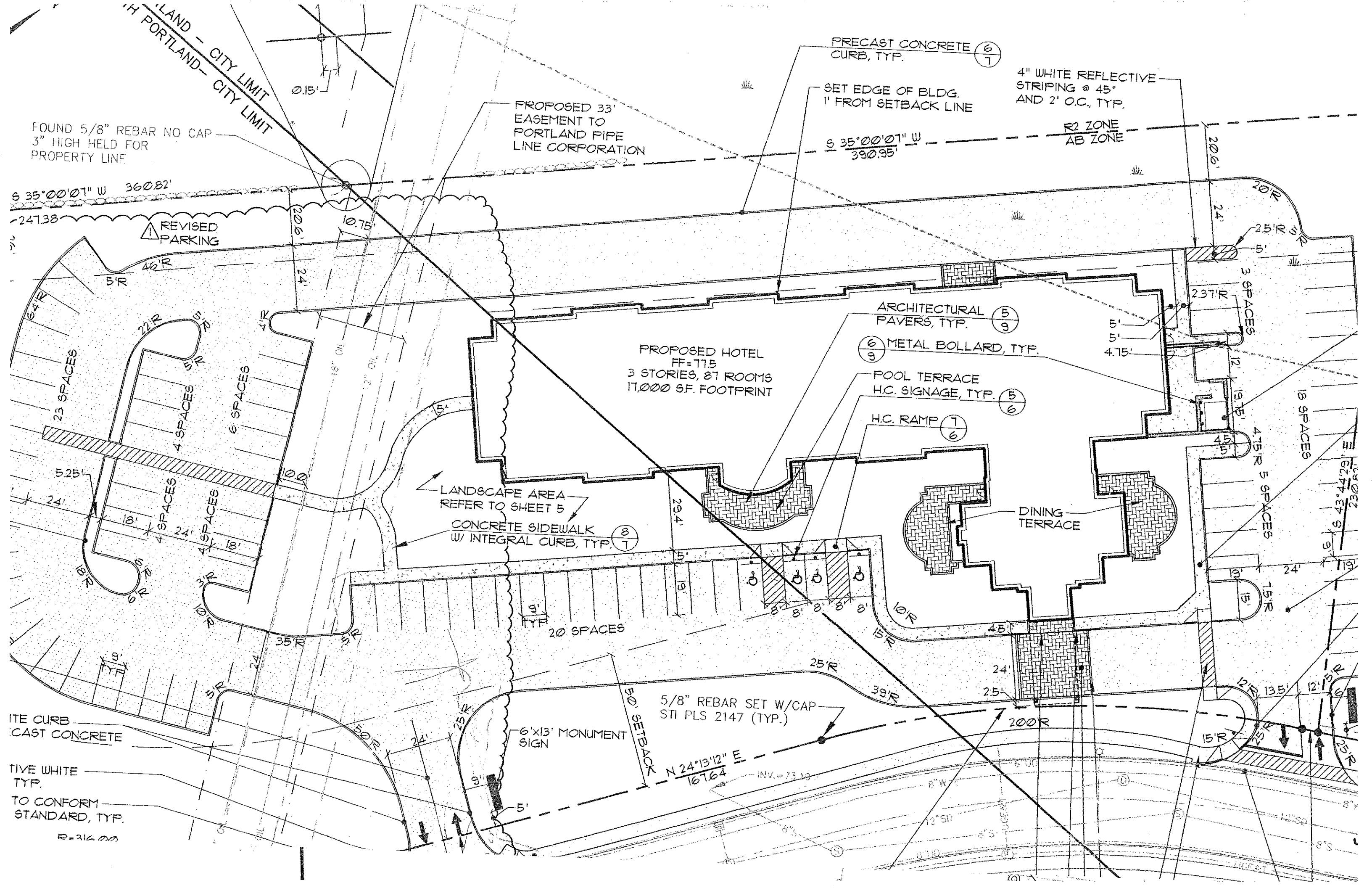
REVISIONS
9/14/99 OWNER REVIEW
9/22/99 SOKS REVIEW AND
COORDINATION SET

TITLE
EAST &
WEST TOWER
ELEVATIONS

PROJECT NUMBER
403

DATE
9/22/99

SHEET NUMBER
2A-11



FOUND 5/8" REBAR NO CAP
3" HIGH HELD FOR
PROPERTY LINE

PROPOSED 33'
EASEMENT TO
PORTLAND PIPE
LINE CORPORATION

PRECAST CONCRETE (6)
CURB, TYP. (7)

SET EDGE OF BLDG.
1' FROM SETBACK LINE

4" WHITE REFLECTIVE
STRIPING @ 45°
AND 2' O.C., TYP.

