

204 A001001

1049-1049 Westbrook St.

HETZ JET port pk.

HETZ Corporation

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2002-0225

Application I. D. Number

10/11/2002

Application Date

Hertz Jetport Pk. Lot Expansion

Project Name/Description

Hertz Corporation

Applicant

225 Brae Boulevard, Park Ridge, NJ 07656

Applicant's Mailing Address

1049 - 1049 Westbrook St, Portland, Maine

Address of Proposed Site

204 A001001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (201) 307-2303 Applicant Fax: (201) 594-5402

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

15,000 s.f.

AB

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 10/17/2002

Planning Approval Status: Reviewer _____

- Approved Approved w/Conditions See Attached Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
- OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |



APPENDIX B

Major Projects in Past Five Years

1. **Project Name: Snowman's Printing**
Bangor, Maine
Owner: Ed Armstrong Co. & Mary Armstrong Co.
Designer: The Sheridan Corporation
Contract Amount: \$732,700.00
Completed: January, 2000

2. **Project Name: Sensor Research & Development Facility**
Orono, Maine
Owner: Kinsley Pond Company
Architect: SMRT
Contract Amount: \$645,700.00
Completed January, 2000

3. **Project Name: Riverside Golf Course Maintenance Building**
Portland, Maine
Owner: City of Portland
Architect: Port City Architects
Contract Amount: \$323,700.00
Completed: January, 2000

4. **Project Name: R. J. Camp 3, Inc. - Advanced Insulation**
Auburn, Maine
Owner: R. J. Camp 3, Inc.
Designer: The Sheridan Corporation
Contract Amount: \$268,200.00
Completed: November, 1999

5. **Project Name: MBNA - Telesales Center & Fitup**
Fort Kent, Maine
Owner: MBNA Bank America, N.A.
Designer: The Sheridan Corporation
Contract Amount: \$2,482,800.00
Completed: October, 1999



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Major Projects in Past Five Years

- 6. Project Name: Bowdoin College - Squash Courts**
Brunswick, Maine
Owner: Bowdoin College
Architect: Sasaki Associates
Contract Amount: \$470,000.00
Completed: October, 1999
- 7. Project Name: MBNA - Telesales Center & Fitup**
Farmington, Maine
Owner: MBNA Bank America, N.A.
Designer: The Sheridan Corporation
Contract Amount: \$1,501,800.00
Completed: September, 1999
- 8. Project Name: Skowhegan Fairground Grandstands**
Skowhegan, Maine
Owner: Skowhegan State Fair Association
Designer: The Sheridan Corporation
Contract Amount: \$2,310,300.00
Completed: August, 1999
- 9. Project Name: Fresenius Medical Care - Fitup at Chabot Street**
Westbrook, Maine
Owner: Bio-Medical Applications of Maine/Fresenius Medical Care of North America
Designer: The Sheridan Corporation
Contract Amount: \$546,900.00
Completed: August, 1999
- 10. Project Name: MBNA - Warehouse**
Belfast, Maine
Owner: Bracebridge Corporation
Architect: The Sheridan Corporation
Contract Amount: \$2,272,700.00
Completed: July, 1999



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Major Projects in Past Five Years

- 11. Project Name: Chabot Street LLC - Office Building**
Westbrook, Maine
Owner: Chabot Street LLC
Engineer: The Sheridan Corporation
Contract Amount: \$1,328,070.00
Completed: July, 1999
- 12. Project Name: Bresnahan Self-Storage**
Plaistow, New Hampshire
Owner: Bresnahan Realty Trust
Design: The Sheridan Corporation
Contract Amount: \$329,300.00
Completed: July, 1999
- 13. Project Name: MBNA - Telesales Center**
Presque Isle, Maine
Owner: MBNA Bank America, N.A.
Designer: The Sheridan Corporation
Contract Amount: \$315,500.00
Completed: July, 1999
- 14. Project Name: Ducktrap River Fish Farms - Building Expansion**
Belfast, Maine
Owner: Ducktrap River Fish Farms LLC
Engineer: The Sheridan Corporation
Contract Amount: \$1,953,400.00
Completed: June, 1999
- 15. Project Name: Maine Independence Power Plant -
Administration/Control & Warehouse Building**
Veazie, Maine
Owner: Duke/Fluor Daniel
Architect: Duke/Fluor Daniel and Duke Services Engineering
Contract Amount: \$888,800.00
Completed: June, 1999



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Major Projects in Past Five Years

- 16. Project Name: Perrier Group - Building**
Poland Spring, Maine
Owner: Perrier Group
Designer: The Sheridan Corporation
Contract Amount: \$386,600.00
Completed: April, 1999
- 17. Project Name: Riverside Properties - Warehouse/Assembly Facility**
Portland, Maine
Owner: Riverside Properties, LLC
Engineer: The Sheridan Corporation
Contract Amount: \$687,100.00
Completed: February, 1999
- 18. Project Name: Andover Wood Products - Wood Kiln Drying Facility**
Andover, Maine
Owner: Andover Wood Products
Engineer: The Sheridan Corporation
Contract Amount: \$651,700.00
Completed: February, 1999
- 19. Project Name: Maine Independence Power Plant -
Foundations for Gas Turbine Building**
Veazie, Maine
Owner: The Saxon Group, Inc.
Architect: Duke/Fluor Daniel and Duke Services Engineering
Contract Amount: \$401,700.00
Completed: February, 1999
- 20. Project Name: Kenway Corporation - Addition and New Office**
Augusta, Maine
Owner: Kenway Corporation
Engineer: The Sheridan Corporation
Contract Amount: \$314,800.00
Completed: February, 1999



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Major Projects in Past Five Years

21. **Project Name: Family Ice - Ice Rink**
Falmouth, Maine
Owner: Family Ice
Architect: James Sterling, AIA
Engineer: The Sheridan Corporation
Contract Amount: \$2,227,000.00
Completed: January, 1999

22. **Project Name: Belfast & Moosehead Lake Railroad Co. - Train/Repair View Bldg.**
Unity, Maine
Owner: Belfast & Moosehead Lake Railroad Co.
Engineer: The Sheridan Corporation
Contract Amount: \$297,100.00
Completed: January, 1999

23. **Project Name: Fax Paper Pigments - Re-Erect BB #1**
PCC Plant - SAPPI Somerset Mill
Hinckley, Maine
Owner: Fax Paper Pigments
Engineer: The Sheridan Corporation
Contract Amount: \$689,200.00
Completed: December, 1998

24. **Project Name: Riley Medical - Storage Building Addition**
Auburn, Maine
Owner: Riley Real Estate LLC
Engineer: The Sheridan Corporation
Contract Amount: \$433,300.00
Completed: December, 1998

25. **Project Name: Fax Paper Pigments - SAPPI Mill**
Hinckley, Maine
Owner: Fax Paper Pigments
Architect: Simons Engineering, Inc.
Contract Amount: \$1,624,200.00
Completed: November, 1998



