

BUCKNAM RESIDENCE

RENOVATION
26 Cobb Ave
Portland, Maine



Permitting and Inspections Department
Approved with Conditions

08/09/2018

PROJECT NOTES:

CABINETRY
BATH VANITIES TBO

INTERIOR TRIM
TRIM TO MATCH EXISTING, PAINTED

SIDING
NEW SHINGLES TO MATCH EXISTING WHERE SPECIFIED

EXTERIOR PAINTING
PAINT/STAIN ANY NEW SHINGLES TO MATCH EXISTING

ROOFING
NEW ASPHALT ARCHITECTURAL SHINGLES ON ENTIRE ROOF.
REPAIR LOW-SLOPE /FLAT ROOFS AT FRONT PORCH AS
REQUIRED. NO KNOWN LEAKS

EXISTING STAIRS
EXISTING INTERIOR STAIRS TO REMAIN

EXISTING EXTERIOR SIDE YARD STEPS TO BE REMOVED AND
REPLACED - SEE PLANS FOR DETAILS.

EXISTING WOOD FLOORS
SALVAGE WOOD FLOORS TO THE EXTENT PRACTICAL FOR
REFINISHING EXCEPT WHERE NOTED.

NEW FLOORS
NEW TILE FLOORING AS NOTED
PROVIDE ELECTRIC HEAT MAT AT NEW HALF BATH

ELECTRICAL
PROVIDE AN ALLOWANCE FOR ALL LIGHTING, UNDER-CABINET
LIGHTING AND BATH FANS

GENERAL CONTRACTOR SHALL SUPPLY RECESSED LIGHTS AND
ELECTRICAL WIRING AND INSTALLATION

BATH ACCESSORIES
BATH ACCESSORIES SHGALL BE SUPPLIED BY OWNER AND
INSTALLED BY GENERAL CONTRACTOR

ZONING REVIEW

26 COBB AVE	
CBL:	207 A 1-2
0.344 ACRES = 15,000 S.F.	~150'X~100'
STREET FRONTAGE	50'
EXISTING USE	SINGLE FAMILY
PROPOSED USE	SINGLE FAMILY
EXISTING BUILDING FOOT PRINT	1030 S.F.
EXISTING ACCESSORY FOOT PRINT	344 S.F.
PROPOSED BUILDING EXPANSION	14 S.F.

R-2 ZONE DIMENSIONAL STANDARDS	SETBACKS	EXISTING PRINCIPAL	PROPOSED PRINCIPLE	MEETS REQUIREMENTS	PROPOSED
FRONT YARD	25'	~21'		NON-COMFORMING	NO CHANGE
SIDE YARD	12'	107', 11.6'	107', 12.25'	NON-COMFORMING	NO CHANGE
REAR YARD	25' IF >100 S.F.; ACCESSORY 5' IF <144 S.F.	31'		NON-COMFORMING	NO CHANGE
HEIGHT	35'	~21'		YES	NO CHANGE
ACCESSORY BLDG HEIGHT	18'			YES	NO CHANGE
LOT COVERAGE	20%	9.17% (1376 S.F.)	9.25% (1388 S.F.)	NEW EXT STEPS - YES	+0.08%
MIN. LOT SIZE	10,000 S.F.	15,000 SF		CONFORMING	NO CHANGE

AREA EXISTING VS. NEW

Area	Name
1030 SF	PRINCIPLE FOOTPRINT
344 SF	EXISTING ACCESSORY FOOTPRINT
14 SF	NEW LANDING STEPS
2 SF	EXISTING CHIMNEY REMOVED

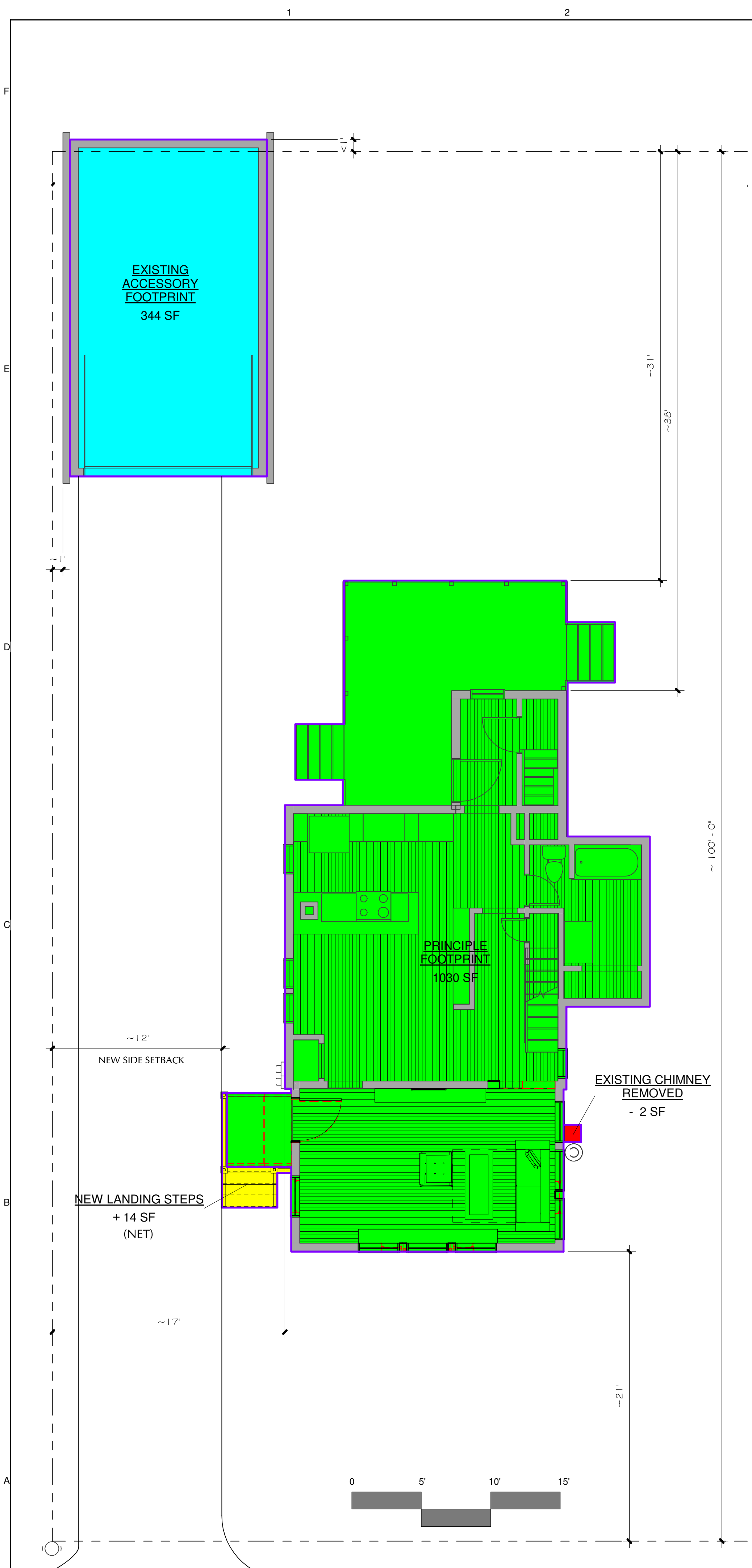
NOTES:
LOT SIZE = 15,000 S.F. (CITY OF PORTLAND MAINE PARCEL VIEWER)
EXISTING GROSS LOT COVERAGE AREA = 1376 S.F.
GROSS LOT COVERAGE AREA TO BE REMOVED = 2 S.F.
GROSS LOT COVERAGE AREA TO BE ADDED = 14 S.F.
PROPOSED NEW GROSS LOT COVERAGE AREA = 1388 S.F.

CODE REVIEW

IECC 2009	CODE REQUIRED	CODE PROVIDED	CODE MET	NOTES
FENESTRATION U-FACTOR	0.35	.31 ANDERSEN 400 SERIES	YES	
SKYLIGHT U-FACTOR	0.60	0.24 (VELUX VCS 3046)	YES	
CEILING R-VALUE	R-49	R-35.75	YES (A)	5.5" CAVITY WITH R-6.5/INCH FOAM
WALL R-VALUE	R-21	N/A EXISTING WALLS	YES (B)	EXISTING TO REMAIN
FLOOR R-VALUE	R-30 (FILL CAVITY TO R-19 MIN.)	N/A EXISTING FLOOR	YES (B)	EXISTING TO REMAIN
CRAWL SPACE WALL R-VALUE	R-10/13	N/A EXISTING CRAWL SPACE	YES (B)	EXISTING TO REMAIN
SEC 101.4.3.3	EXISTING CAVITIES EXPOSED DURING CONSTRUCTION SHALL BE FILLED WITH INSULATION	EXISTING TO REMAIN	YES	IEBC 2009 ALTERATIONS LEVEL 2
SEC 101.4.3.4	CAVITY IS NOT EXPOSED DURING CONSTRUCTION	EXISTING TO REMAIN	YES	IEBC 2009 ALTERATIONS LEVEL 2

IRC 2015			
USE GROUP	SINGLE	FAMILY RESIDENCE	Yes
CONSTRUCTION TYPE	VB		Yes
FIRE RATINGS BETWEEN UNITS	1-HOUR	N/A	

(A) - YES PER SEC. 101.4.3.3
(B) - YES PER SEC. 101.4.3.4



A1 SITE PLAN
1" = 5'-0"

COBB AVE

DRAWING LIST

SHEET #	SHEET NAME
A0.1	SITE PLAN
A0.2	PHASE 1 AND 2 DEMO
A1.1	PHASE 1 RENOVATION
A1.2	PHASE 2 RENOVATION

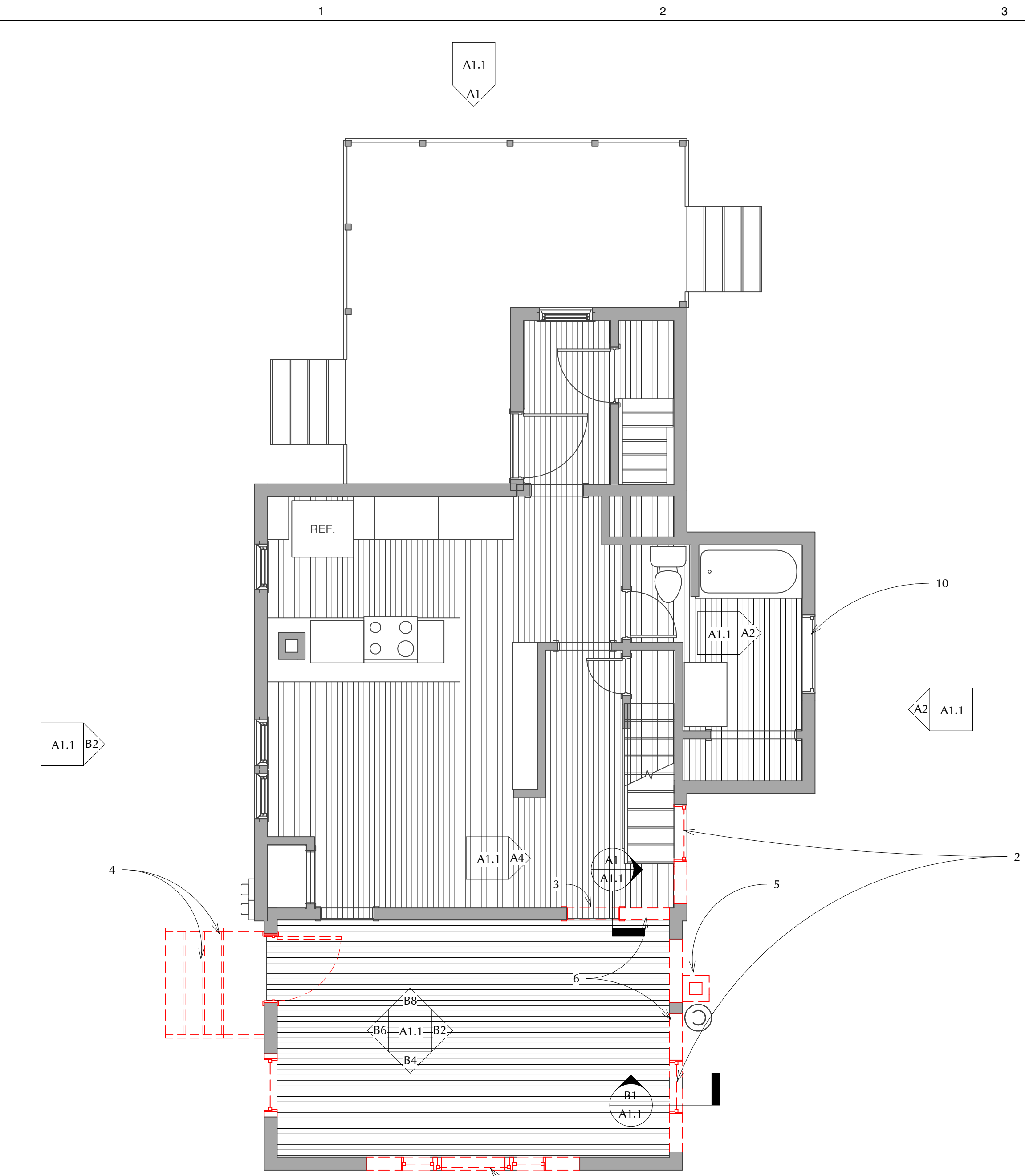
PERMIT SET

	Design Firm RESIDENTIAL DESIGN STUDIO, LLC Carol A. Morrissette Cheatum Street Lofts Portland, Maine 04102 T 207.699.4194 C 207.671.7965	Project Title 26 COBB AVE 26 Cobb Ave, Portland, Maine 04106	Sheet Status PERMIT SET	
	Revisions 1 2 3	Sheet Title SITE PLAN	Project Number 18.18	Date 07/03/2018
	Drawn By MBC	Sheet Scale 1" = 5'-0"	Sheet No. A0.1	CAD File Number