R2 ZONE
AB ZONE

S 35°00'07" W
360.82'

REVIS
PARKING

PROPOSED HOTEL
FF=11.5
3 STORIES, 81 ROOMS
17,000 S.F. FOOTPRINT

ARCHITECTURAL
PAVERS, TYP. (5)
(9)

(6) METAL BOLLARD, TYP.
(9)

POOL TERRACE
H.C. SIGNAGE, TYP. (5)
(6)

H.C. RAMP (7)
(6)

LANDSCAPE AREA
REFER TO SHEET 5

CONCRETE SIDEWALK
W/ INTEGRAL CURB, TYP. (8)
(7)

DINING
TERRACE

5/8" REBAR SET W/CAP
STI PLS 2147 (TYP.)

6'x13' MONUMENT
SIGN

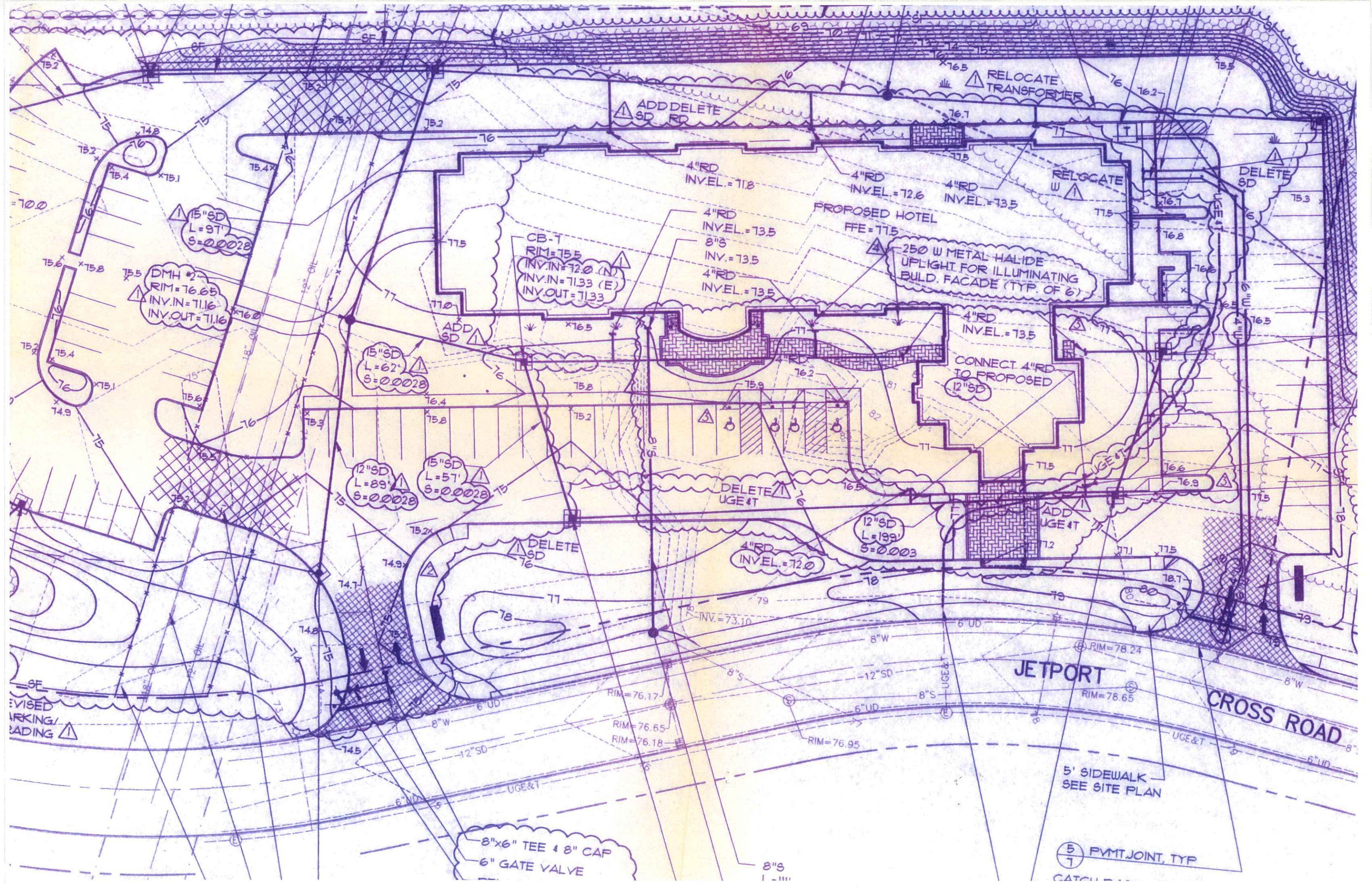
N 24°13'12" E
167.64'