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Major Projects in Past Five Years

26. **Project Name: IceBrand Seafoods - Processing Facility**
Portland, Maine
Owner: IceBrand Seafoods
Engineer: The Sheridan Corporation
Contract Amount: \$1,557,400.00
Completed: November, 1998

27. **Project Name: Varney, Inc. - GMC Dealership**
Bangor, Maine
Owner: Varney, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$1,000,700.00
Completed: November, 1998

28. **Project Name: Perrier Group - Bldg. 85 Structural Upgrade**
Poland Spring, Maine
Owner: The Perrier Group
Engineer: The Sheridan Corporation
Contract Amount: \$593,200.00
Completed: November, 1998

29. **Project Name: Brake Service & Parts - Building Addition**
Lewiston, Maine
Owner: Brake Service & Parts Co., Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$131,900.00
Completed: November, 1998

30. **Project Name: Sportline Trophy - Storage Expansion**
Portland, Maine
Owner: Sportline Trophy
Engineer: The Sheridan Corporation
Contract Amount: \$180,000.00
Completed: September, 1998



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Major Projects in Past Five Years

- 31. Project Name: Colonial Distributors - Expansion**
Waterville, Maine
Owner: Colonial Distributors
Engineer: The Sheridan Corporation
Contract Amount: \$458,000.00
Completed: July, 1998
- 32. Project Name: International Paper - Allied Annex Building**
Androscoggin Mill, Jay, Maine
Owner: International Paper
Engineer: The Sheridan Corporation
Contract Amount: \$428,000.00
Completed: July, 1998
- 33. Project Name: R. N. Haskins Printing Co. - Production Office Facility**
Oakland, Maine
Owner: R. N. Haskins Printing Co.
Engineer: The Sheridan Corporation
Contract Amount: \$264,400.00
Completed: July, 1998
- 34. Project Name: Lot 13 L.L.C. - Office & Distribution Warehouse**
Portland, Maine
Owner: Lot 13 L.L.C.
Engineer: The Sheridan Corporation
Contract Amount: \$963,600.00
Completed: June, 1998
- 35. Project Name: Moose River Lumber Co., Inc. - Additions to Sawmill**
Moose River, Maine
Owner: Moose River Lumber Co., Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$640,600.00
Completed: June, 1998



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Major Projects in Past Five Years

36. **Project Name: Farmington Chipping Enterprises, Inc. - Plant Addition**
Farmington, Maine
Owner: Farmington Chipping Enterprises, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$430,600.00
Completed: June, 1998

37. **Project Name: University of Southern Maine - Field House**
Gorham, Maine
Owner: University of Southern Maine
Architect: Harriman Associates
Contract Amount: \$6,258,300.00
Completed: May, 1998

38. **Project Name: S.F. Limited Liability Co. - Office Building**
Fryeburg, Maine
Owner: S.F. Limited Liability Co.
Engineer: The Sheridan Corporation
Contract Amount: \$640,000.00
Completed: May, 1998

39. **Project Name: Eastern Mall Office Park - Building "C"**
So. Portland, Maine
Owner: Roberts Road Associates
Engineer: The Sheridan Corporation
Contract Amount: \$2,003,800.00
Completed: April, 1998

40. **Project Name: Car Quest Distribution Center**
Bangor, Maine
Owner: General Parts, Inc.
Architect: The Ames Corporation
Contract Amount: \$1,622,400.00
Completed: April, 1998



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Major Projects in Past Five Years

- 41. Project Name: Volk Packaging - Manufacturing/Office Addition**
Biddeford, Maine
Owner: D. K. Associates, LLC
Engineer: The Sheridan Corporation
Contract Amount: \$3,147,200.00
Completed: December, 1997
- 42. Project Name: S.W. & B - Office/Warehouse Building**
Auburn, Maine
Owner: BE & K
Engineer: The Sheridan Corporation
Contract Amount: \$768,500.00
Completed: December, 1997
- 43. Project Name: Trinity United Methodist Church**
Farmington, Maine
Owner: Trinity United Methodist Church
Engineer: The Sheridan Corporation
Contract Amount: \$566,800.00
Completed: November, 1997
- 44. Project Name: Thomas College - Atrium and Maintenance Garage**
Waterville, Maine
Owner: Thomas College
Engineer: The Sheridan Corporation
Contract Amount: \$425,900.00
Completed: November, 1997
- 45. Project Name: Hilltop Inn, Inc. - Strip Mall**
Bangor, Maine
Owner: Hilltop Inn, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$350,100.00
Completed: October, 1997



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Major Projects in Past Five Years

46. **Project Name: Webber Energy - Office Building**
Farmington, Maine
Owner: Webber Energy
Engineer: The Sheridan Corporation
Contract Amount: \$220,400.00
Completed: October, 1997
47. **Project Name: Hight Chevrolet-Buick-Geo - Service Garage & Renovations**
Skowhegan, Maine
Owner: Hight Chevrolet-Buick-Geo
Engineer: The Sheridan Corporation
Contract Amount: \$507,300.00
Completed: September, 1997
48. **Project Name: Portland Welding Supply**
So. Portland, Maine
Owner: Portland Welding Supply
Engineer: The Sheridan Corporation
Contract Amount: \$612,900.00
Completed: August, 1997
49. **Project Name: Coastal Humane Society, Inc. - Interior Fitup**
Brunswick, Maine
Owner: Coastal Humane Society, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$224,700.00
Completed: August, 1997
50. **Project Name: John J. Nissen Baking Co. - Concrete Work**
Biddeford, Maine
Owner: John J. Nissen Baking Co.
General Contract: Cianbro Corporation
Architect: Harriman Associates
Contract Amount: \$467,500.00
Completed: July, 1997



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- 51. Project Name: Southern Container Corp. - Boiler Room Addition**
Westbrook, Maine
Owner: Southern Container Corporation
Architect: Southern Container Corporation
Contract Amount: \$272,800.00
Completed: July, 1997
- 52. Project Name: DeLorme Mapping Co.**
Yarmouth, Maine
Owner: Global Village Limited Liability Co.
Architect: PDT Architects
Contract Amount: \$6,547,500.00
Completed: May, 1997
- 53. Project Name: Enercon - Building/Site**
Gray, Maine
Owner: Enercon-Energraphics
Architect: Terrien Architects
Contract Amount: \$3,501,600.00
Completed: May, 1997
- 54. Project Name: Crowe Rope**
Winslow, Maine
Owner: Crowe Rope Industries
Engineer: The Sheridan Corporation
Contract Amount: \$2,782,300.00
Completed: May, 1997
- 55. Project Name: Micucci Bros. - Warehouse/Office/Cooler Facility**
Portland, Maine
Owner: Micucci Bros.
Engineer: The Sheridan Corporation
Contract Amount: \$1,296,800.00
Completed: May, 1997



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Major Projects in Past Five Years