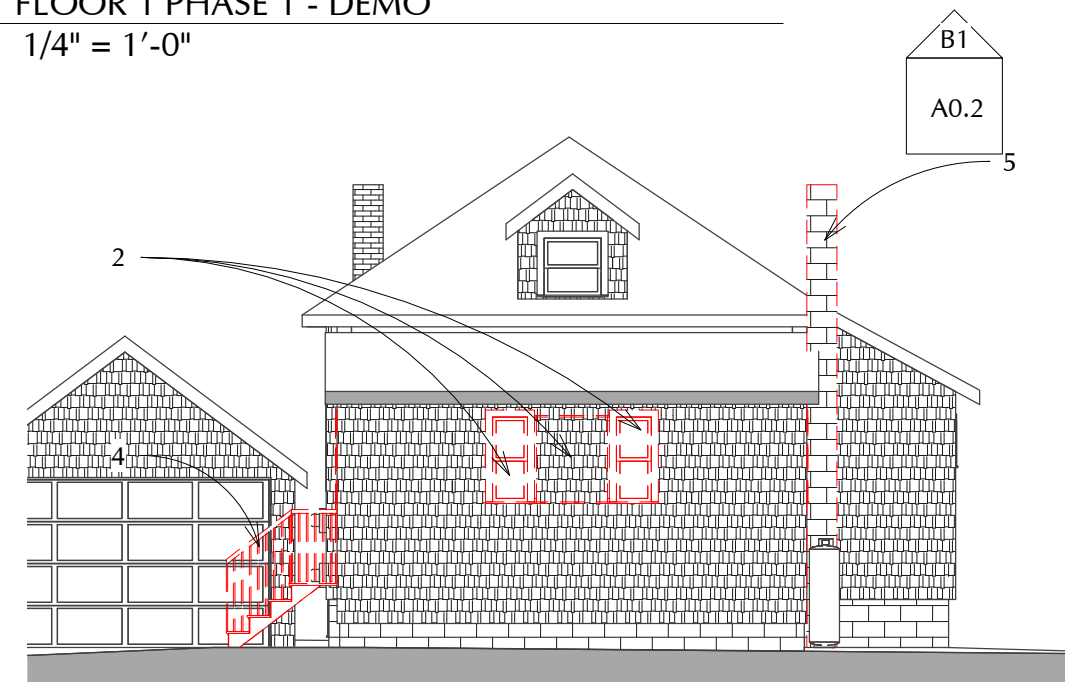


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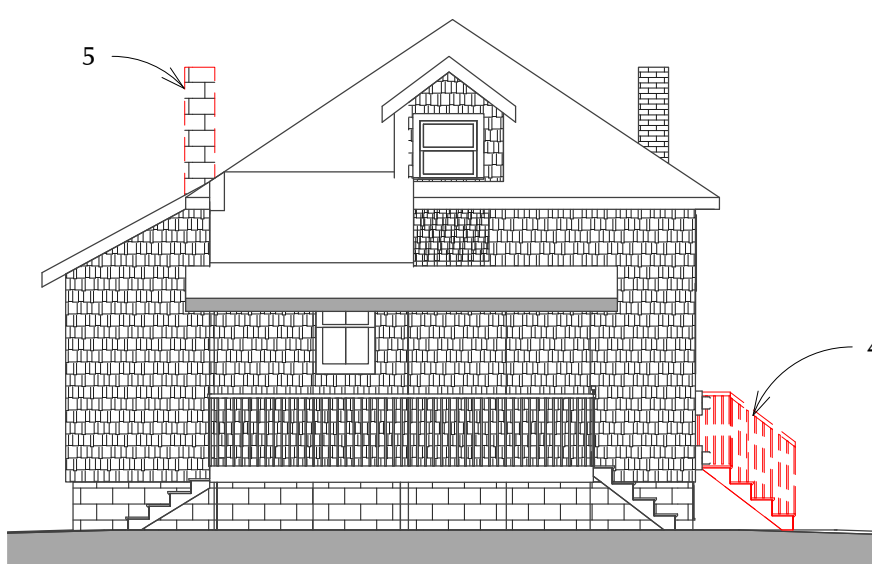
08/09/2018



C1 FLOOR 1 PHASE 1 - DEMO
1/4" = 1'-0"



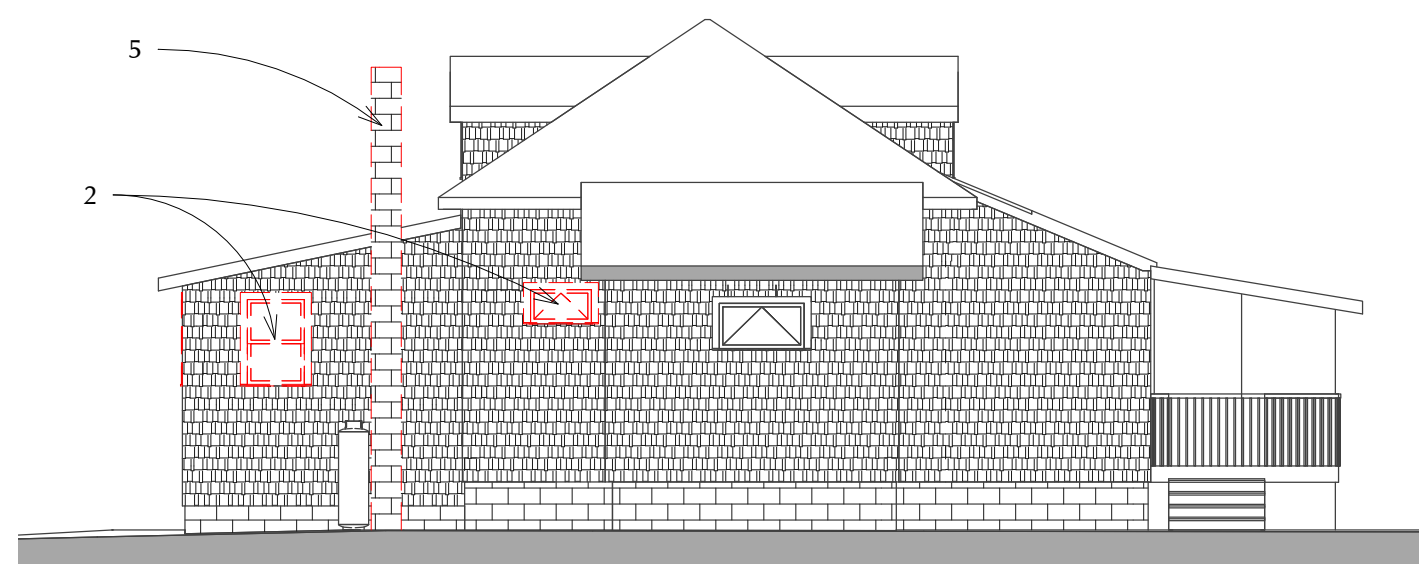
B1 FRONT-PHASE 1-DEMO
1/8" = 1'-0"



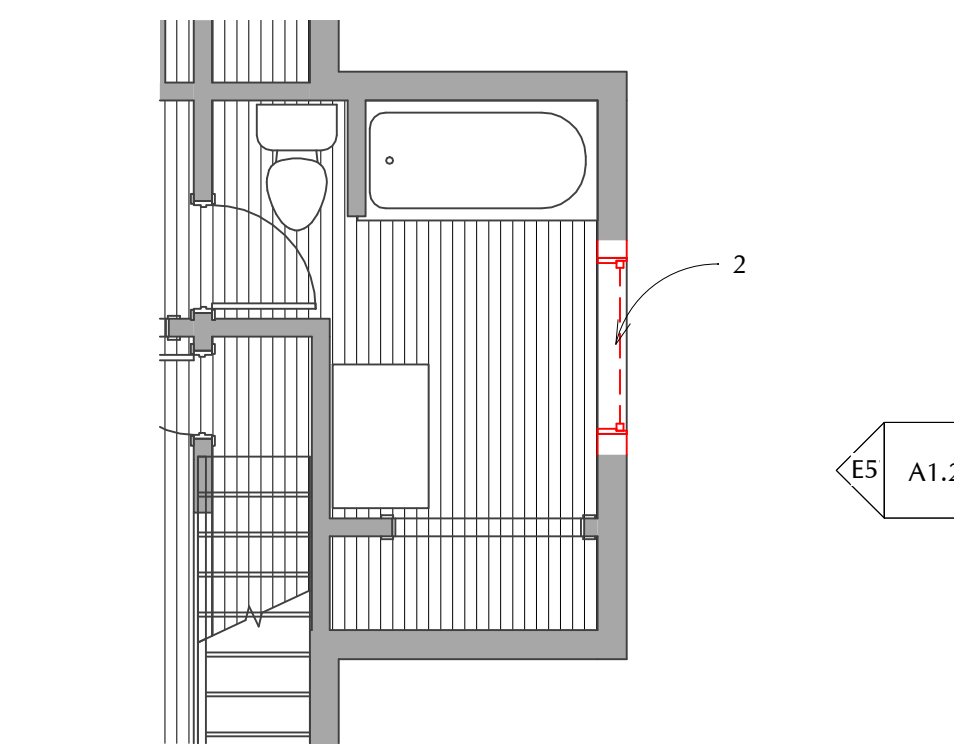
A1 REAR-PHASE 1- DEMO
1/8" = 1'-0"



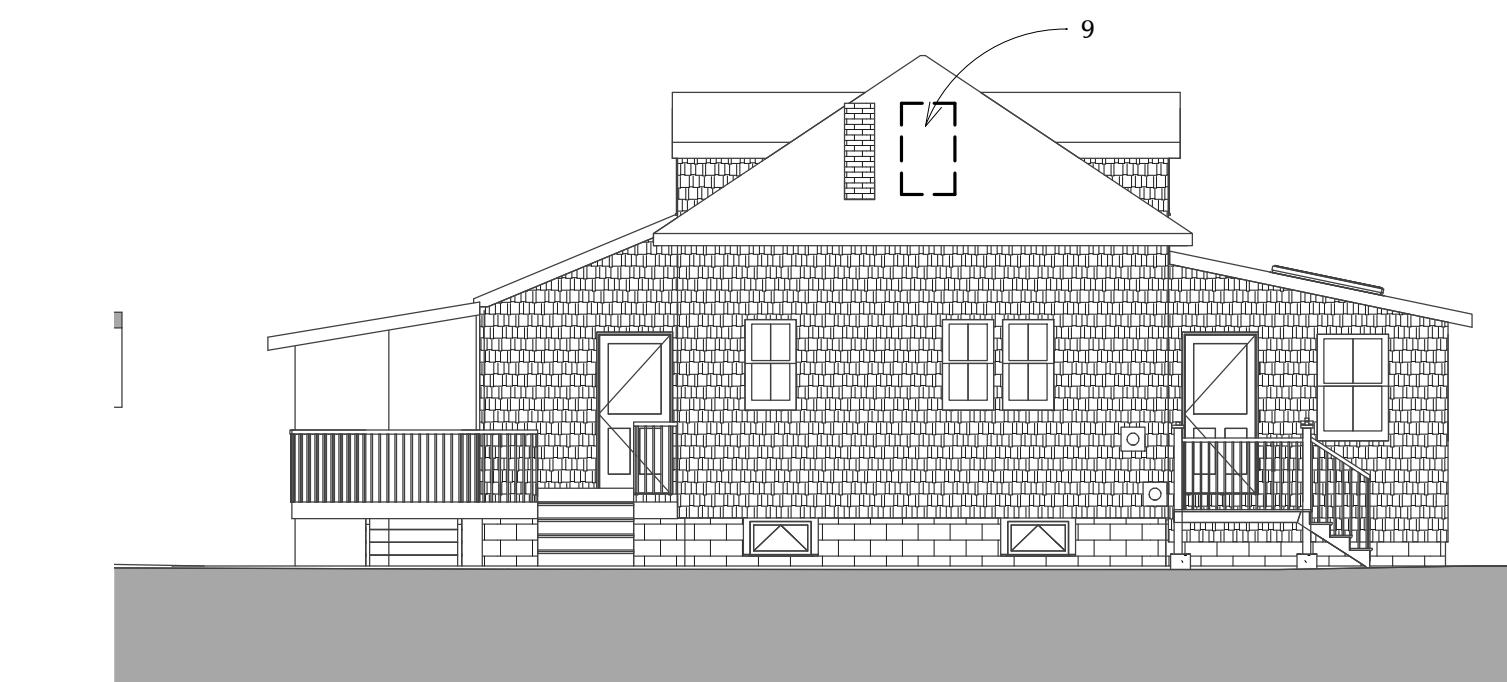
B2 LEFT - PHASE 1 - DEMO
1/8" = 1'-0"



A2 RIGHT-PHASE 1 - DEMO
1/8" = 1'-0"

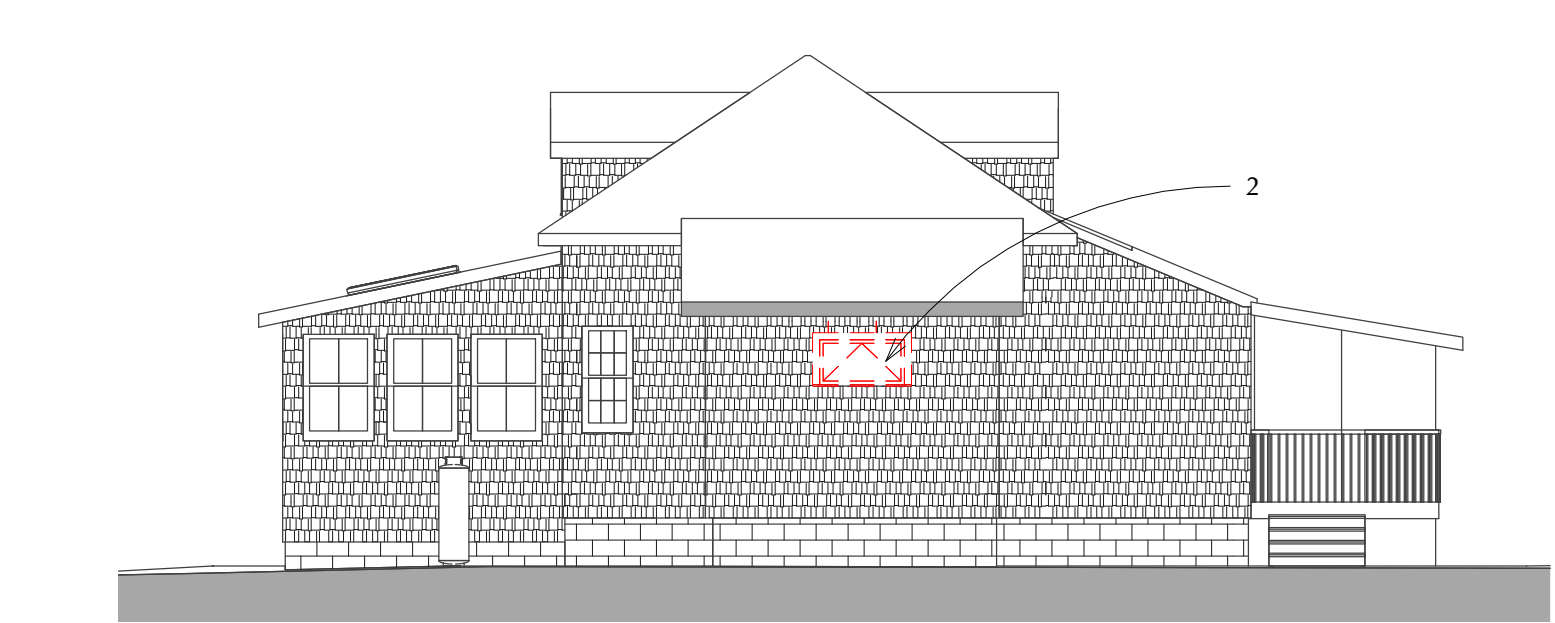
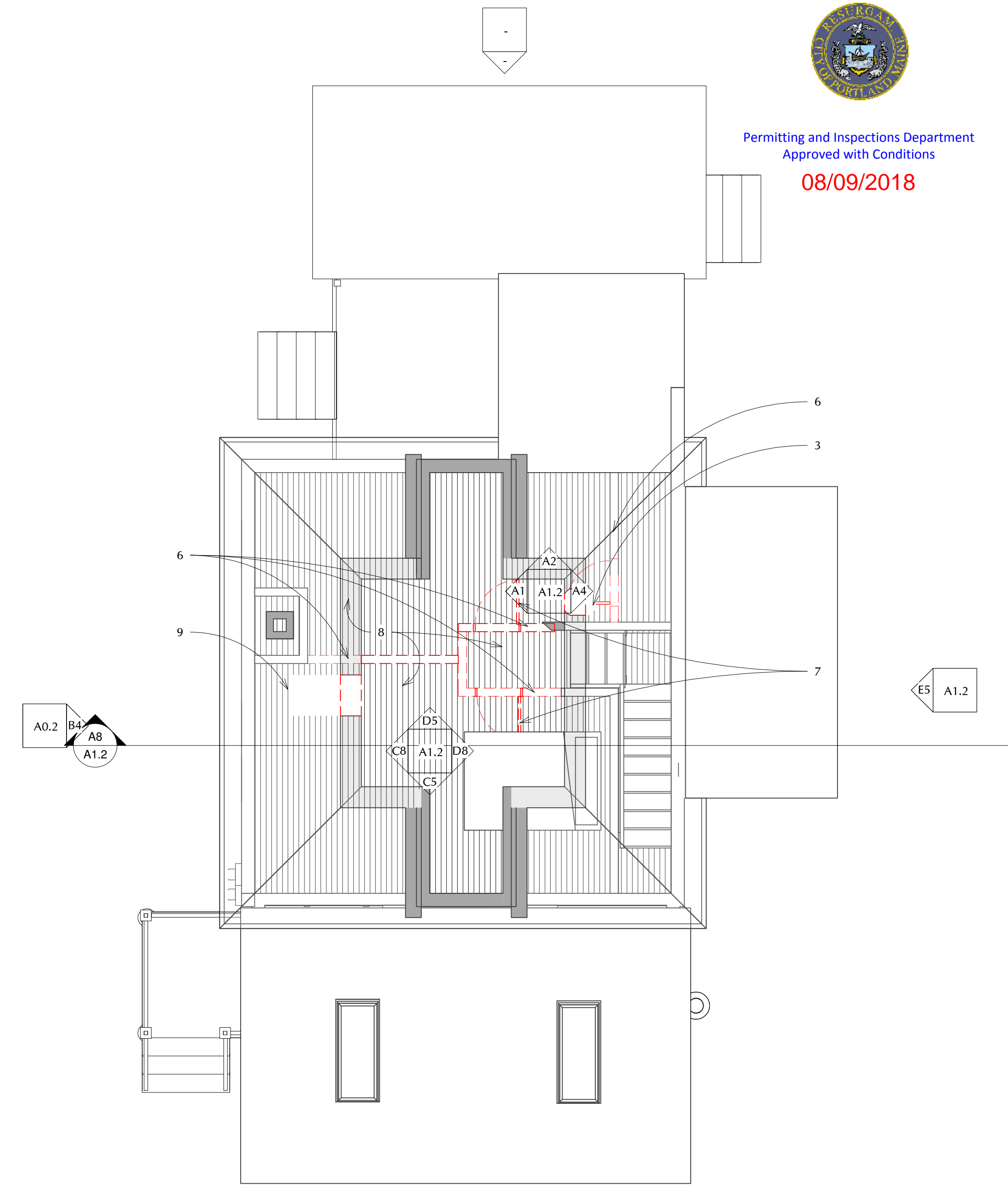