ITE CURB
CAST CONCRETE

TIVE WHITE
TYP.

TO CONFORM
STANDARD, TYP.

R=316.00



ADD DELETE
SD RD

RELOCATE
TRANSFORMER

CB-7

RIM=75.5
INV.IN=72.0 (N)
INV.IN=71.33 (E)
INV.OUT=71.33

PROPOSED HOTEL
FFE=71.5

250 W METAL HALIDE
UPLIGHT FOR ILLUMINATING
BULD. FACADE (TYP. OF 6)

CONNECT 4" RD
TO PROPOSED
12" SD

DELETE
UGE 4T

ADD
UGE 4T

4" RD
INVEL.=72.0

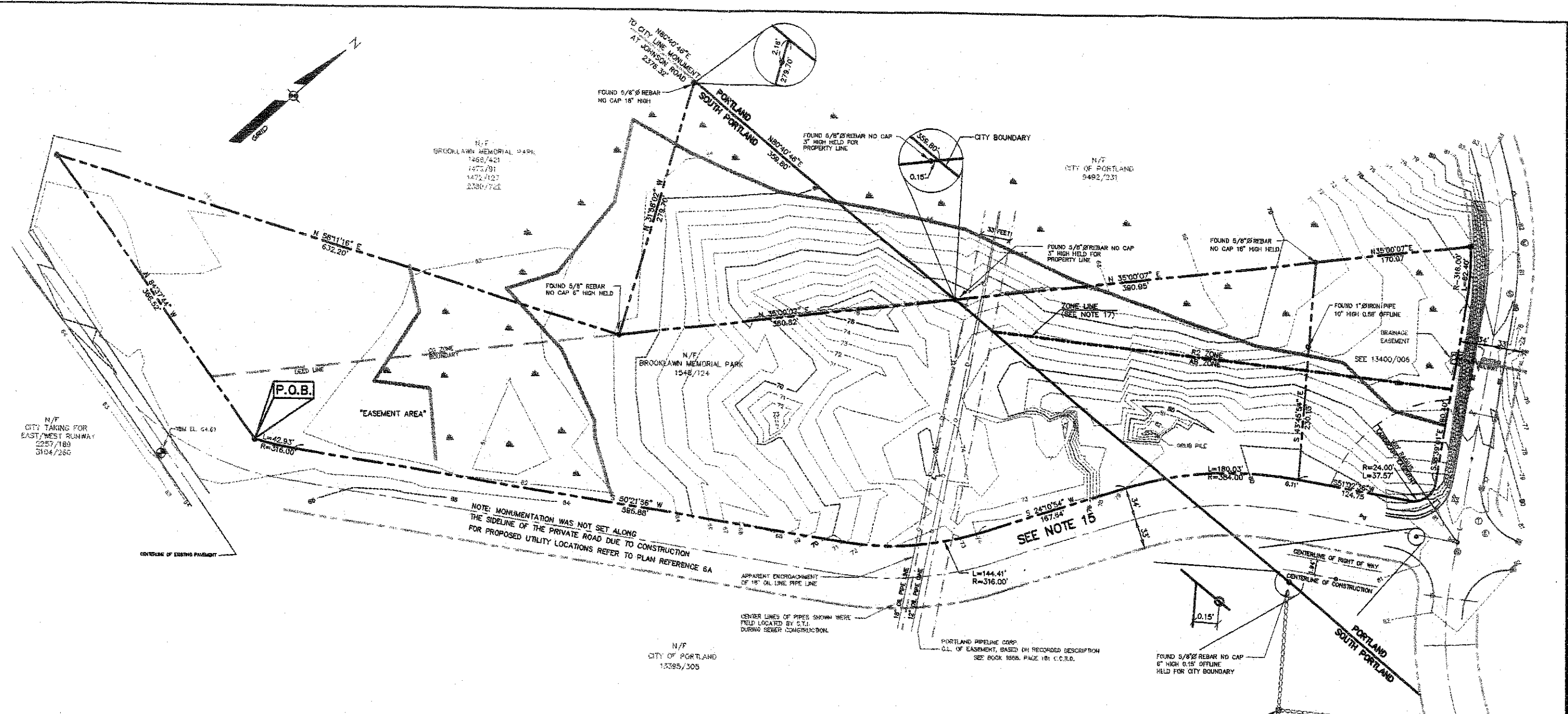
JETPORT

CROSS ROAD

8"x6" TEE & 8" CAP
6" GATE VALVE

5' SIDEWALK
SEE SITE PLAN

5
7
PVMT JOINT, TYP
CATCH

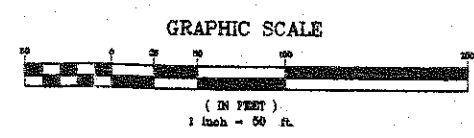


GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS BROOKLAWN MEMORIAL PARK BY A DEED FROM MAINE LAWN CO. DATED MAY 29, 1935 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEED IN BOOK 1488 PAGE 421; A DEED FROM ALBERT H. CHESLEY DATED APRIL 27, 1938 RECORDED IN BOOK 1548 PAGE 124; AND A DEED FROM THE CITY OF PORTLAND DATED OCTOBER 23, 1997 RECORDED IN BOOK 13400 PAGE 6.
- LEASEE: WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C. BY MEMORANDUM OF LEASE RECORDED IN BOOK 13980 PAGE 071 CUMBERLAND COUNTY REGISTRY OF DEEDS.
- THIS PROPERTY IS SHOWN THE CITY OF PORTLAND TAX MAP 209 A-A-16 AND ON THE CITY OF SOUTH PORTLAND TAX MAP 46 LOT 3D.
- THAT PORTION OF THE PROPERTY IN THE CITY OF PORTLAND LIES PARTIALLY WITHIN THE AB ZONE AND THE R-2 ZONE. THE SOUTH PORTLAND PORTION IS PARTIALLY WITHIN THE RE ZONE AND THE CG ZONE.
- SPACE AND BULK REQUIREMENTS:
- PLAN REFERENCES:
 - PLAN AND PROFILE CONNECTOR ROAD PORTLAND INTERNATIONAL JETPORT BY DELUCA-HOFFMAN ASSOCIATES DATED THRU 3-15-98 SHEET 3, 5, AND 6.
 - PLAN OF BROOKLAWN MEMORIAL PARK PORTLAND AND SOUTH PORTLAND MAINE BY OWEN HASKELL, INC. DATED SEPT. 5, 1986 AS REVISED FEB. 14, 1992
 - PLAN OF LAND WESTBROOK ST. CONGRESS ST. AIRPORT ACCESS ROAD, PORTLAND AND SOUTH PORTLAND BY OWEN HASKELL, INC. DATED AUGUST 6, 1997.
 - STANDARD BOUNDARY SURVEY ON CONGRESS STREET PORTLAND, MAINE FOR THE CITY OF PORTLAND BY OWEN HASKELL, INC. DATED 11/20/1990.
 - PLAN OF PROPOSED OUT SALE FOR THE CITY OF PORTLAND INTERNATIONAL JETPORT BY SEBAGO TECHINCS, INC. DATED 9/23/1997.
- STREET LINES ARE BASED ON DEEDS AND REFERENCED PLANS.