56. **Project Name: Asian Palace**
Bangor, Maine
Owner: APB Co., Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$525,400.00
Completed: May, 1997
57. **Project Name: Camp Susan Curtis - Dining Hall**
E. Stoneham, Maine
Owner: Susan L. Curtis Foundation
Engineer: The Sheridan Corporation
Contract Amount: \$342,000.00
Completed: May, 1997
58. **Project Name: Bates College - Maintenance Facility**
Lewiston, Maine
Owner: Bates College
Architect: Kasper Group, Inc.
Contract Amount: \$1,843,300.00
Completed: April, 1997
59. **Project Name: Northeast Air - GSE & Terminal Building**
Portland, Maine
Owner: LCL Associates
Engineer: The Sheridan Corporation
Contract Amount: \$648,300.00
Completed: March, 1997
60. **Project Name: Cooper-Weymouth, Peterson - Shop & Office Addition**
Clinton, Maine
Owner: Mestek, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$1,693,500.00
Completed: January, 1997



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Major Projects in Past Five Years

61. **Project Name: Sonoco Products/Baker Division - Sorter Building**
No. Anson, Maine
Owner: Sonoco Products/Baker Division
Engineer: The Sheridan Corporation
Contract Amount: \$246,600.00
Completed: January, 1997

62. **Project Name: Coastal Humane Society**
Brunswick, Maine
Owner: Coastal Humane Society
Engineer: The Sheridan Corporation
Contract Amount: \$211,200.00
Completed: January, 1997

63. **Project Name: Northeast Air - Hangar at Portland Jetport**
Portland, Maine
Owner: LCL Associates
Engineer: The Sheridan Corporation
Contract Amount: \$916,400.00
Completed: December, 1996

64. **Project Name: NAPA - The Parts Store**
Windham, Maine
Owner: Genuine Parts Co.
Engineer: The Sheridan Corporation
Contract Amount: \$382,300.00
Completed: December, 1996

65. **Project Name: United States Postal Service - Carrier Annex**
Saco, Maine
Owner: United States Postal Service
Architect: Archetype, PA
Contract Amount: \$1,637,900.00
Completed: August, 1996



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Major Projects in Past Five Years

66. **Project Name: Portland Welding**
Sanford, Maine
Owner: Portland Welding Supply
Engineer: The Sheridan Corporation
Contract Amount: \$456,900.00
Completed: August, 1996

67. **Project Name: Johnston Dandy Co. - Fabrication Shop Addition**
Lincoln, Maine
Owner: Johnston Dandy Co.
Engineer: The Sheridan Corporation
Contract Amount: \$359,400.00
Completed: August, 1996

68. **Project Name: Ducktrap River Fish Farm, Inc.**
Belfast, Maine
Owner: Ducktrap River Fish Farm, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$596,400.00
Completed: July, 1996

69. **Project Name: Quality Containers**
Yarmouth, Maine
Owner: B & L Associates
Engineer: The Sheridan Corporation
Contract Amount: \$328,900.00
Completed: June, 1996

70. **Project Name: P. H. Chadbourne - Planer Mill Facility**
Bethel, Maine
Owner: P. H. Chadbourne & Co.
Engineer: The Sheridan Corporation
Contract Amount: \$857,700.00
Completed: May, 1996



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71. **Project Name: One Stop Party Shoppe**
S. Portland, Maine
Owner: Blk. Limited Liability Co.
Engineer: The Sheridan Corporation
Contract Amount: \$610,300.00
Completed: May, 1996
72. **Project Name: Wheelabrator Clean Water Systems, Inc.**
Gorham, Maine
Owner: Wheelabrator Clean Water Systems, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$410,000.00
Completed: May, 1996
73. **Project Name: Rite Aid**
Houlton, Maine
Owner: Rite Aid Corporation
Engineer: The Sheridan Corporation
Contract Amount: \$283,600.00
Completed: May, 1996
74. **Project Name: WCWS/Bio*Gro Div. Unloading System Building**
Westbrook, Maine
Owner: Messick & Gray
Engineer: The Sheridan Corporation
Contract Amount: \$176,800.00
Completed: May, 1996
75. **Project Name: Great Spring Waters**
Poland Spring, Maine
Owner: Perrier Water
Engineer: The Sheridan Corporation
Contract Amount: \$2,750,300.00
Completed: March, 1996



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76. **Project Name: Dearborn Precision**
Fryeburg, Maine
Owner: S. F. Limited Liability Co.
Engineer: The Sheridan Corporation
Contract Amount: \$1,060,000.00
Completed: January, 1996
77. **Project Name: Peoples Heritage Bank**
Augusta, Maine
Owner: Peoples Heritage Savings Bank
Engineer: Cynthia McMullen
Contract Amount: \$961,000.00
Completed: January, 1996
78. **Project Name: Thompson Volkswagon**
Waterville, Maine
Owner: Thompson VW
Architect: The Q'Ante Group
Contract Amount: \$624,100.00
Completed: January, 1996
79. **Project Name: U. S. Post Office (Retrofit Allen & Coles Building)**
Portland, Maine
Owner: Alco Partners
Engineer: The Sheridan Corporation
Contract Amount: \$1,360,200.00
Completed: December, 1995
80. **Project Name: Penobscot Energy Recovery Company**
Orrington, Maine
Owner: Penobscot Energy Recovery Co.
Engineer: The Sheridan Corporation
Contract Amount: \$405,900.00
Completed: December, 1995



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- 81. Project Name: Maine Dartmouth Family Practice - Expansion**
Fairfield, Maine
Owner: Mid-Maine Medical Center
Engineer: The Sheridan Corporation
Contract Amount: \$573,100.00
Completed: November, 1995
- 82. Project Name: Van Baalen Distribution Center Expansion**
Rockland, Maine
Owner: Van Baalen Pacific Corporation
Architect: Epstein Construction, Inc.
Contract Amount: \$1,668,400.00
Completed: October, 1995
- 83. Project Name: Allen & Coles Moving Systems Warehouse/Office Facility**
Portland, Maine
Owner: Alco Partners
Engineer: The Sheridan Corporation
Contract Amount: \$1,431,600.00
Completed: September, 1995
- 84. Project Name: Marketplace at Augusta**
Augusta, Maine
Owner: W/S Development
Architect: Sumner Schein Architects and Engineers, Inc.
Contract Amount: \$1,362,900.00
Completed: September, 1995
- 85. Project Name: Basket World, Inc.**
Bangor, Maine
Owner: Hilltop Inn, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$706,600.00
Completed: September, 1995



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Major Projects in Past Five Years