C5 FLOOR 1 PHASE 2 - DEMO
1/4" = 1'-0"



B4 LEFT -PHASE 2 - DEMO
1/8" = 1'-0"

C6 FLOOR 2 PHASE 2- DEMO
1/4" = 1'-0"





B7 RIGHT-PHASE 2 - DEMO
1/8" = 1'-0"

DEMO NOTES:

1. ALL DEMOLITION WILL BE SORTED AND RECYCLED WHEN POSSIBLE.
2. REMOVE EXISTING WINDOW
3. REMOVE EXISTING DOOR/OPENING
4. REMOVE EXISTING PRECAST STAIRS AND RAILING (-12 SF)
5. REMOVE EXISTING CMU CHIMNEY (-2 SF)
6. DEMOLISH WALL PORTION
7. REMOVE EXISTING 4 PANEL DOOR AND SALVAGE
8. REMOVE EXISTING CEILING PLASTER/GWB TO EXPOSE COLLAR TIES
9. REMOVE EXISTING ROOF WHERE NEEDED FOR NEW SKYLIGHT
10. REMOVE EXISTING WINDOW (ALTERNATE)

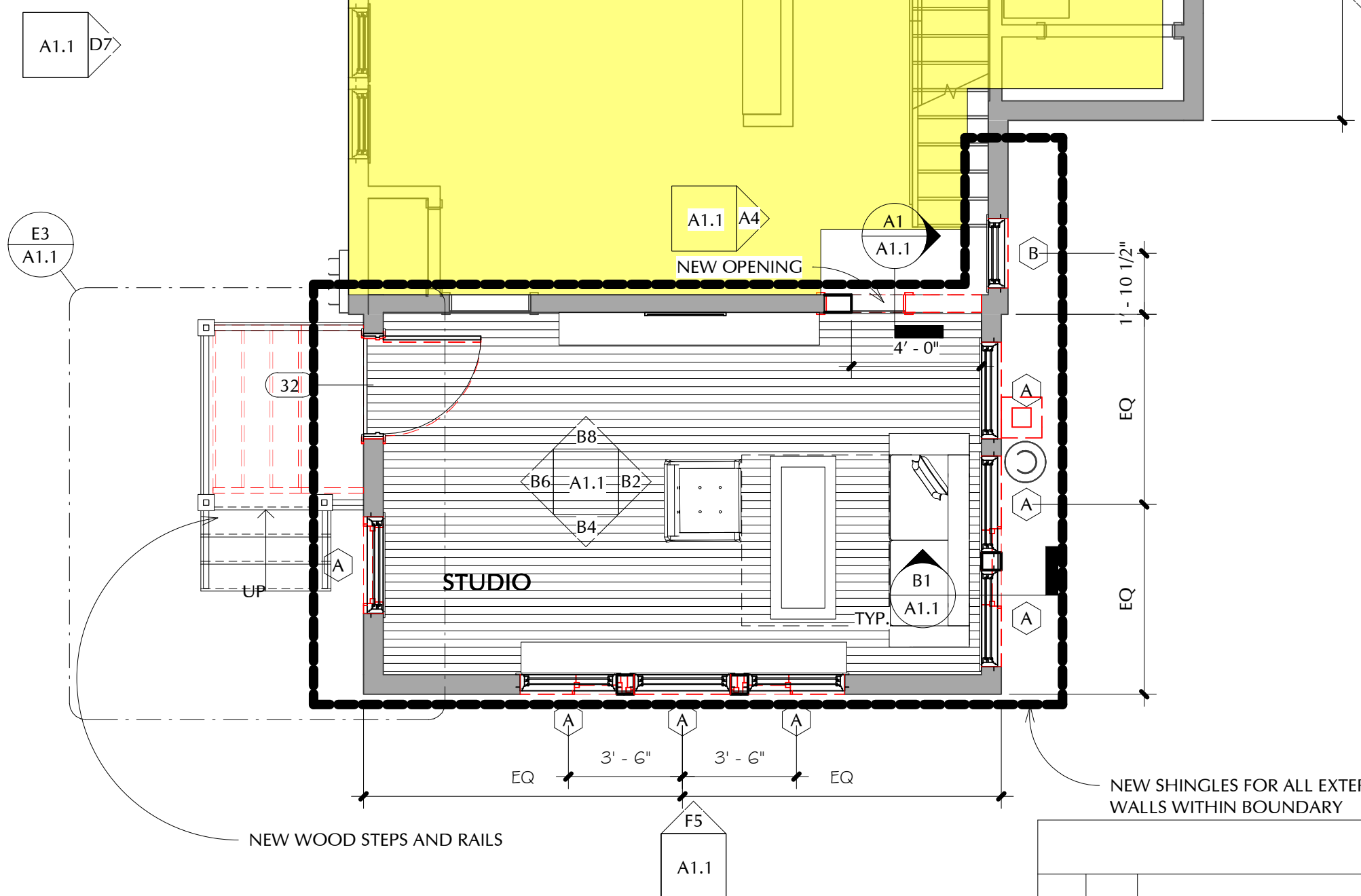
PERMIT SET

 <p>RESIDENTIAL DESIGN STUDIO</p>		Design Firm RESIDENTIAL DESIGN STUDIO, LLC Carol A. Morrisette Chestnut Street Lofts Portland, Maine 04102 T 207.699.4194 C 207.671.7965	Project Title 26 COBB AVE 26 Cobb Ave, Portland, Maine 04106	Sheet Status PERMIT SET
		Revisions 1 2 3	Project Number 18.18	Date 07/03/2018
		Drawn By MIBC	Sheet Scale As indicated	Sheet No. A0.2

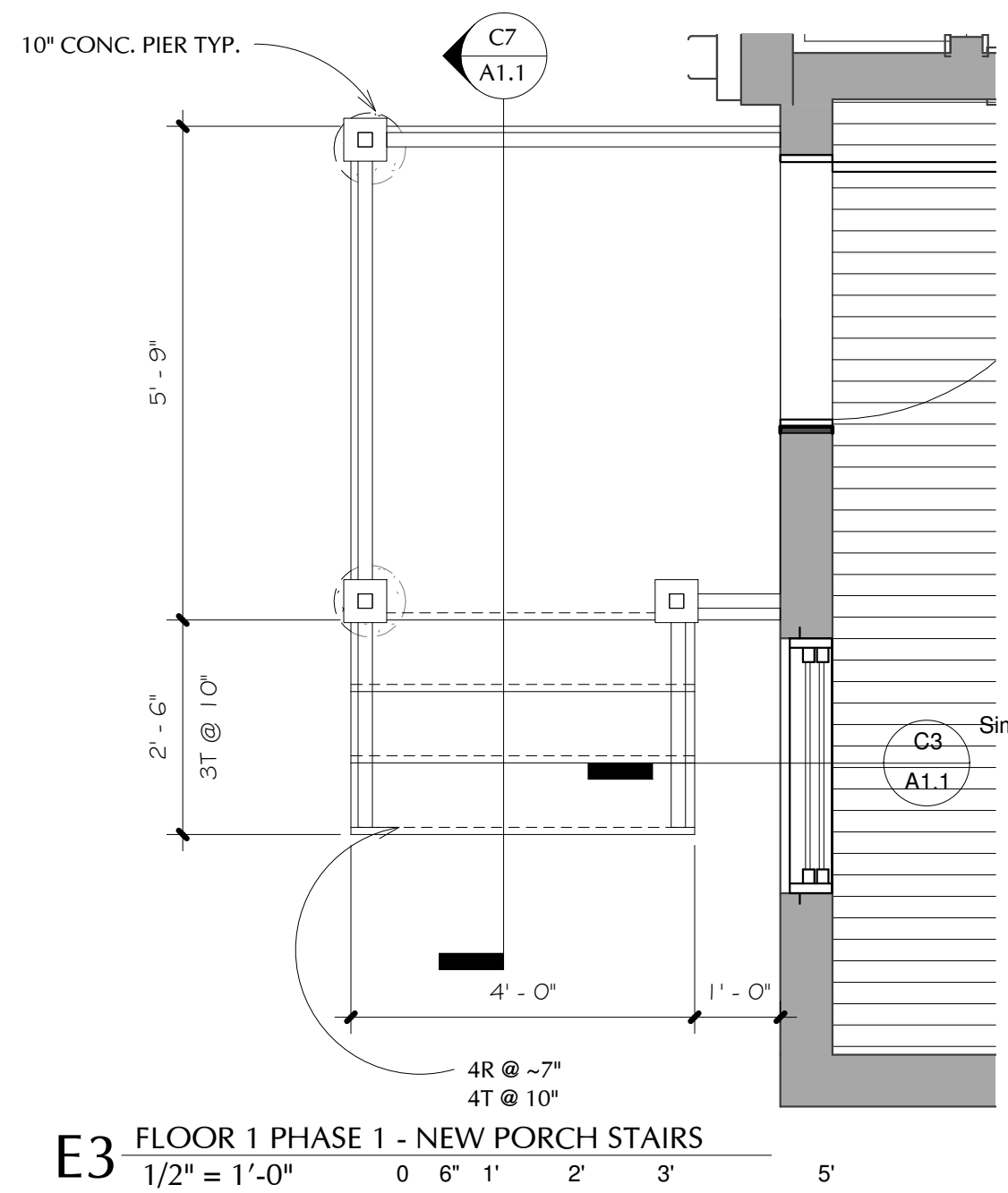


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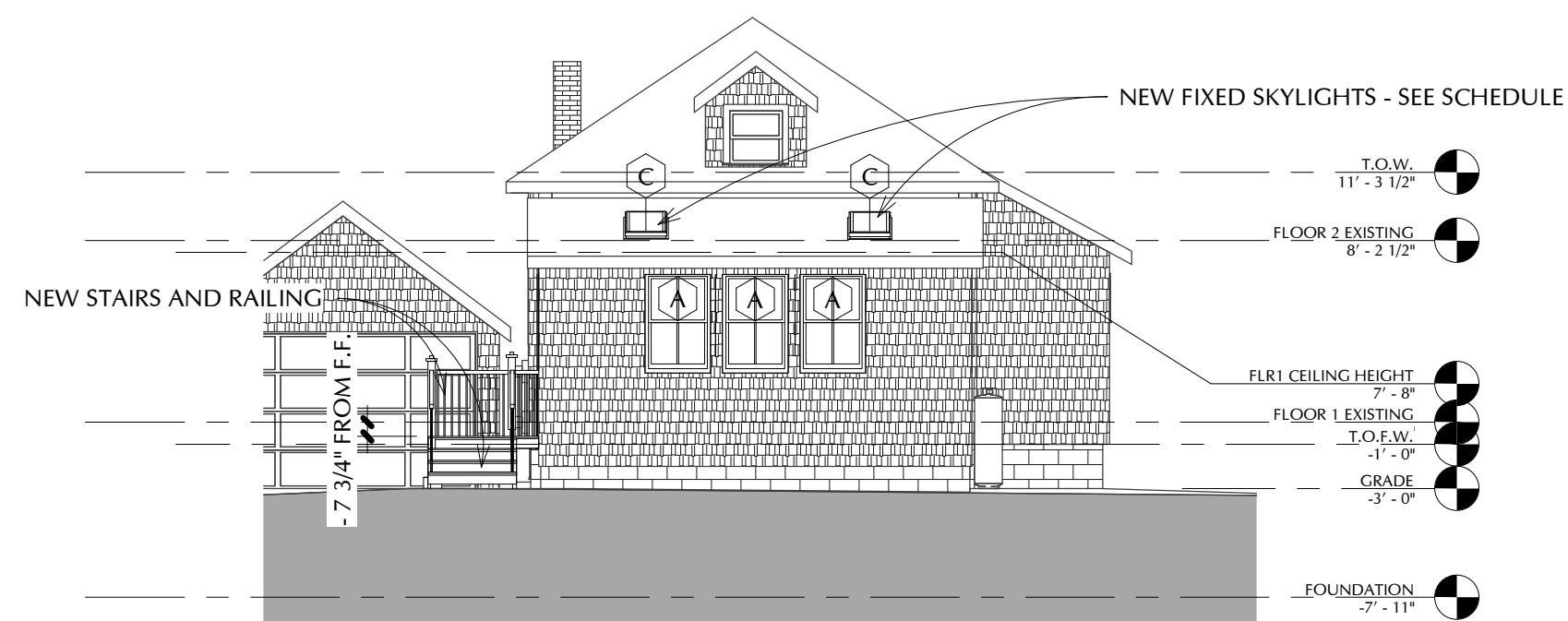
- DEMO
- EXISTING
- NEW / INFILL
- NO WORK



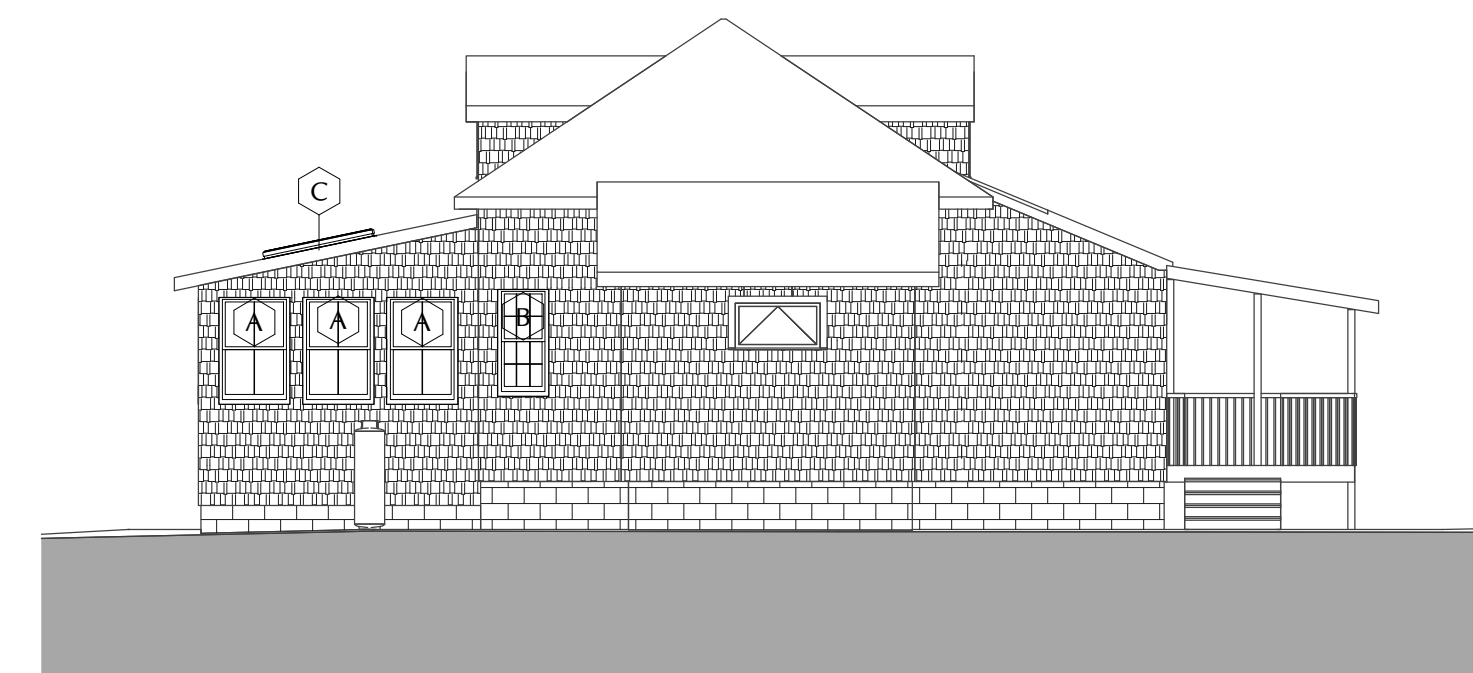
C1 FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"