- WETLAND DELINEATION PERFORMED BY MARK J. HAMPTON, C.C.S. SEBAGO TECHINCS, INC. DECEMBER 1998. THE DELINEATION WAS PERFORMED IN ACCORDANCE WITH THE 1987 US ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
- BEARINGS REFER TO THE MAINE STATE GRID (WEST ZONE) BASED ON STATIC GPS OBSERVATIONS DONE ON SITE IN DECEMBER 1998.
- THIS PLAN IS BASED ON A ALTA/ACSM LAND TITLE SURVEY PERFORMED IN ACCORDANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE CATEGORY II, CONDITION 1 WITH THE EXCEPTIONS THAT NO NEW MONUMENTATION HAS BEEN SET AT THIS DATE AND WETLAND LIMITS WERE NOT DETERMINED BY THE LICENSED LAND SURVEYOR OR LOCATED UNDER HIS DIRECT SUPERVISION. (SEE NOTE 8) NEW DEED DESCRIPTION IS ATTACHED AS A SEPARATE ITEM.
- THE TOTAL AREA OF THE PROPERTY SURVEYED IS 8.21 A.C.
- THESE PREMISES ARE SUBJECT TO A DRAINAGE EASEMENT REFERENCED IN BOOK 13400 PAGE 6; A RIGHT OF WAY FOR THE PORTLAND PIPELINE CORPORATION REFERENCED IN BOOK 1855 PAGE 161; A 150 FOOT RADIUS LANDSCAPE EASEMENT REFERENCED IN BOOK 13400 PAGE 6; AND AVIATION EASEMENT MENTIONED OR REFERENCED IN BOOK 13395 PAGE 305.
- NO BUILDING WERE OBSERVED UPON SURVEYED PARCEL.
- ELEVATIONS REFER TO TBM FOUND AT THE SITE, SET BY OTHERS, WHICH APPEAR TO BE BASED UPON N.G.V.D. 1929 DATUM AND THE DISK SET IN THE EAST WALL OF THE GENERAL AVIATION TERMINAL.
- NOTICE THERE IS NO ACCESS FOR INGRESS & EGRESS TO OR FROM THIS LEASEHOLD OVER A ONE FOOT STRIP OF LAND AND OTHER LAND OF THE CITY OF PORTLAND ON WHICH THE RELOCATED ACCESS ROAD AND UTILITIES LINE ARE PRESENTLY BEING CONSTRUCTED. ACCESS RIGHTS MUST BE ACQUIRED OVER THIS STRIP, LANDS AND ROADWAYS DURING OR FOLLOWING SITE PLAN APPROVAL.
- PORTIONS OF THE WETLAND AREAS IN THE CITY OF PORTLAND LIE WITHIN FLOOD HAZARD ZONE B SHOWN ON COMMUNITY PANEL 230051-0012 B DATED JULY 17, 1986 AND MAY BE SUBJECT TO SHALLOW FLOODING.
- THE ZONE LINE SHOWN HEREON IS BASED UPON CITY ZONING MAP INFORMATION AND INTERVIEW WITH THE ZONING ADMINISTRATOR. THE ZONE LINE LOCATION INCLUDED THE 30' EXTENSION PROVISION AS DESCRIBED IN SECTION 14-31 OF "LAND USE" CODE FOR THE CITY OF PORTLAND.