86. **Project Name: The Parts Store**
S. Portland, Maine
Owner: Genuine Parts Co.
Engineer: The Sheridan Corporation
Contract Amount: \$420,000.00
Completed: September, 1995
87. **Project Name: Crossroads**
Bangor, Maine
Owner: Bev, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$326,300.00
Completed: September, 1995
88. **Project Name: Railroad Square Cinema/Cafe**
Waterville, Maine
Owner: Railroad Square Cinema
Engineer: The Sheridan Corporation
Contract Amount: \$507,000.00
Completed: August, 1995
89. **Project Name: General Electric Building #50**
Bangor, Maine
Owner: General Electric
Architect: The Ames Corporation
Contract Amount: \$4,413,400.00
Completed: May, 1995
90. **Project Name: General Electric - Phase II - Office Addition**
Bangor, Maine
Owner: General Electric
Architect: The Ames Corporation
Contract Amount: \$743,100.00
Completed: May, 1995



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91. **Project Name: Poland Spring Water Renovations**
Poland Spring, Maine
Owner: Perrier Group
Engineer: The Sheridan Corporation
Contract Amount: \$588,500.00
Completed: April, 1995

92. **Project Name: Ellen M. Leach Memorial Home**
Brewer, Maine
Owner: Brewer Housing Authority
Architect: Archtellic
Contract Amount: \$2,816,700.00
Completed: March, 1995

93. **Project Name: Cargex Air Cargo Facility**
Portland International Airport
Portland, Maine
Owner: Cargex Properties
Engineer: Engineering Design Associates/The Sheridan Corporation
Contract Amount: \$1,198,400.00
Completed: March, 1995

94. **Project Name: Knights of Columbus - Function Hall Addition**
Sanford, Maine
Owner: Sanford Fraternal Association
Engineer: The Sheridan Corporation
Contract Amount: \$827,300.00
Completed: March, 1995

95. **Project Name: Underhill Ice Facility**
Bates College
Lewiston, Maine
Owner: Bates College
Architect: The Architects Collaborative, Inc.
Contract Amount: \$3,301,300.00
Completed: January, 1995



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Major Projects in Past Five Years

96. **Project Name: District Courthouse**
Colby Circle, Waterville, Maine
Owner: Hight Partners
Engineer: The Sheridan Corporation
Contract Amount: \$837,700.00
Completed: January, 1995
97. **Project Name: Proprietors of Union Wharf - Office/Warehouse Facility**
Portland, Maine
Owner: Proprietors of Union Wharf
Engineer: The Sheridan Corporation
Contract Amount: \$664,300.00
Completed: January, 1995
98. **Project Name: Hinckley Company - Boat Storage Building**
Southwest Harbor, Maine
Owner: Hinckley Company
Engineer: The Sheridan Corporation
Contract Amount: \$405,600.00
Completed: January, 1995
99. **Project Name: Portland Valve, Inc**
S. Portland, Maine
Owner: Portland Valve, Inc.
Engineer: The Sheridan Corporation
Contract Amount: \$395,300.00
Completed: January, 1995

Professional Profile
The Sheridan Corporation



Douglas Cutchin
President

Education:

1965 B.A. Economics/History
University of Maine
Orono, Maine

Formal course work under recognized field experts:
C.P.M. Ralph Stephensen, P.E.

Construction Stephen Phinney
Marketing

Systems Bryon Radcliffe, P.E.

also trained with:
Structural Design Neil Montgomery, P.E.
Rigid Frame and
Coldroll Structural
Sections

Structural Design Donald Johnson, P.E.

Structural Design James Crooker, P.E.

Structural Design Lyle Cutchin, G.E.

Structural/Civil Williard Brooks, G.E.

Structural/Civil Earl Steward, P.E.

Personal:

D.O.B. 5/17/42

Married

Two Children

Professional Experience:

1981 President of The Sheridan Corporation Present

1976-1981 Vice President
General company management, including
corporate financial responsibilities.

1974-1976 Manager of Contract
Sales/Engineering
Responsible for marketing of construction
services, overseeing all estimating functions,
preparation of specifications, contract plans and
the writing of all contracts.

1969-1974 Construction Coordinator
Responsible for scheduling of crews,
equipment, subcontractors and the purchasing
for all the construction projects under Sheridan
contract. Involvement in contract sales and
sales engineering. Supervised office staff,
project superintendents, foremen and six crews.
Directly involved in vehicle, tool and
equipment maintenance. Executed 163
building contracts ranging from small retail to
major manufacturing to heavy industrial.

1965-1967 High School Teacher
English, U.S. History, Tutored Algebra,
Trigonometry, Plain and Solid Geometry

1958-1965 Summer and vacation positions
as laborer, steel worker and form carpenter.
Also trained as an estimator and small projects
coordinator for The Sheridan Corporation.

Professional Profile
The Sheridan Corporation



Douglas Cutchin
President

Associations:

Associated General Contractors
Metal Building Dealers Association
Associated Builders and Contractors
Butler Manufacturing Advisory Council
Mid-Maine Economic Development Council
Mid-Maine Interfaith Shelter
Fairfield Betterment Association

Served as:

President Northern New England
Associated Builders and Contractors

National Board of Directors
Associated Builders and Contractors

Board of Directors
Associated Builders and Contractors

Board of Directors
Metal Building Dealers Association

Co-Chairman
Mid-Maine Interfaith Shelter

Vestry and Chairman Every Member Canvas
St. Mark's Episcopal Church

Fairfield Economic Development Committee
Riverfront Development Planning

Advisory Board
Motivational Services

Professional Profile
The Sheridan Corporation



Bradley Nelson
Senior Vice President

Education:

- 1970 B.S. Business Administration
Husson College
Bangor, Maine
- 1965 Fryeburg Academy
Fryeburg, Maine

Personal:

- D.O.B. 9/5/47
- Married
- Two Children

Associations:

- Maine State Safety Council
- C & N - Realty Partnership
- CNS - Realty Partnership
- Fair-Fields Associates - Development Group
- Metal Building Dealers Association
- Kodiak Steel - President

Professional Experience:

1972 The Sheridan Corporation
Present Fairfield, Maine

1983 Senior Vice President
Present

Management responsibilities for construction department and engineering department.
General safety efforts on current projects.
Control of overall corporate operations.
Principal of Corporation.

1979-1983 Construction Vice President
Responsible for overseeing project managers, field crew coordination, fabrication shop, maintenance shop, safety programs and material/subcontractor procurement.

1974-1979 Construction Manager
Duties included direct project management, coordination, procurement and scheduling of building construction projects. Supervised the allocation of field crews, scheduling of shop fabrication activities and maintenance program.

1972-1974 Project Coordinator
As a project coordinator in training, this position involved learning the building construction process as it pertains to the pre-engineered building industry.

1970-1972 Wright-American, Inc.
Division of H. S. Wright
Seattle, WA
Project Manager



Education:

1983 M.S.B.A. Course
Husson College
Bangor, Maine

1970 B.A.
University of Maine
Orono, Maine

Additional Graduate courses:
Masters Degree in Finance
Thomas College
Waterville, Maine

Personal:

D.O.B. 11/17/52

Married

Two Children

Associations:

Construction Financial Management Assoc.