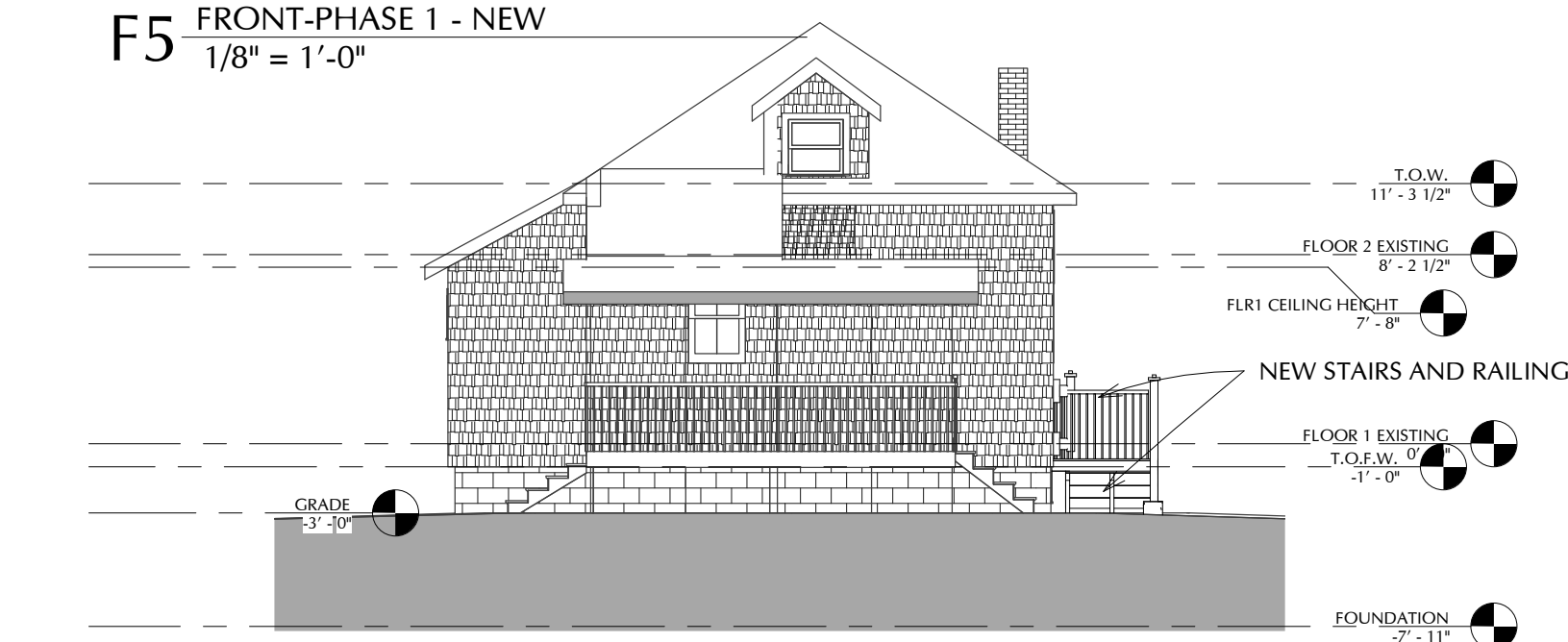
E3 FLOOR 1 PHASE 1 - NEW PORCH STAIRS
1/2" = 1'-0"



F5 FRONT-PHASE 1 - NEW
1/8" = 1'-0"



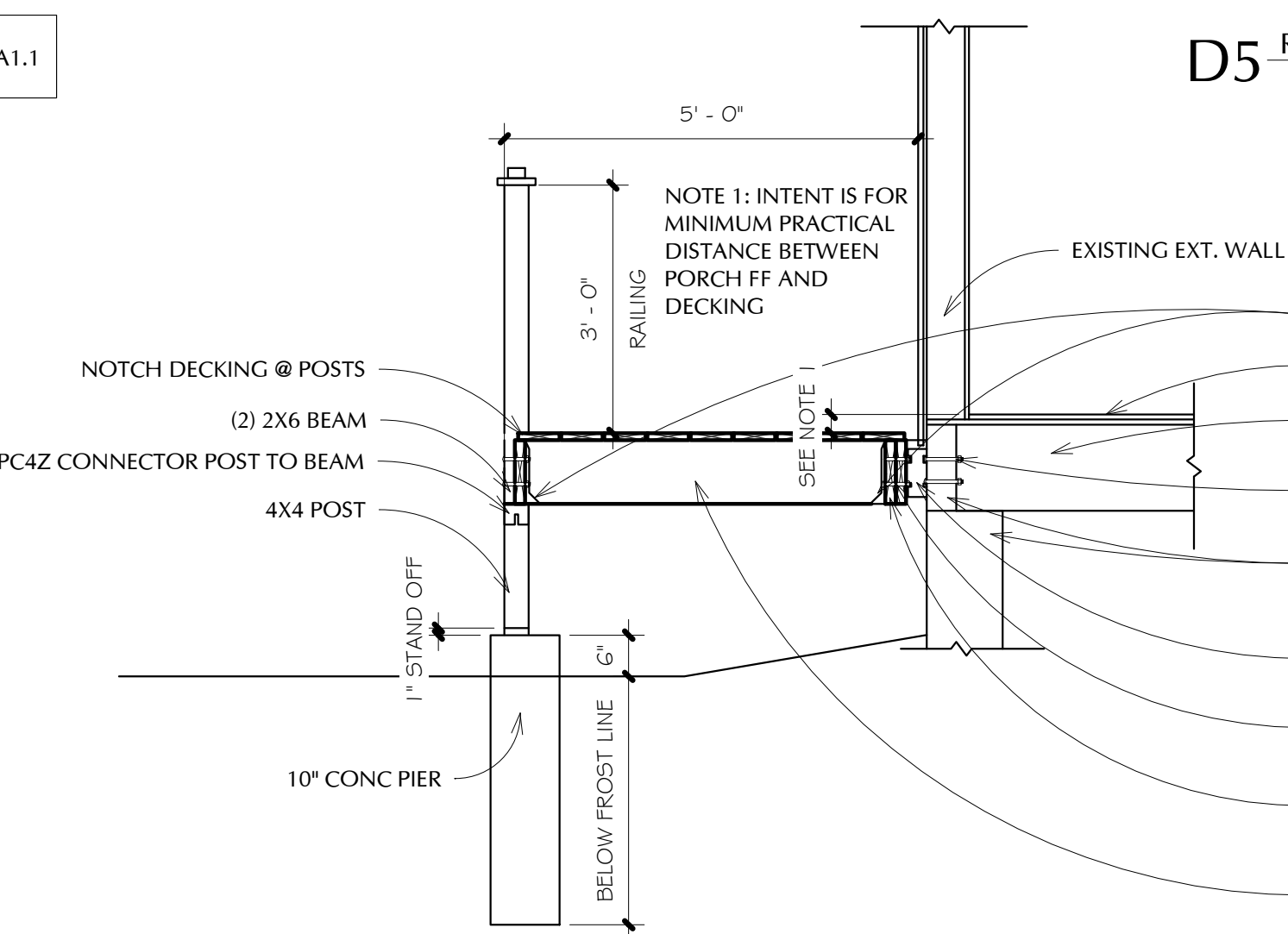
F7 RIGHT-PHASE 1 - NEW
1/8" = 1'-0"



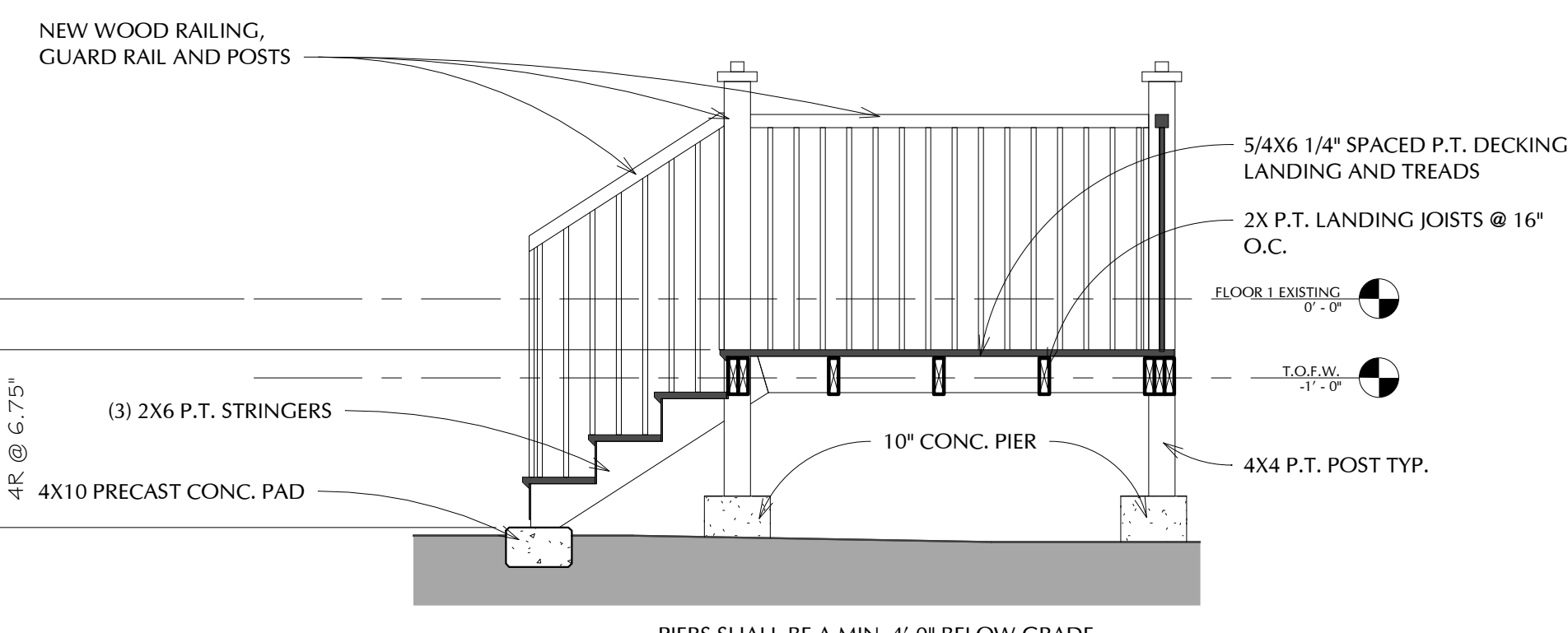
D5 REAR-PHASE 1 - NEW
1/8" = 1'-0"



D7 LEFT-PHASE 1 - NEW
1/8" = 1'-0"



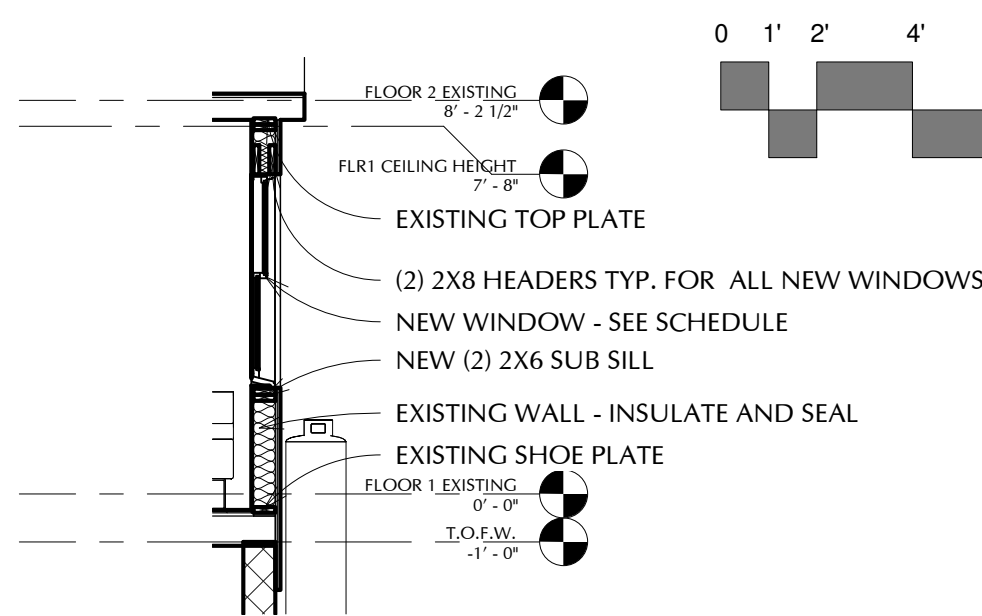
C3 DECK DETAIL
1/2" = 1'-0"



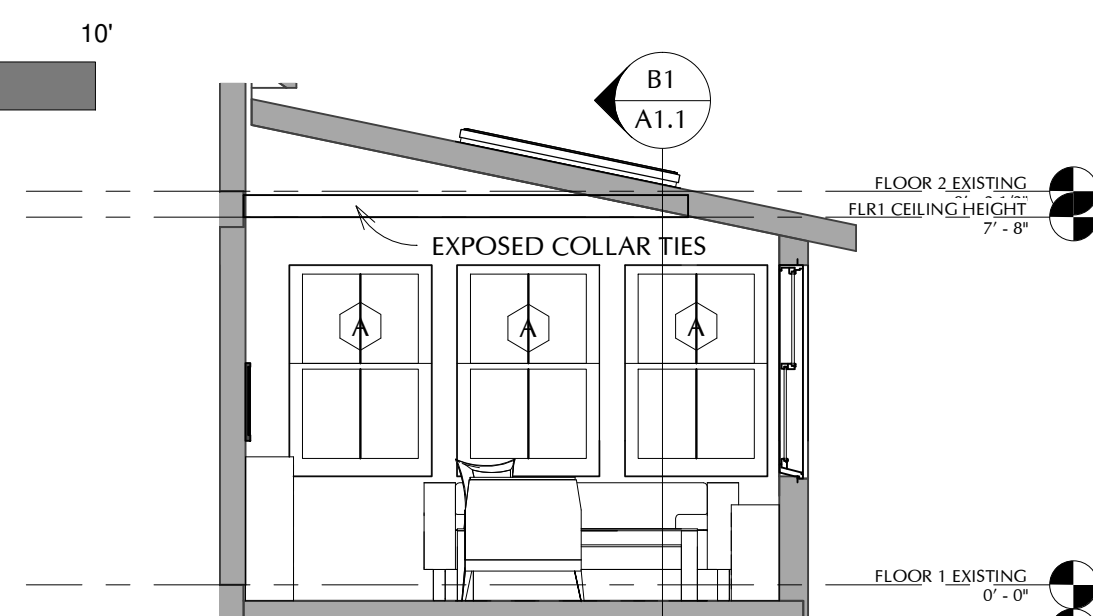
C7 STAIR SECTION
1/2" = 1'-0"