TO WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (I) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM, AND NSPS IN 1997, AND INCLUDES ITEMS OF TABLE A THEREOF, AND (II) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN "URBAN CLASS" SURVEY.

JOHN D. KIBBLE P.L.S. #1039



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/LEASE	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	●
---	IRON PIPE/ROD	○
---	DRILLHOLE	○
---	CURVE/LINE NO.	CI / LI
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	EDGE WATER	---
---	CONTOURS	---
---	OIL PIPE LINE	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	POTABLE WELL	---
---	CULVERT	---
---	SPOT GRADE	---
---	STONE WALL	---
---	ZONE LINE	---
---	BENCHMARK	---

B	JDK	2-3-1998	ADDED NOTE 14, 15, & 16
A	JDK	1-21-1998	ISSUED TO CLIENT
REV:	BY:	DATE:	STATUS:

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ALTA/ACSM LAND TITLE SURVEY
 OF:
WIDEWATERS LEASE PROPERTY "URBAN CLASS"
 AIRPORT CONNECTOR RD., PORTLAND, MAINE
 FOR:
WIDEWATERS NEWCASTLE PORTLAND COMPANY L.L.C.
 5788 WIDEWATERS PARKWAY P.O.B. 3
 DEWITT, NEW YORK 13214-0003

Sebago Technics
 Engineering & Planning for the Future
 12 WESTBROOK COMMON
 WESTBROOK, ME 04098-1339
 TEL. (207) 556-0277

DESIGN BY: JDK / DED
 DRAWN BY: JDK / DED
 CHECKED BY: DED
 DATE: 1-21-1998
 SCALE: 1"=50'
 FIELD BK: 580A
 PROJ. NO: 98388
 DRAWING: 98388LTS
SHEET OF