National Association of Accountants

Aircraft Owners and Pilots Association

Fairfield Economic Development Corporation

Civil Air Patrol

Professional Experience:

1982 The Sheridan Corporation
Present Fairfield, Maine
Vice President

Responsibilities include supervision of all reporting, corporate tax filing and projections for financial and tax statements; Corporate benefits administration, Corporate insurances, Workers' Compensation insurance administration; contract cost reporting; M.I.S. administration.
Principal of Corporation.

1981-1982 Superior Oil Company
Houston, Texas
Senior Accountant

Controller's Department, Minerals Division.
Responsibilities included cost reporting, payroll control, feasibility cost analysis reporting to Strategic Development Dept. of Corporation.

1977-1981 The Sheridan Corporation
Fairfield, Maine
Office Manager

Job Cost Reporting, indirect costs reporting, insurances administration - group and commercial, payroll supervision, accounts receivable and payable supervision.

1976-1977 J W R Construction
Division of Cives Corp.
Pittsburgh, Pennsylvania
Office Manager

Project Cost Accountant - project cost reporting, payroll administration, cost estimating.

1974-1976 Eichleay Corporation
Pittsburgh, Pennsylvania
Field Accountant to Office Mgr.

Project Cost Reporting, union benefits reporting, payroll processing and admin. acts. payable, sales and accounts receivable processing.



Education:

- 1977 Thomas College
Waterville, Maine
Accounting Courses toward B.S.
- 1976 Mid-State College
Auburn, Maine
A.D. Business Admin. & Accounting
- 1974 Edward Little High School
Auburn, Maine

Personal:

- D.O.B. 8/26/55
- Married
- Four Children

Professional Experience:

- 1984 - Present **The Sheridan Corporation**
Portland and Fairfield, Maine
Job Cost Accountant, Computer Programmer, Estimator, Building Consultant
- 1980-1984 **Cianbro Corporation**
Pittsfield, Maine
Field Office Manager, Job Cost Accountant
- 1977-1980 **K-Mart Corporation**
Maine, New Hampshire, New York, New Jersey
Store Management, various locations

Significant Projects:

- 1999 **Ducktrap River Fish Farm**
Belfast, Maine
Negotiated \$2.2M addition
- 1999 **Diamond Phoenix**
Lewiston, Maine
Negotiated \$4.5M
- 1997 **Boulos Properties/Morse, Payson & Noyes**
South Portland, Maine
\$1.9 million
- 1997 **University of Southern Maine**
Gorham, Maine
\$6.3 million; Field House
- 1996 **Micucci Grocers**
Portland, Maine
\$1.3 million; Refrigerated Warehouse
- 1996 **Northeast Air**
Portland, Maine
\$1.5 million Hangar/Terminal
- 1996 **United States Postal Service**
Saco, Maine
\$1.8 million Carrier Center
- 1992 **Wal-Mart Stores**
Successful bidder on 6 of 12 stores bid in Maine; negotiated 7th store
\$1.5 million - \$4 million range
- 1991 **Ducktrap River Fish Farm**
Belfast, Maine
Negotiated \$1.1 million Smoke-House
- 1990 **Starret Drive Associates**
Belfast, Maine
\$750,000; 15,400 sf Strip Mall
- 1989 **Harborside Graphics**
Belfast, Maine
\$1,295,000; 23,000 sf Manufacturing
- 1989 **Bath Iron Works**
Bath, Maine
Negotiated \$900,000 - Manufacturing



Education:

- 1970 B.S. Construction Management
University of Denver
Denver, Colorado
- 1969 A.D. Architectural Design
Community College of Denver
Denver, Colorado
- 1967 A.D. Structural Design
North Eastern Junior College
Sterling, Colorado

Professional Development:

- Class "A" Contractor License
City of Denver
- Class "B" Contractor License
City of Aurora

Personal:

- D.O.B. 7/30/48
- Married
- Three Children

Associations:

- Member Topsham Planning Board
Topsham, Maine
- Member National Home Builders of America
- President, American Society of Building
Design Engineers, Maine
- National Fire Protection Association
- Building Officials and Code Administrators
International
- Maine Building Officials & Inspectors Assoc., Inc.

Professional Experience:

- 1988 The Sheridan Corporation
Present Fairfield, Maine
Director of Engineering
Management and coordination of engineering staff. Provide engineering support for all phases of construction. Responsible for design/build services form conception to finished product.
- 1987-1988 Merrymeeting Developers, Inc.
Brunswick, Maine
Director of Purchasing
Developed and implemented a centralized purchasing department. Developed purchasing, contracting, budgeting, and accounts payable controls. Estimated and negotiated third party General Contractor contracts.
- 1985-1987 Lamoreaux Construction Co.
Castle Rock, Colorado
Owner
Built pre-sold custom homes. Provided design, estimating and construction management services.
- 1984-1985 G.M. Horton Corporation
Denver, Colorado
Vice President of Development
Management of pre-development team for Colorado. Responsible for feasibility and acquisition for new projects. Located local financial sources, processed bond funding, established relations with local governments, identified quality architectural and engineering firms and served as local investor liaison.
- 1983-1984 Frost Construction Company
Colorado Springs, Colorado
Division Manager
Started up a construction management firm to build two 200-unit apartment projects of wood frame and brick construction. Managed all estimating, purchasing, scheduling, payment approval and budgets.
- 1981-1983 Colorado Dry Products Co.
Denver, Colorado
Manager
Management of drywall and painting subcontracting firm.

Professional Profile
The Sheridan Corporation



Drew Caron
Project Engineer

Education:

1984 M.S. Structural Engineering*
Northeastern University
Boston, Massachusetts
*Thesis Pending

1978 B.S. Civil Engineering
University of Maine
Orono, Maine

Graduate course work in Computer Science
Boston University
Boston, Massachusetts

Professional Development:

Registered Professional Engineer
State of Maine

Personal:

D.O.B. 6/5/56

Married

Two Children

Associations:

American Society of Civil Engineers

Professional Experience:

1986 The Sheridan Corporation
Present Fairfield, Maine
Project Engineer

Responsible for all facets of project design and detailing on a wide variety of commercial and industrial projects. Design for both conventional and modified foundation systems, structural steel and masonry, and coordinating the implementation of these designs with the project team. Duties also include reviewing subcontractor design and shop drawings, along with field inspection of projects in progress.

1985-1986 Lee Pare & Associates
Pawtucket, Rhode Island
Field Inspector

Field inspector during the construction of oil and kerosene tank farm. Responsible for weld inspection, resolution of construction field changes and administration of contractor's payroll.

1980-1985 Stone and Webster
Boston, Massachusetts
Structural Designer

Developed guidelines for field site documentation. Resolved field engineering problems through field inspection, and coordination with both construction and quality control personnel. Conducted foundation design; complete design and detailing of a nuclear plant Technical Service Center: seismic analysis of block walls utilizing computer modeling and field inspection.

1978-1980 Universal Engineering Corp.
Boston, Massachusetts
Civil/Structural Engineer

Responsible for building and bridge field inspection, bridge ratings, design and report writing, design and detailing of various wastewater structures, building and bridge cost estimates.