WINDOW SCHEDULE PHASE 1						
SYM	QTY	DESCRIPTION	R.O.		PHASE	HEADER SIZE
			Rough Width	Rough Height		
A	7	Window-Double_Hung-Andersen-400_Series-Tilt_Wash	3'-0 1/8"	4'-5 3/8"	PHASE 1	Andersen Corporation 2-2X8
B	1	Window-Double_Hung-Andersen-400_Series-Tilt_Wash	2'-2 1/8"	4'-5 3/8"	PHASE 1	Andersen Corporation 2-2X8
C	2	Window-skyllight-VELUX_FS-deck_mounted-fixed	1'-9"	4'-6 7/16"	PHASE 1	VELUX MATCH HEADER DEPTH TO RAFTER DEPTH

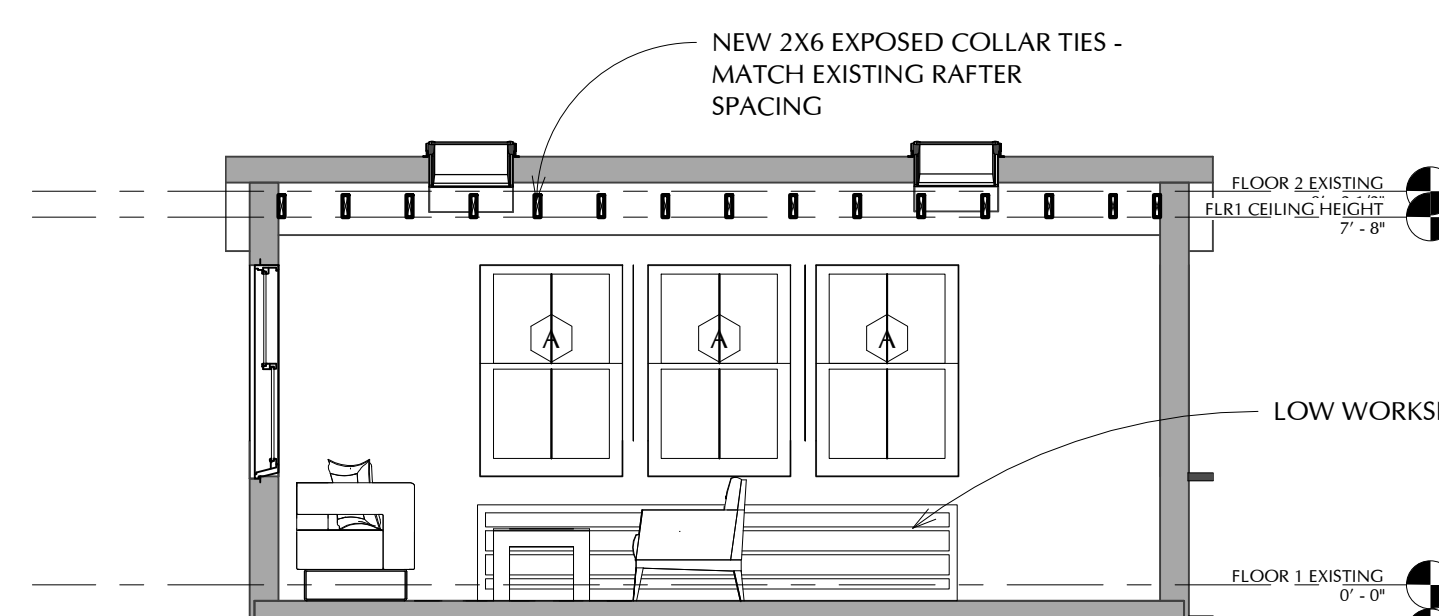
DOOR SCHEDULE PHASE 1				
SYM	DESCRIPTION	SIZE		PHASE
		WIDTH	HEIGHT	
32	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad: 36" x 80"	3'-0"	6'-8"	PHASE 1



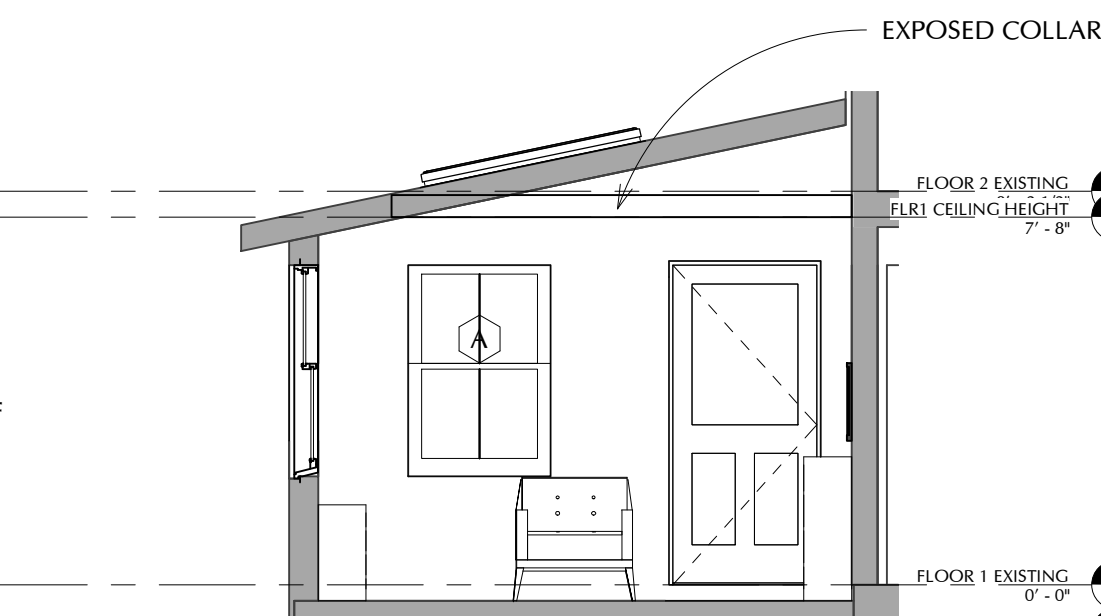
B1 NEW WINDOW DETAIL TYP.
1/4" = 1'-0"



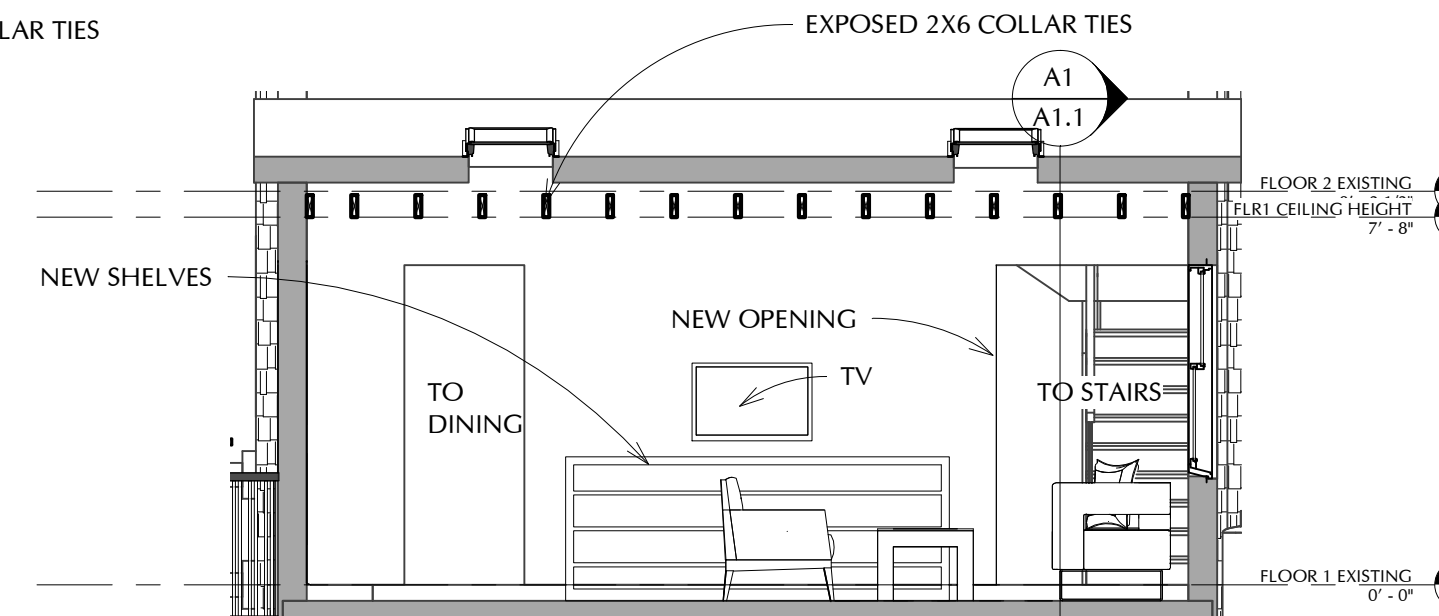
B2 LIVING ROOM
1/4" = 1'-0"



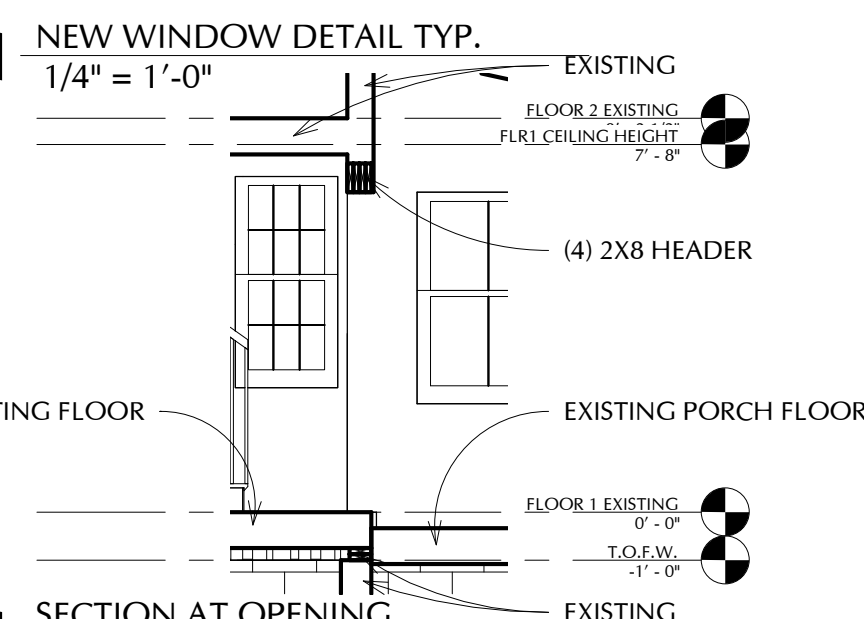
B4 LIVING ROOM
1/4" = 1'-0"



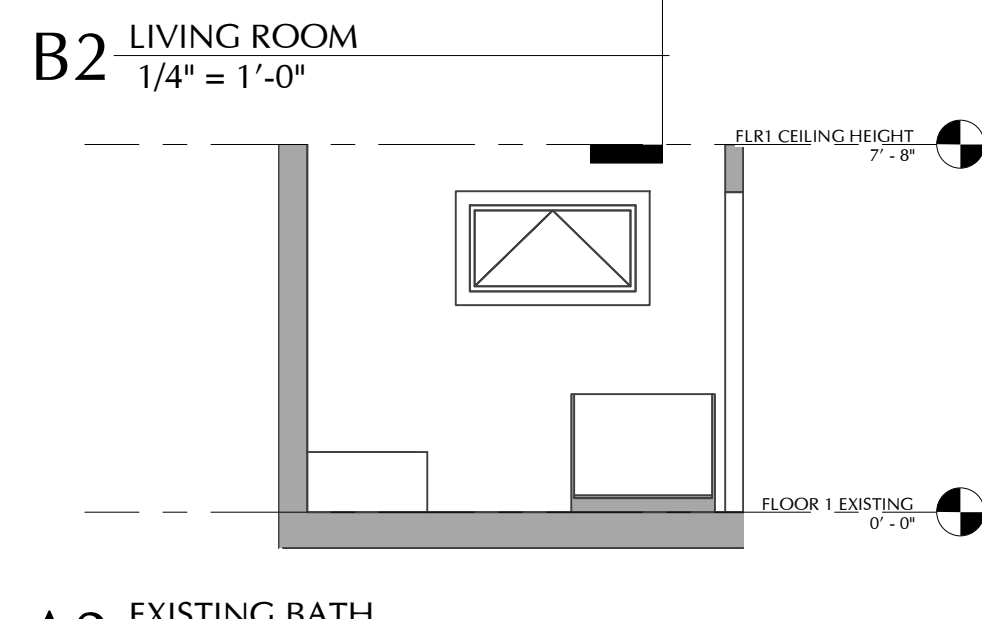
B6 LIVING ROOM
1/4" = 1'-0"



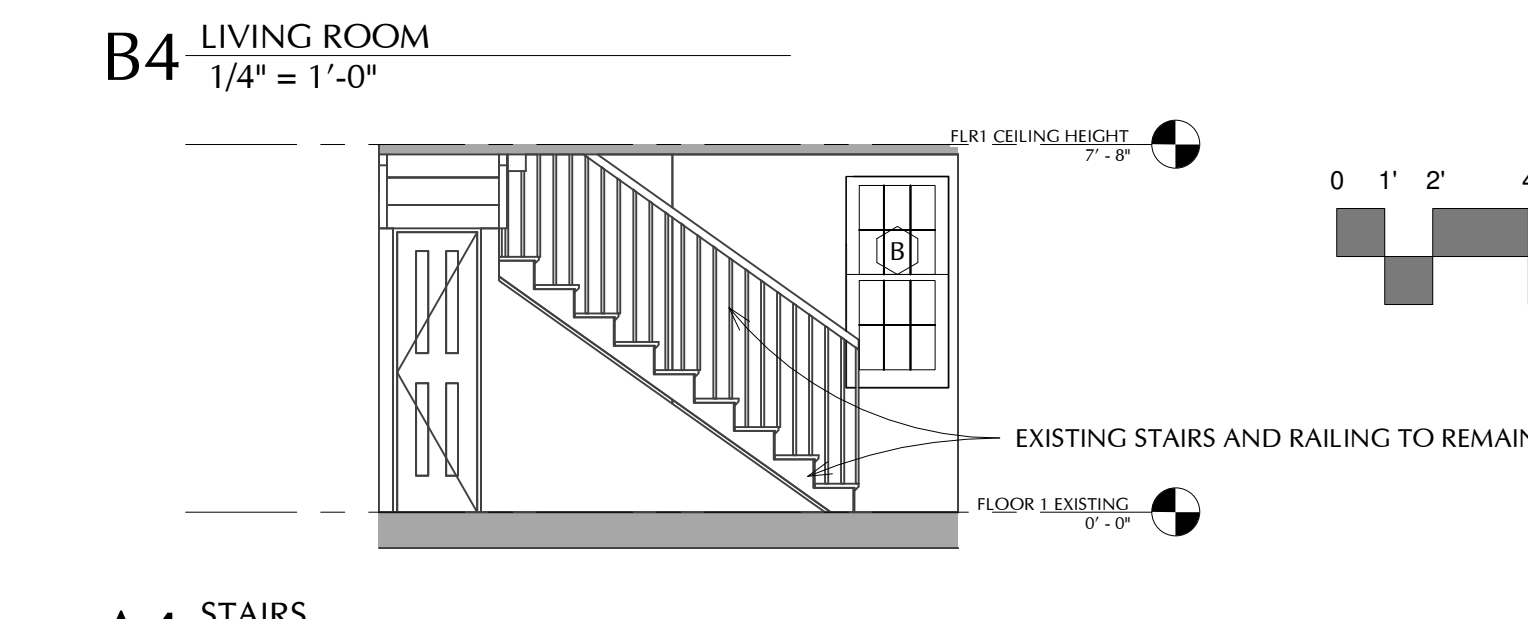
B8 LR4
1/4" = 1'-0"