N/F
CITY OF PORTLAND
BCD PARTNERS
94921/231

AREA TO BE
REZONED 1.2 A.C. ±

Hilton Garden Inn
88 Rooms - 3 Story

PARKING - 35 SPACES

PARKING - 24 SPACES

PARKING - 28 SPACES (4HC)

10,502.7 SF of green
buffer

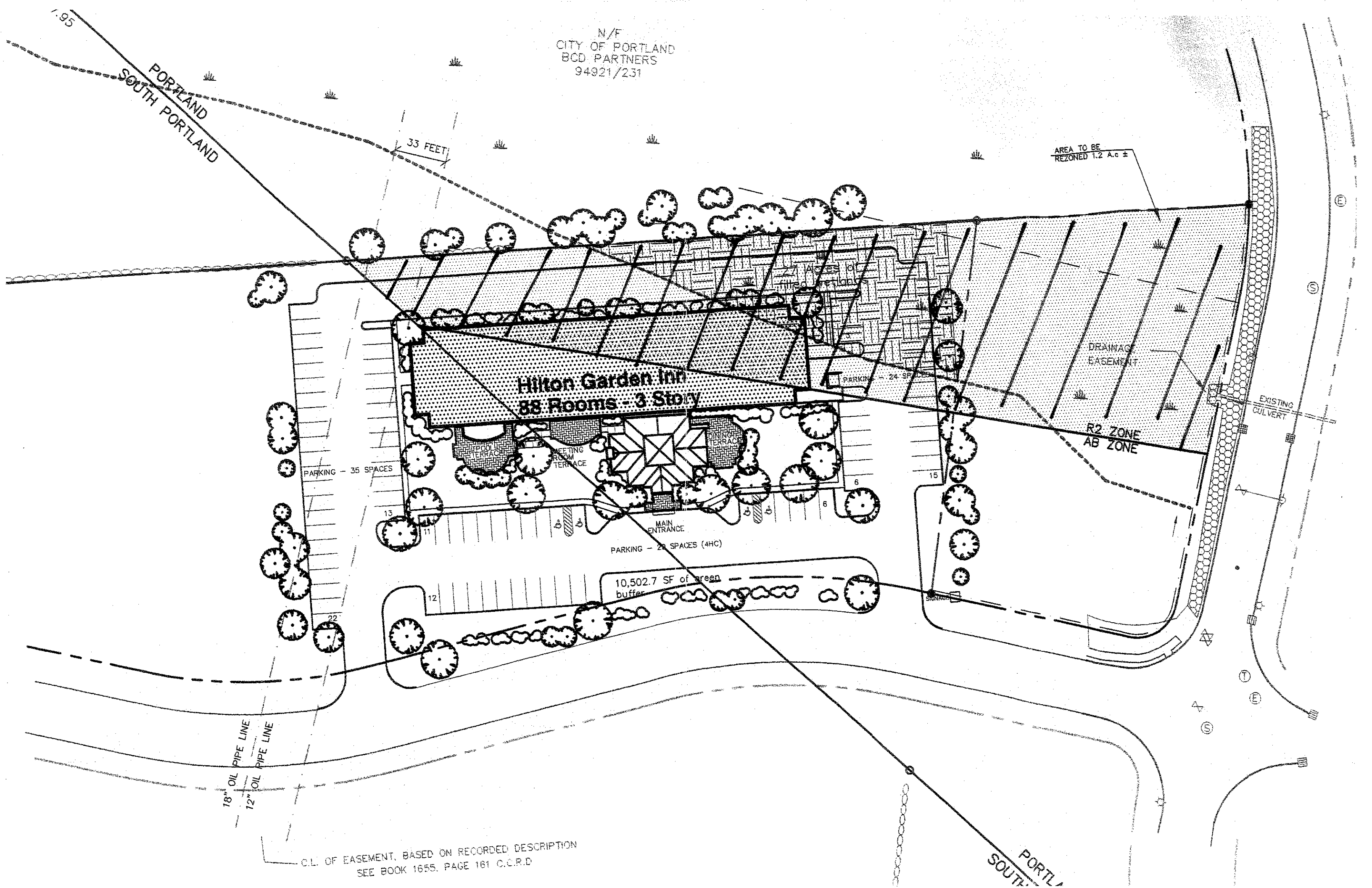