Professional Profile
The Sheridan Corporation



Wil Ferland
Project Manager

Education:

- 1993 B.S. Construction Management
University of Maine
Orono, Maine
- 1991 A.S. Civil Engineering
University of Maine
Orono, Maine

Professional Development:

- 1999 Butler MOW Certificate
- 1999 Saddle Island Institute
Construction Claims

Personal:

D.O.B. 5/5/70

Single

Professional Experience:

- 1993 The Sheridan Corporation
- Present Fairfield, Maine
Project Manager

Significant Projects:

- 1999 MBNA New England, Farmington, ME
\$2,500,000 Site & Telesales Building
- 1999 City of Portland/Riverside Golf Course
Portland, ME
\$320,000 Maintenance Facility
- 1998 Varney, Inc., Bangor, Maine
\$1,000,700 Automobile Dealership
- 1997 CarQuest Dist. Center, Bangor, Maine
\$1,622,000 Warehouse Facility
- 1996 Moose River Lumber Co.
Jackman, Maine
\$530,000 Sawmill Addition
- 1996 Northeast Air, Portland, Maine
\$1,840,000 Aircraft Hangar
- 1995 One Stop Party Shoppe, Portland, ME
\$610,000 Retail/Warehouse Facility
- 1995 Penobscot Energy Recovery Co.
Orrington, Maine
\$406,000 Loader Maintenance Bldg.
- 1995 Railroad Square Cinema, Waterville, ME
\$507,000 Cinema/Café
- 1994 Prop. of Union Wharf, Portland, ME
\$572,000 Office/Warehouse Building
- 1994 Portland Valve, Inc., So. Portland, ME
\$396,000 Office Addition

ARTICLE 1 - LEASED PREMISES

1.1. DESCRIPTION OF LEASED PREMISES

The term "Leased Premises" or "Premises" as used in this Lease Agreement, shall mean and include real estate and aircraft tiedowns located at Portland International Jetport in Cumberland County, State of Maine, consisting of the following:

- *Hangar building property, approximately 44,000 sq.ft.;
- and
- *Additional building property, approximately 22,000 sq. ft. (amendment dated 9/29/78),

northeas.con.lse
09.10.1997

Page 1 of 36

- *Ramp area
- *Parking lot, approximately 16,100 sq.ft. (amendment dated 6/21/1974)
- *Aircraft Tiedowns in Areas B and C of GAT Ramp;
- *30 Aircraft tiedowns Areas A of the GAT Ramp (Agreement of 11/1/83, expired 11/30/93);

all as provided on Exhibits A and B, attached hereto and incorporated herein, and including the rights of ingress thereto and egress therefrom.

PAVED
TERRACE

BOX OF PAVED TERRACE & PROPOSED LEASING
N23°34'27"E 241.86'

N57°36'11"W
288.33'

ABOVE
GROUND
TANKS

LAWN

AREA =
81,384 S.F.
1.8683 Ac.

NORTHEAST AIR
HANGER

PAVED

281.93'
S54°53'13"E

LAWN

CITY OF PORTLAND AIRPORT

UNDERGROUND
TANK AREA

GATE

BI WALK

BRICK
WALK

GATE

S22°21'48"W
40.00'

1 SP

N.C.

5

10 SPACES
N85°51'13"W
142.12'

PAVED

4 SP.

11 SPACES

WOOD GUARD RAIL

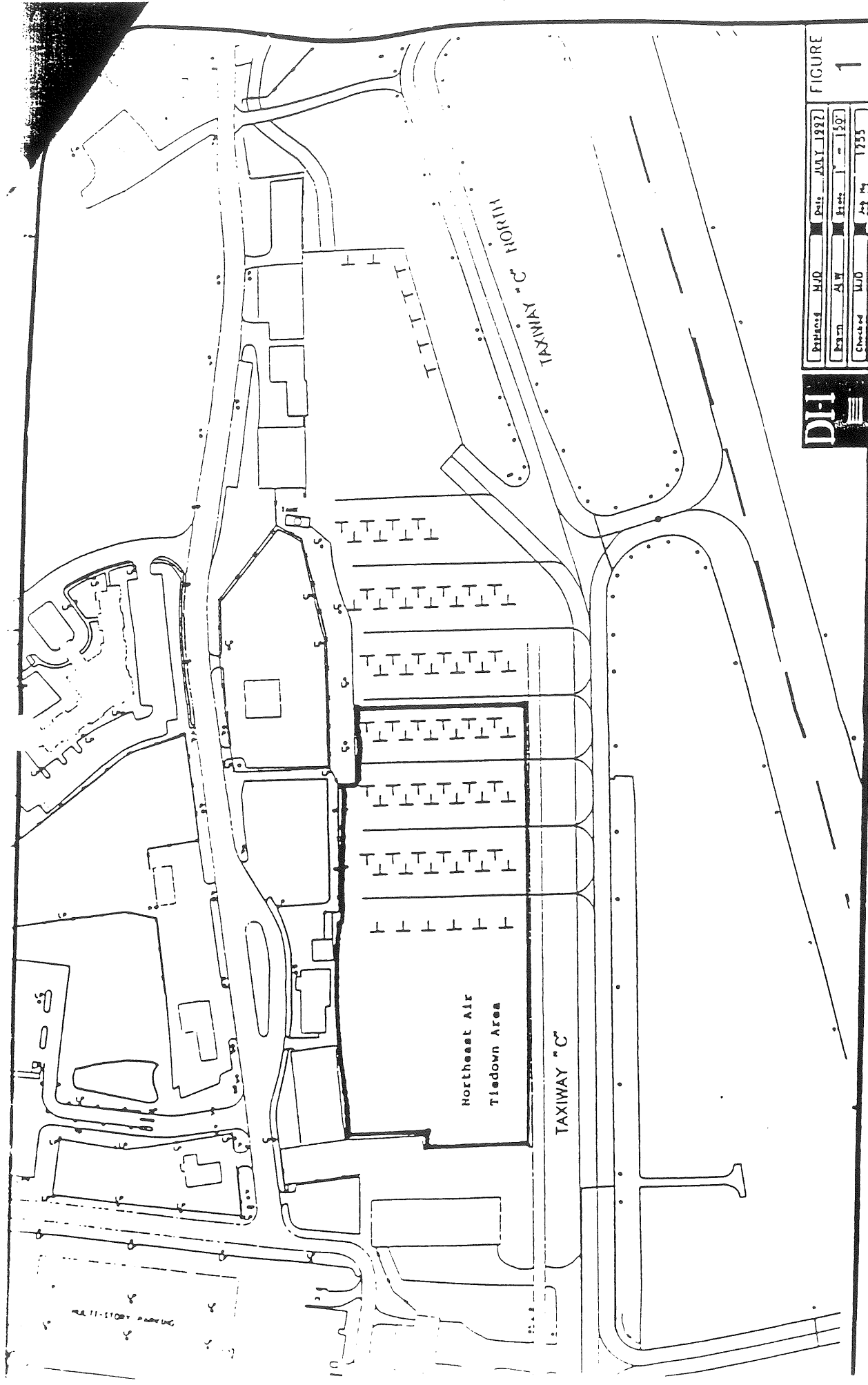
S50°11'48"E 97.87'

R=88.74
Δ=80°34'35"
L=125.31
LC=S09°44'30"E
115.15

FARROW CRT GATE

ONE WAY

3'E



Prepared	HJD	Date	JULY 1987
By	AW	Sheet	1 of 150
Checked	WJD	App. No.	1755

FIGURE
1



CITY OF PORTLAND

20 March 2000

Mr. Kenneth S. Lamoreaux,
Director of Engineering,
The Sheridan Corporation,
P.O. Box 359,
Fairfield, Maine 04937

RE: Handling Wastewater Flows, from the Proposed Northeast Air Hanger, at the Portland International Jetport, 1023 Westbrook Street.