A1 SECTION AT OPENING
1/4" = 1'-0"



A2 EXISTING BATH
1/4" = 1'-0"



A4 STAIRS
1/4" = 1'-0"

PERMIT SET



Design Firm
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Project Title
26 COBB AVE
26 Cobb Ave, Portland, Maine
04106

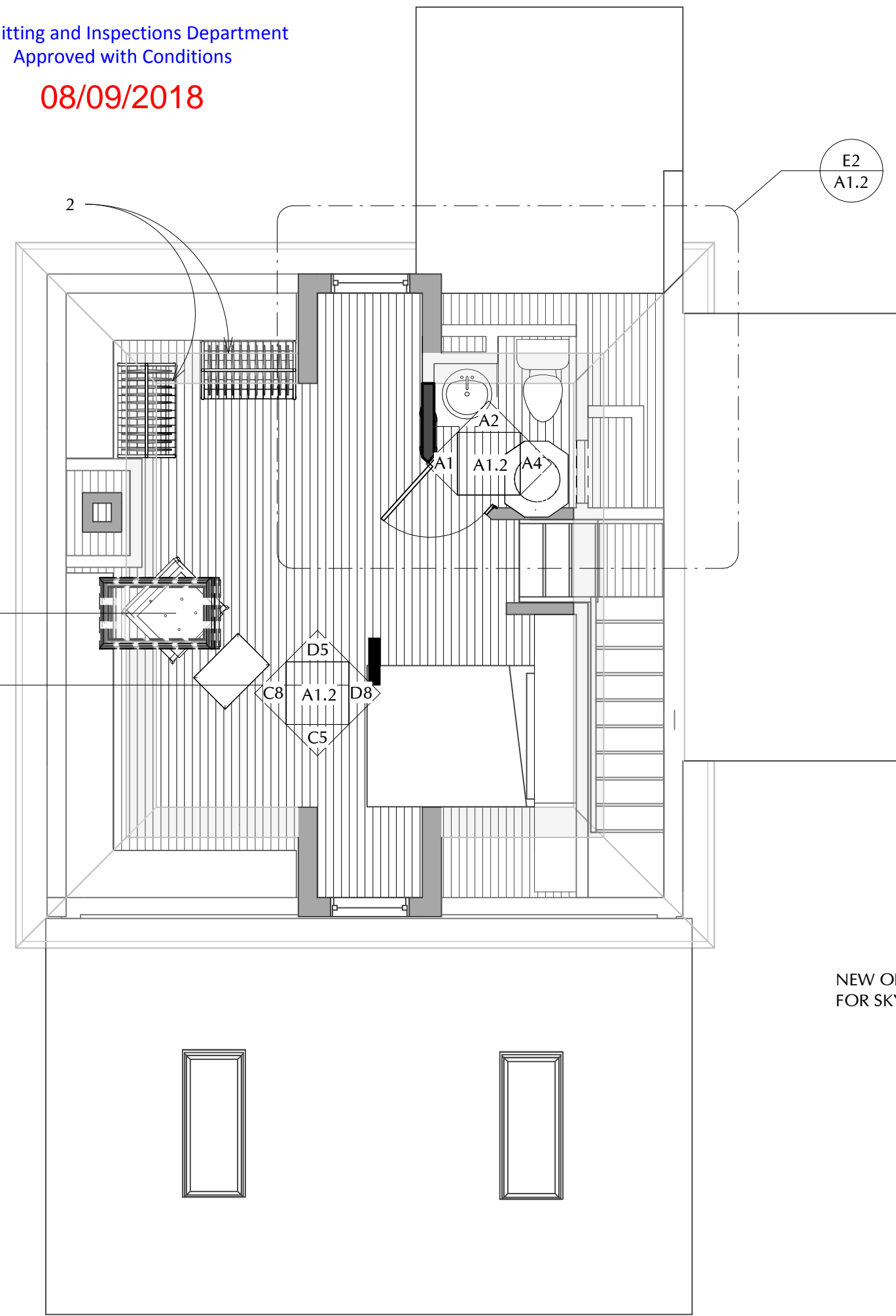
Sheet Title
PHASE 1 RENOVATION

Sheet Status
PERMIT SET

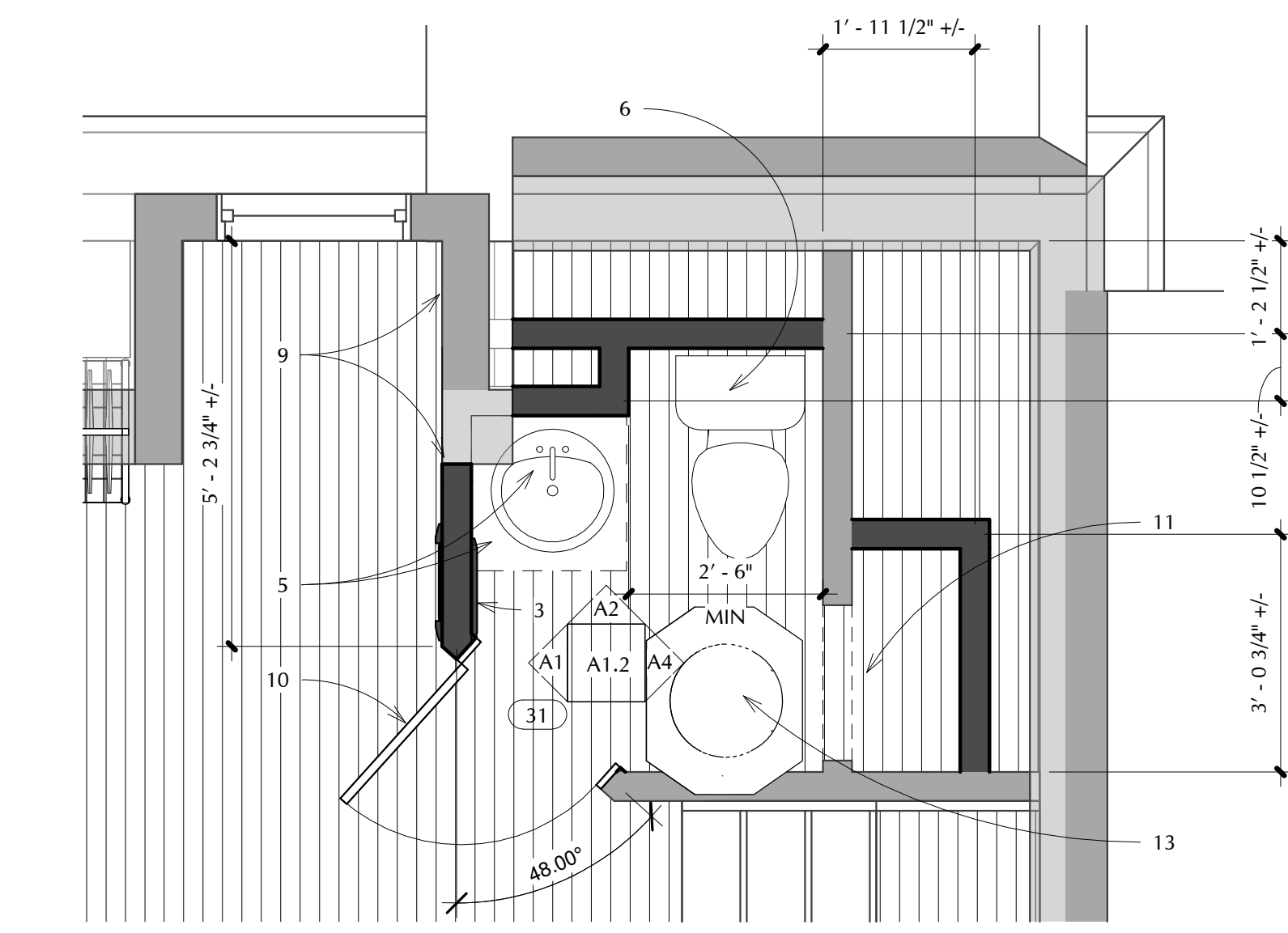
Project Number 18.18	Date 07/03/2018
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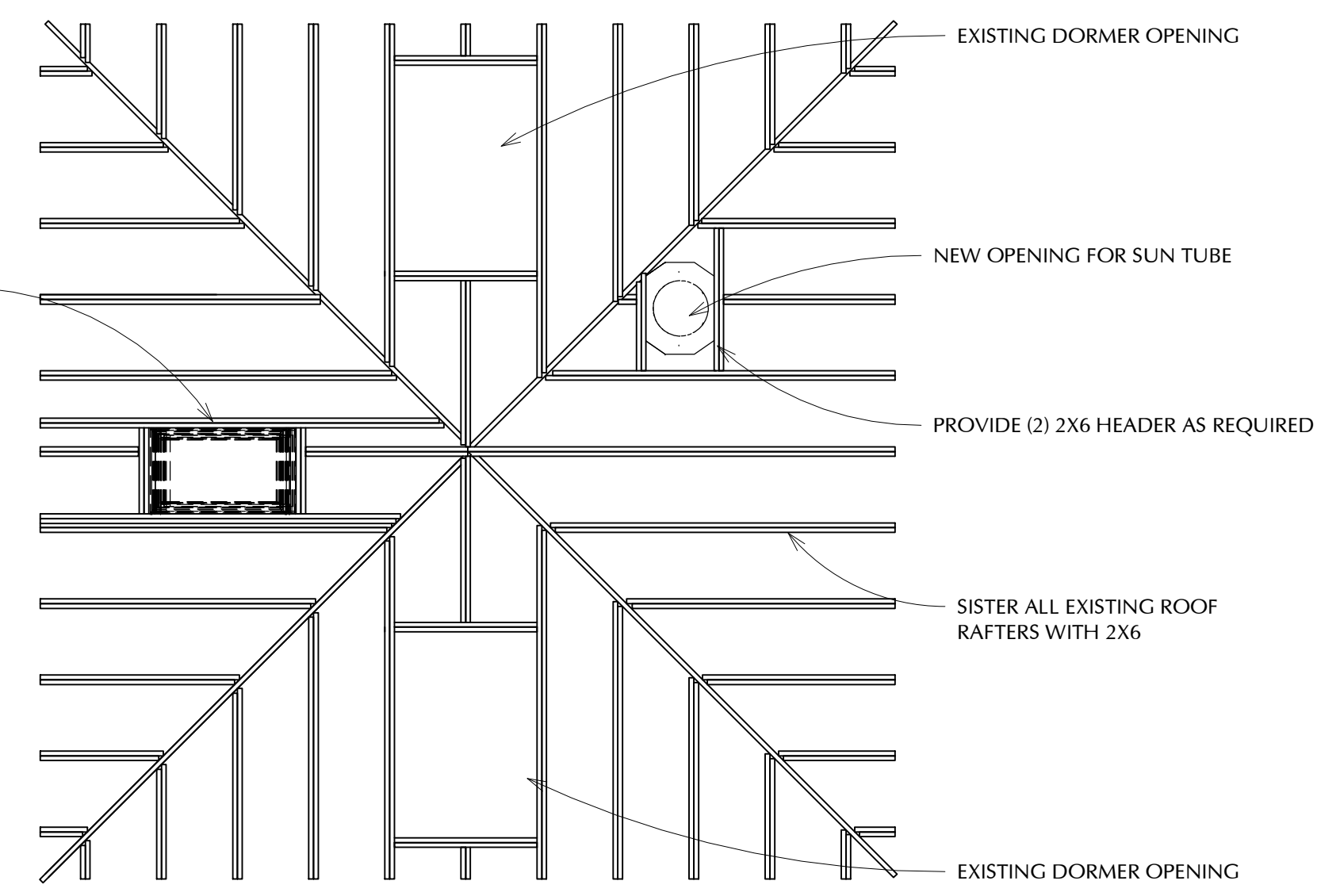
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C1 SECOND FLOOR PLAN
1/4" = 1'-0"

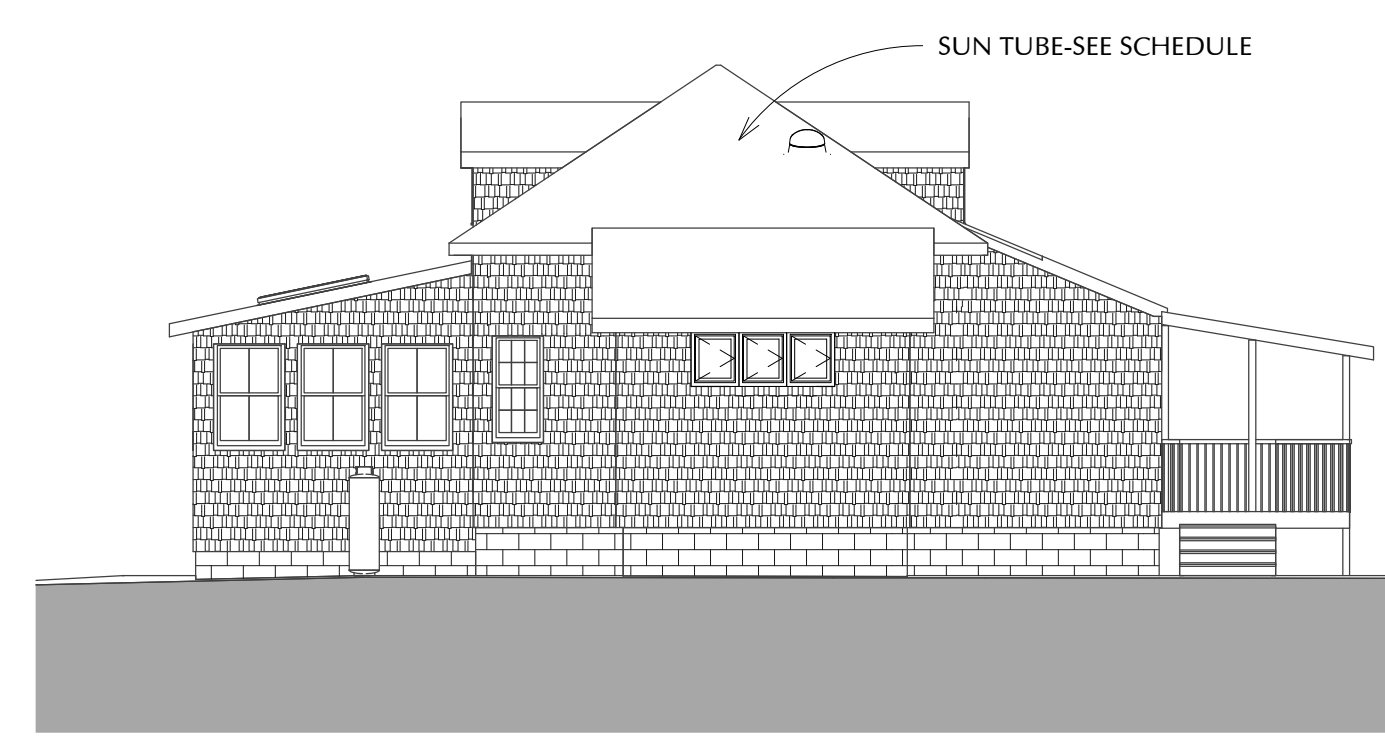


E2 NEW SECOND FLOOR BATH
1/2" = 1'-0"