R2 ZONE
AB ZONE

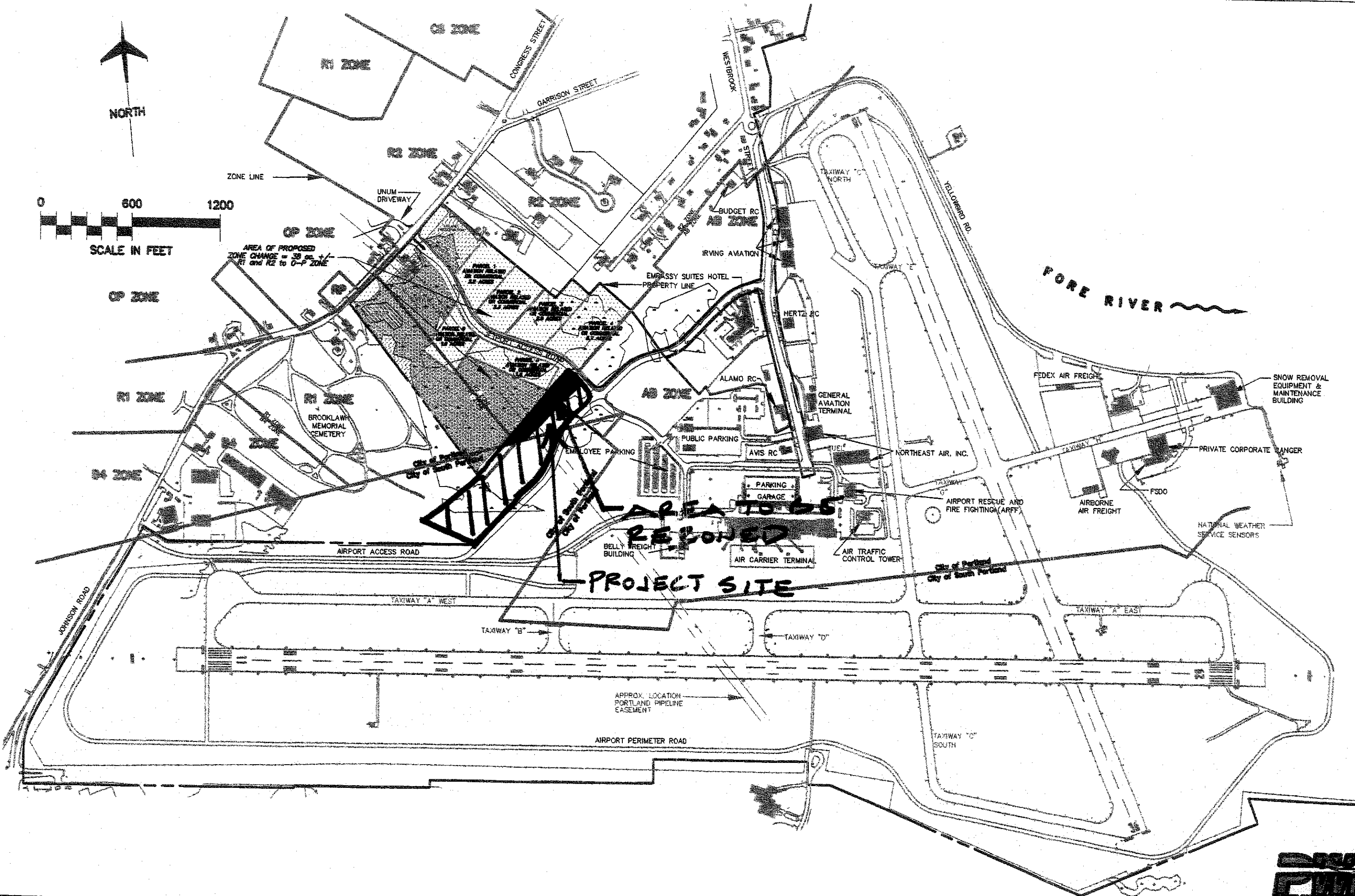
DRAINAGE
EASEMENT

EXISTING
CULVERT

18" OIL PIPE LINE
12" OIL PIPE LINE

C.L. OF EASEMENT, BASED ON RECORDED DESCRIPTION
SEE BOOK 1655, PAGE 161 C.C.R.D





AREA TO BE REBONDED
PROJECT SITE