Dear Mr. Lamoreaux:

Thank you, for letting me know that Kandi Talbot is your City Planner. Thanks also, for informing me that the proposed Northeast Air hangar will not have any floor drains. Mr. James Robbins, our vault archivist, determined the address for the proposed hangar. It is 1023 Westbrook Street.

As I mentioned, during our telephone call, of 3/15/00, David Peterson, senior wastewater Technician, suggested an 8" diameter gravity line. It would run, from West to east, along the northern edge, of the existing property lease. It would accommodate this proposed Northeast Air hangar, as well as future building growth. If this scenario were to be your choice, then the City prefers that you enter the Westbrook Street Sewer at manhole #6 (please see enclosed sheet No.2, plan 904/4). This would also require creating a proper channel, in manhole #6, in order to receive your 8" diameter trunk line. This would be the City's preferred location and type of entry into our Westbrook Street Sewer.

If you decide to pump, then The City prefers that you enter the Westbrook Street Sewer line between the penultimate manhole, #14, and the terminal manhole, #15 (see sheet No.2, plan 904/4). The connection requires an "Insertatee," above the spring line of the Westbrook Street Sewer, at ten, eleven, one, or two o'clock. The last ten feet, of your building lateral, before the "Insertatee" connection, must be a minimum of 4" diameter, Schedule 40, or SDR 35, polyvinyl chloride (PVC) sanitary sewer pipe. An envelope of crushed stone must surround the PVC building sewer lateral. The envelope is 6" above, below, and around the building lateral.

If I can be of further assistance, please call me at 874-8832.

Sincerely,
CITY OF PORTLAND

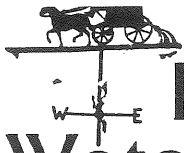
Frank Brancely
Frank J Brancely, Jr. B.A., and M.A.
Senior Engineering Technician

FJB

Enc.: Sheets 2,5,7 of 10, Plan 904/4.

cc: Joseph E. Gray, Director, Department of Planning, and Urban Development, City of Portland
Kandi Talbot, Planner, Department of Planning, & Urban Development, City of Portland
Katherine A. Staples, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Desk file

O:\Engshare\CSO\1023WBSt.Doc



Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5961
FAX (207) 761-8307
www.pwd.org

February 24, 2000

Kenneth S. Lamoreaux
The Sheridan Corporation
PO Box 359
Fairfield, Me 04937

Re: Northeast Air- Westbrook St.

Dear Mr Lamoreaux

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed expansion of Northeast Air near the Portland International Jetport in Portland. Checking District records, I find there is a 12" water main on the far side of Westbrook Street in front of the property in question.

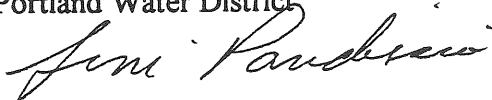
To answer your second question in your letter, you may take off the fire service line to supply domestic but the connection will need to be done prior to the street line of Westbrook Street. This will also require you to install a second 12" gate valve at the street line to control the fire service and the domestic would be connected just before the street line.

The current data from the nearest hydrant indicates there should be adequate capacity of water.

Hydrant Location: Westbrook St N of Quality Suites
Hydrant # 1791
Static pressure = 75 PSI
Flow = 1210 GPM
Last Tested = 8/6/92

If the district can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District


Jim Pandiscio
Means Coordinator



Central Maine Power, Customer Service Center
162 Canco Road, Portland, Maine 04103

1-800-750-4000

March 9, 2000

The Sheridan Corporation
PO Box 359
Fairfield, Maine 04937
Attn: Kenneth Lamoreaux ✓

Subject: Request for Letter of Serviceability for Northeast Air
Portland International Jetport

Dear Mr. Lamoreaux

This letter is to advise that Central Maine Power Company has sufficient three phase electrical capacity in the area to serve the subject project.

When plans are available, please forward them to me so that I can coordinate our utilities with your project. I have enclosed a load request form to be completed and return to me along with a copy of Central Maine Power Company's "Contractor's Handbook".

Sincerely,

Gary Crabtree
Energy Services Advisor

GC/rr
Enclosures



Northern Utilities, Inc.

Thursday, March 02, 2000

Ken Lamoreaux
Sheridan Company, The
P.O. Box 359
Fairfield, ME 04937

RE: Northeast Air

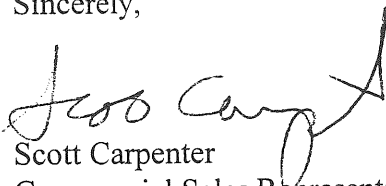
Dear Ken:

We are glad to be able to advise you of our ability to serve the proposed Northeast Air building with natural gas. Please see the following for preliminary cost and consumption info.

Our expected cost for construction is between \$3,000 and \$10,500 depending on the final design that is chosen by you. To cover the construction costs, the customer would need to commit to use between 3,500 ccf and 13,000 ccf per year.

I have also included some info on infrared radiant heating that we believe would be extremely cost effective and efficient given this building design. If you have any questions, please feel free to contact me at 800-924-8002 ext. 6288..