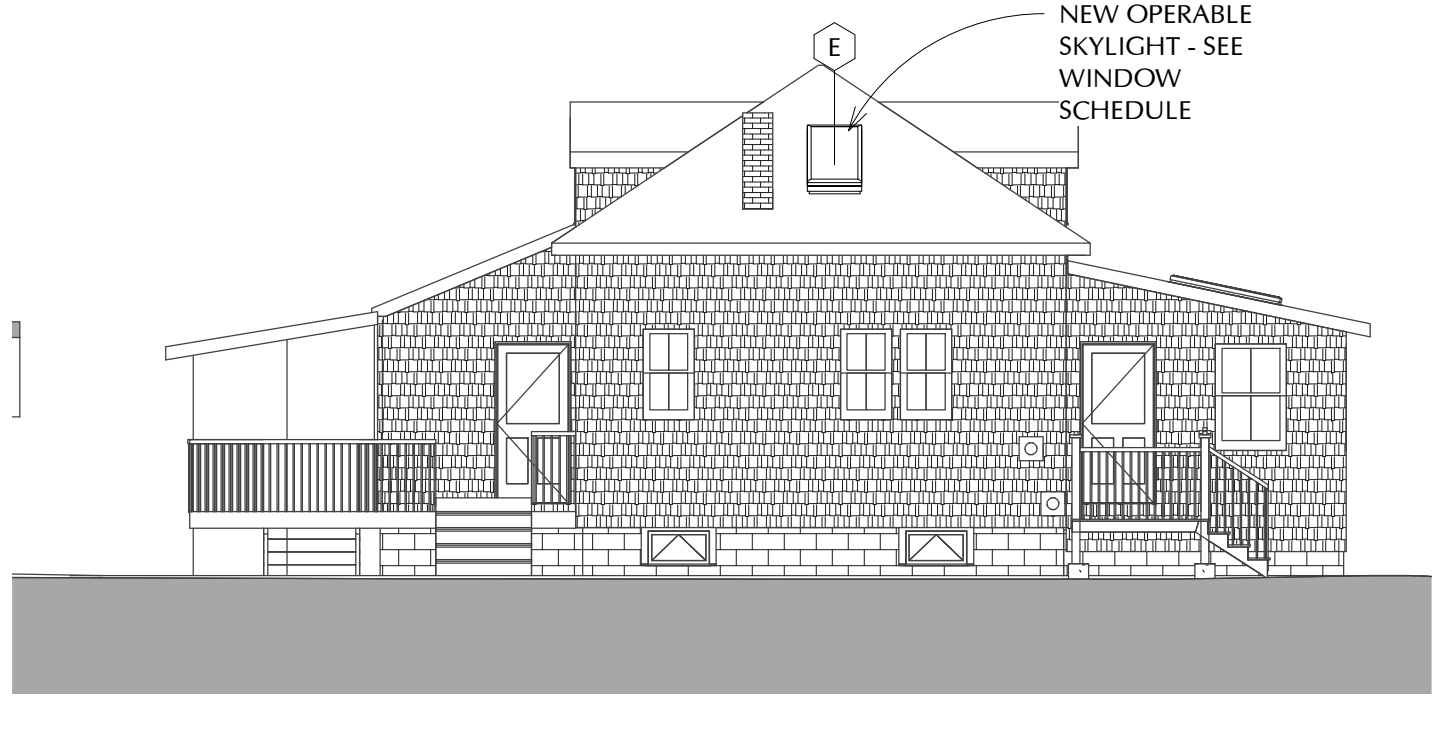


C2 ROOF FRAMING DIAGRAM
DO NOT SCALE

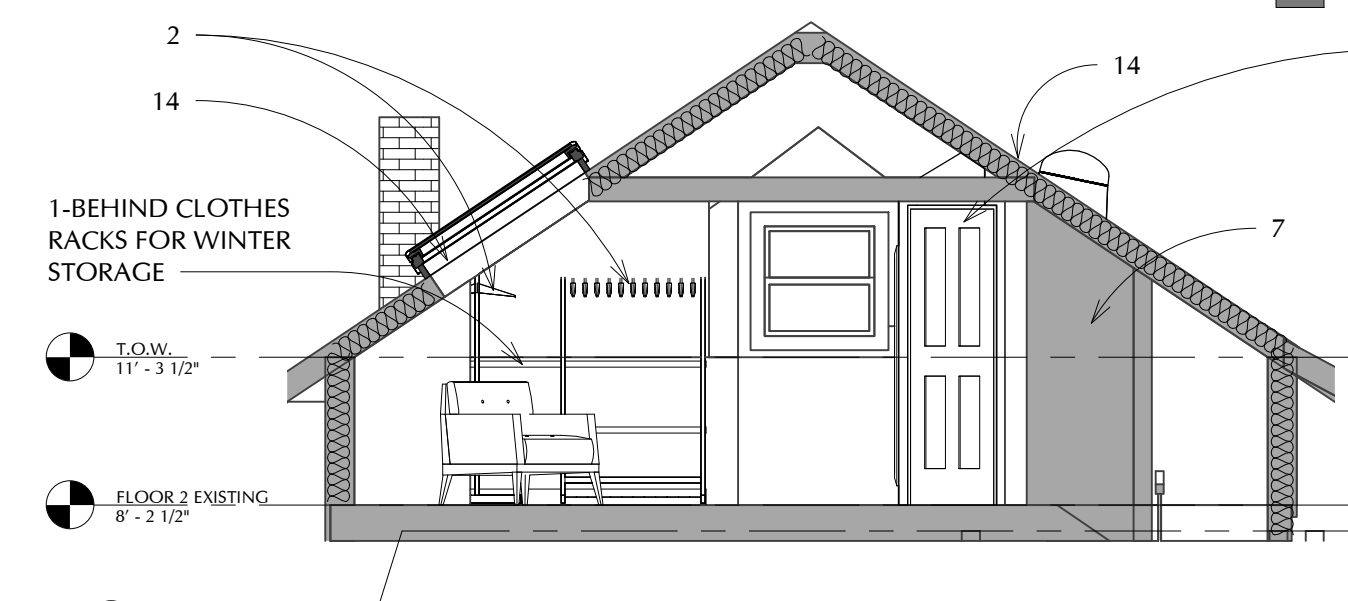
NOTE: RAFTER LAYOUT IS ASSUMED. NOTIFY ARCHITECT IF FIELD CONDITIONS VARY UPON DEMO/REMOVAL OF CEILING PLASTER



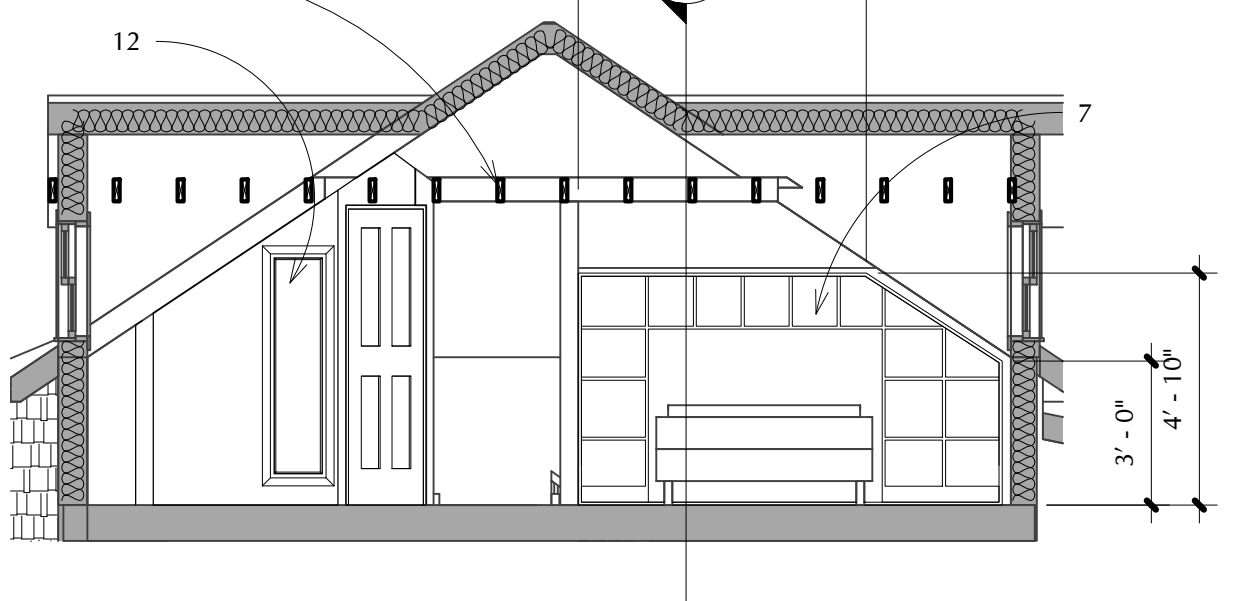
E5 RIGHT-PHASE 2 - NEW
1/8" = 1'-0"



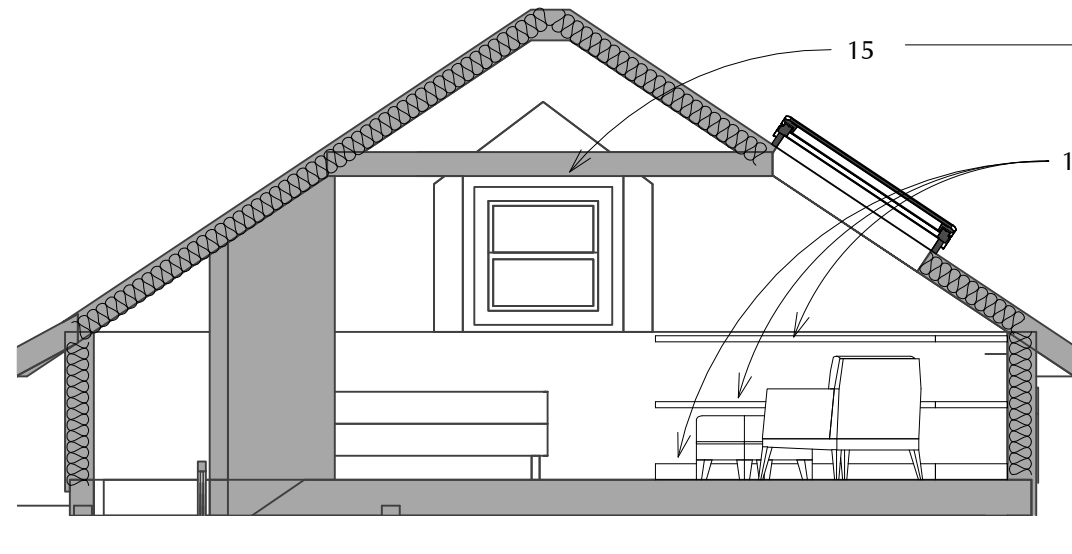
E7 LEFT-PHASE 2 - NEW
1/8" = 1'-0"



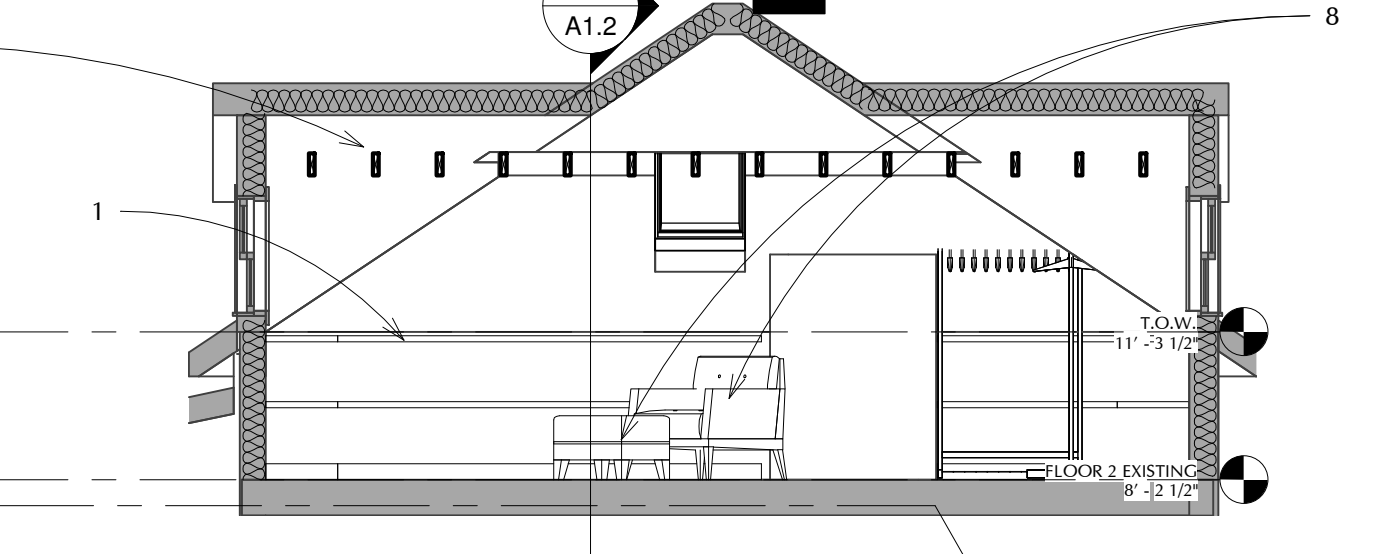
D5 MASTER BEDROOM
1/4" = 1'-0"



D8 MASTER BEDROOM
1/4" = 1'-0"



C5 MASTER BEDROOM
1/4" = 1'-0"



C8 MASTER BEDROOM
1/4" = 1'-0"

NOTES:

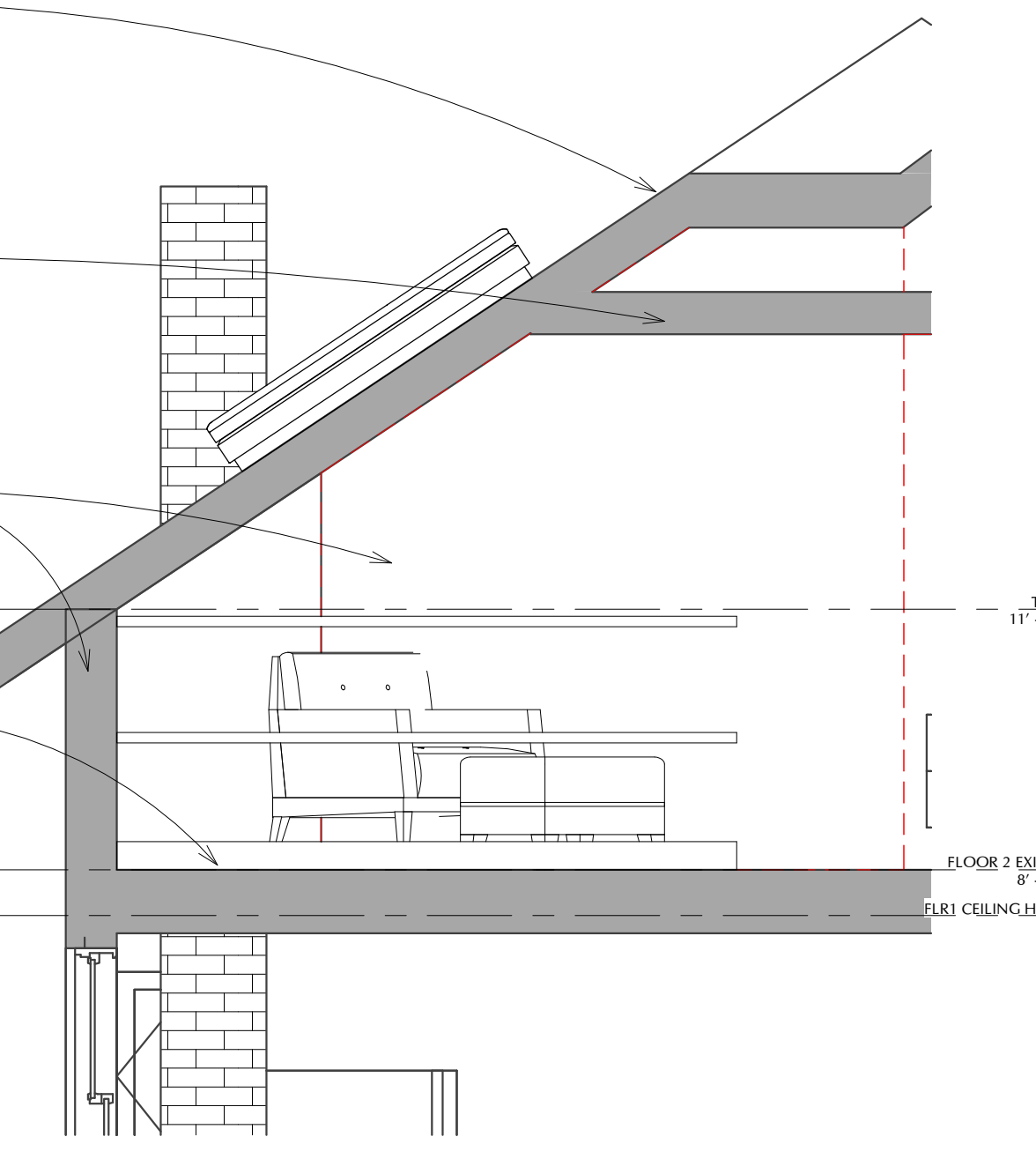
- ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR IN FIELD
- 1. CUSTOM 18" SHELVES
- 2. NEW HANGING RACKS (BY OWNER)
- 3. NEW MIRROR AND COSMETIC WALL SCONCE
- 4. CUSTOM BUILT STORAGE SHELVING
- 5. NEW VANITY AND LAVATORY
- 6. NEW TOILET
- 7. CUSTOM HEADBOARD STORAGE
- 8. NEW SEAT AND OTTOMAN (BY OWNER)
- 9. ALIGN NEW WALL WITH EXISTING WALL ON ARROW SIDE
- 10. NEW DOOR - REUSE DEMOLISHED DOOR OR MATCH EXISTING 4 PANEL DOORS
- 11. NEW LINEN SHELVING BUILT-IN TO EXISTING KNEE WALL
- 12. NEW FULL LENGTH WALL MOUNTED MIRROR
- 13. NEW SOLAR TUBE - SEE WINDOW SCHEDULE
- 14. NEW SHINGLES W/ ICE AND WATER SHIELD 3'-0" FROM EAVE, RAKES AND HIPS; EXISTING SHEATHING; EXISTING 2X6 RAFTERS NOW SISTERED WITH 2X6 RAFTERS; SPRAY FOAM INSULATION TO FILL CAVITY; 5/8" GWB; PAINT
- 15. EXPOSED EXISTING COLLAR TIES TO BE PAINTED

TYPICAL ROOF NOTES:
SISTER EXISTING RAFTERS WITH 2X6 RAFTERS 1/2" PNT GWB NEW ASPHALT SHINGLES ICE AND WATER SHILED FROM ROOF EDGE TO 3'0" MIN. AND AT ALL CURBS, HIPS AND VALLEYS FILL CAVITIES BETWEEN RAFTERS WITH FOAMED INSULATION. ***SISTER AND ADD RAFTERS FOR MAX. SPACING OF 12" OC - TYPICAL ***

TYPICAL SECOND FLOOR CEILING NOTES:
REMOVE EXISTING GWB OR PLASTER TO REVEAL COLLAR TIES. PAINT EXPOSED COLLAR TIES

TYPICAL SECOND FLOOR WALL NOTES:
REMOVE EXISTING GWB OR PLASTER. INSTALL NEW GWB, MUD, TAPE AND PAINT. FILL WALL CAVITIES WITH FOAMED INSULATION (R-21 MIN.)

TYPICAL SECOND FLOOR NOTES:
SAND AND REFINISH EXISTING WOOD FLOORS



A8 TYPICAL 2ND FLOOR SECTION & NOTES
1/2" = 1'-0"

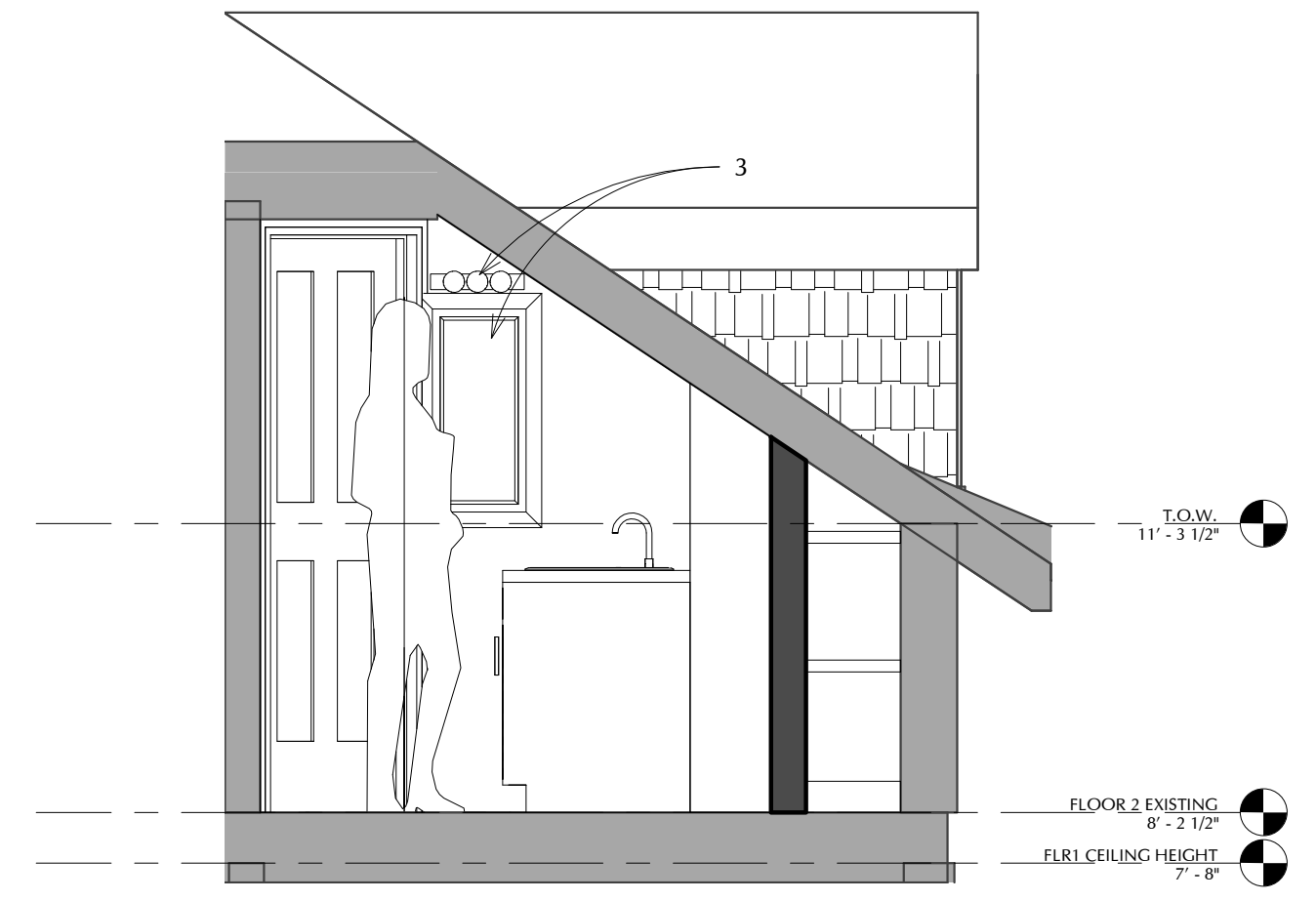
PERMIT SET

DOOR SCHEDULE PHASE 2

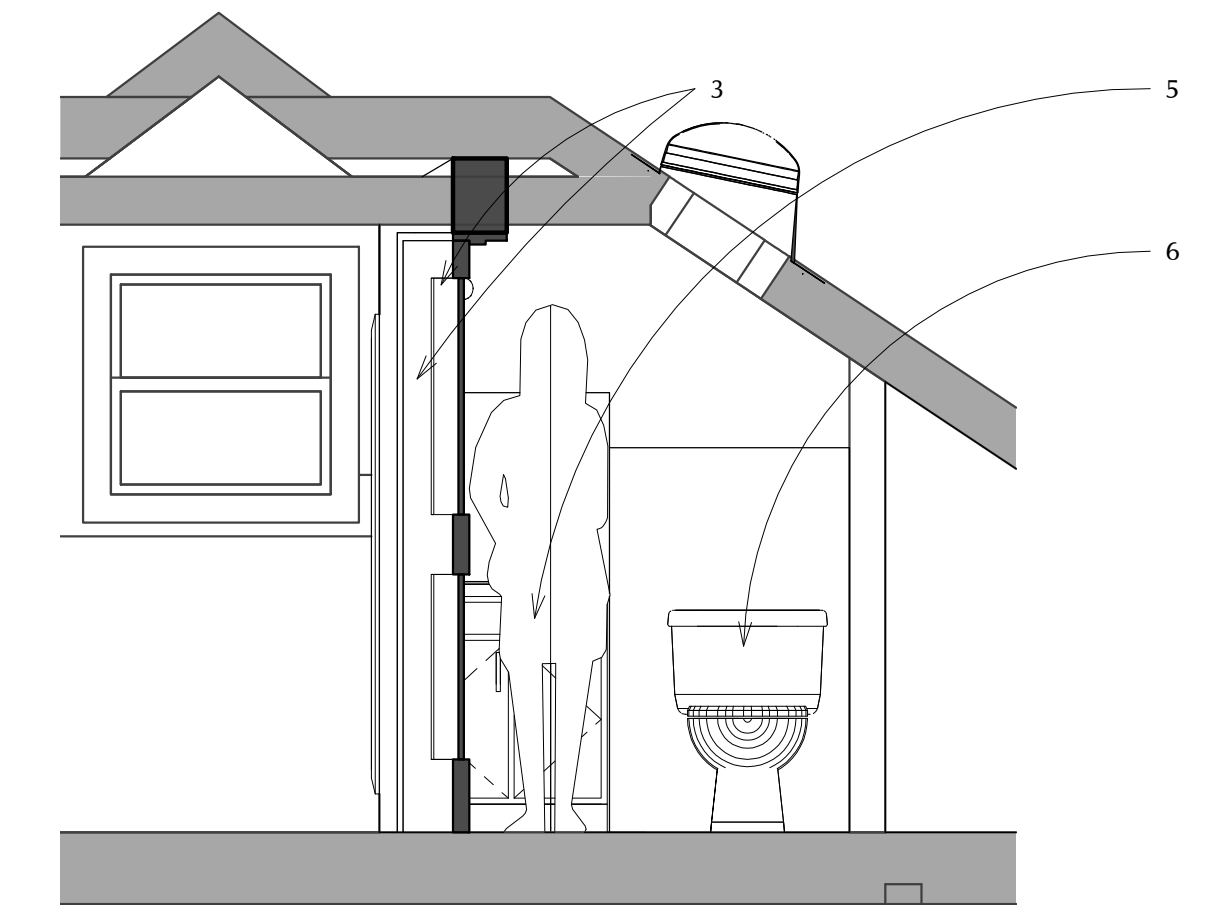
SYM	DESCRIPTION	SIZE		PHASE
		WIDTH	HEIGHT	
31	Door-Interior-Single-4_Panel-Wood: 28" x 74"	2' - 4"	6' - 2"	PHASE 2

WINDOW SCHEDULE PHASE 2

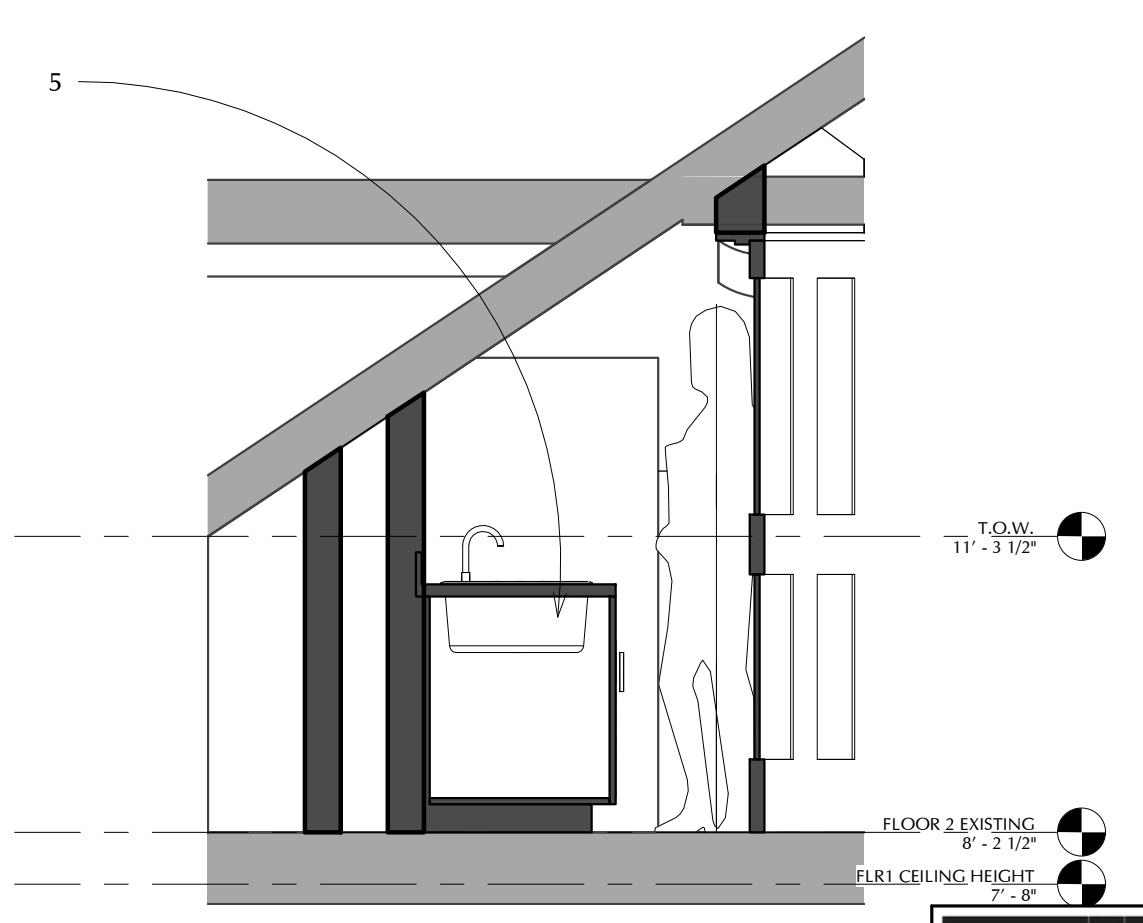
SYM	QTY	DESCRIPTION	SIZE		PHASE	Manufacturer
			WIDTH	HEIGHT		
D	3	Window-Casement-Andersen-400_Series	1' - 8 1/2"	2' - 0 1/8"	PHASE 2	Andersen Corporation
E	1	Window-skylight-VELUX_VCM-curb-mounted-manual-venting	2' - 3 1/8"	4' - 3 1/8"	PHASE 2	VELUX
L	1	Window-skylight-VELUX_TMF_014-tubular-daylighting-flex	0' - 0"	0' - 0"	PHASE 2	VELUX



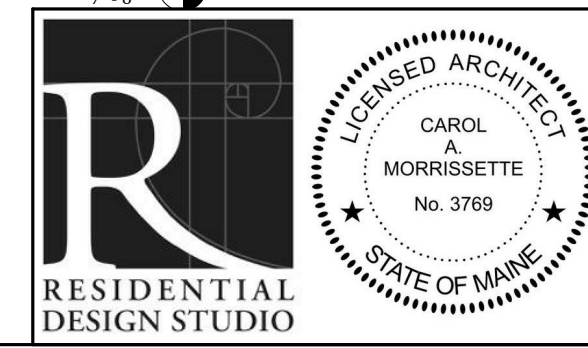
A1 NEW BATH
1/2" = 1'-0"



A2 NEW BATH
1/2" = 1'-0"



A4 NEW BATH
1/2" = 1'-0"



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PHASE 2 RENOVATION
Sheet No.
A1.2