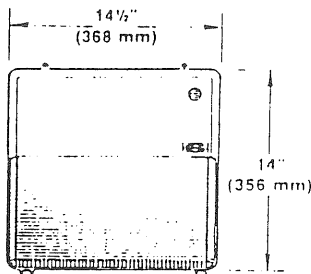
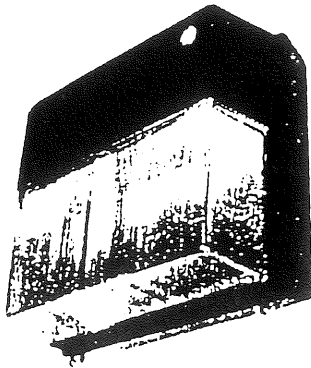
Sincerely,



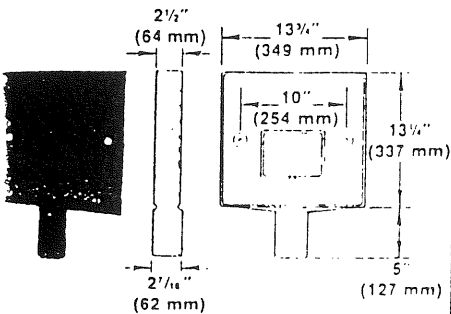
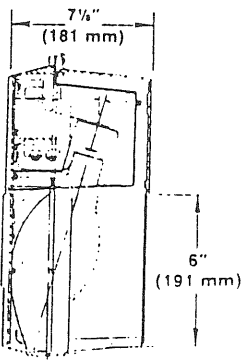
Scott Carpenter
Commercial Sales Representative



PERIMALITER® SERIES



**COMMERCIAL
OUTDOOR
AREA**



PVL-PT

The Perimaliter luminaire is an energy saving area lighter combining efficient lighting, vandal resistance, and aesthetic appearance. It is designed for maximum spacing between luminaires, and can provide good uniformity at a 6 to 1 spacing to mounting height ratio utilizing energy efficient H.I.D. lamps.

The PVL series is ideally suited for security lighting applications as well as commercial and architectural exterior wall and area lighting for parking lots, office buildings, stores, shopping centers, fast food restaurants, banks, warehouses, and parking garages.

Front Access Door Incorporating Lens Assembly — Removable, one piece, injection molded, U.V. stabilized door and prismatic lens hinges for full front access. H.P.S. units feature polycarbonate for maximum vandal resistance. Metal halide units come standard with Hubbell's exclusive ULTRACRYL™ acrylic providing the ultimate resistance to heat and yellowing. Interior door surface finished in bronze.

Rear Housing — One piece, heavy duty, die cast for long life and cooler operation.

Reflector — Precision formed ANODAL™ finished specular aluminum for optimum performance.

Ballast — Class "H" insulated, -40°F starting (-20°F for MH), 60 Hz HPF An aluminum ballast compartment cover isolates electrical components from optical assembly.

Additional Features — Bronze LEKTROCOTE™ finish . . . two 1/2" side entries for surface conduit mounting . . . accessory photocontrol mounts behind prismatic window . . . accessory mounting bracket for single and double pole mounted Perimaliter luminaires . . . U.L. listed, suitable for wet locations . . . porcelain mogul base socket

ORDERING INFORMATION

Lamps and Wattage	Catalog Number	Voltage/Ballast	Weight	
			lbs.	kgs.
HIGH PRESSURE SODIUM				
70	PVL-0070S-118	Quad AL (HPF)	18	8
70	PVL-0070S-511*	120 Reactor (NPF)	18	8
100	PVL-0100S-118	Quad AL (HPF)	19	9
100	PVL-0100S-511*	120 Reactor (NPF)	19	9
150	PVL-0150S-118	Quad AL (HPF)	20	9
150	PVL-0150S-511*	120 Reactor (NPF)	20	9
METAL HALIDE				
→ 751	PVL-0175H-118	Quad PLA	21	10

For electrical data, see pages 272-276

*Mercury vapor lamps may be operated on metal halide ballast.

*Lamps included

LIGHT
FIXTURE 'C'

ACCESSORIES

For field installation with Perimaliter series. Order separately.

Catalog Number	Description
ECO-F	Single in line fuse for 120 and 277 volts. (Fuse not included.)
ECO-FF	Double in line fuse for 208 and 240 volts. (Fuses not included.)
FUSE-5A	Single in-line fuse and holder for 120 and 277 volts.
FUSE-10A	Double in line fuse and holder for 208 and 240 volts.
PBT-1	Photocontrol, 120 volt. (PVL-PK wiring kit required.)
PBT-2, 3, 4	Photocontrol, 208, 240, 277 volt. (If ordering, PVL-PK wiring kit also required.)
PVL-PK	Gasket and wiring kit for photocontrol. (Photocontrol not included.) Required when photocontrol is used.
PVL-PT	Aluminum splittler housing accepts 2 1/2" O.D. tenon for single or back to back double, post-top mounted Perimaliter luminaires. Bronze Lektrocote finish. EPA: 1.8 sq. ft. with fixtures.
PVL-TR	Lamp resistant hardware kit. Hex head screws and socket.



Lighting Division

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000045

i. D. Number

Northeast Air

Applicant

1023 Westbrook Street, Portland, ME 04102

Applicant's Mailing Address

The Sheridan Corp.

Consultant/Agent

453-9311 453-2820

Applicant or Agent Daytime Telephone, Fax

3/28/00

Application Date

Portland Jet Port

Project Name/Description

1023 Westbrook St, Portland Maine 04102

Address of Proposed Site

204-A-001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

413,800 Proposed Building square Feet or # of Units **9.5** Acreage of Site **Airport Bus. Zone** Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$500.00** Subdivision _____ Engineer Review _____ Date: **3/28/00**

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issued | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |

Peoples Heritage Bank

One Portland Square
P.O. Box 9540
Portland, ME 04112-9540

1-800-462-3666
Tel: 207-761-8500
Internet: www.peoplesheritage.com



March 27, 2000

Joesph Gray
City of Portland - Planning Board
389 Congress Street
Portland, Maine 04101

RE: Northeast Air and Affiliates

Dear Mr. Gray:

Northeast Air and Affiliates has been a valued customer of Peoples Heritage Bank for over twelve years now. Northeast Air and Affiliates has a comprehensive lending and depository relationship with the Bank and it has always been handled as agreed without exception.

Based on the information that has been provided to the Bank to date concerning the construction of a new hangar at the Portland Jetport, Northeast Air and Affiliates appears to have the financial ability to embark on such a project. Once the details are finalized and available for the Bank's review, I will be in a position at that point to issue a formal commitment letter. I am confident that Peoples Heritage will be able to accommodate their financing needs, as we have always been.

If I can be of further assistance to you in this matter, please do not hesitate to call me at 761-8782.

Sincerely,

A handwritten signature in blue ink that reads "Patricia L. Camelio".

Patricia L. Camelio
Vice President

Cc: Henry A. Laughlin, III



The Sheridan Corporation
 P.O. Box 359
 Fairfield, Maine 04937

LETTER OF TRANSMITTAL

DATE	3/28/00	JOB NO.	991059
ATTENTION			
RE: Northeast Air			

TO: Kandi Talbot

Kandi:

WE ARE SENDING YOU **Attached** Under separate cover via _____ the following items:

Shop drawings Prints **Plans** Samples Specifications

Copy of letter Change order Other

COPIES	DATE	NO.	DESCRIPTION
8 Sets			Reduced Plans

THESE ARE TRANSMITTED as checked below:

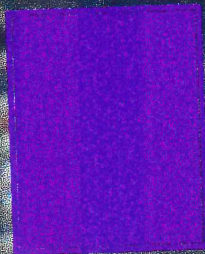
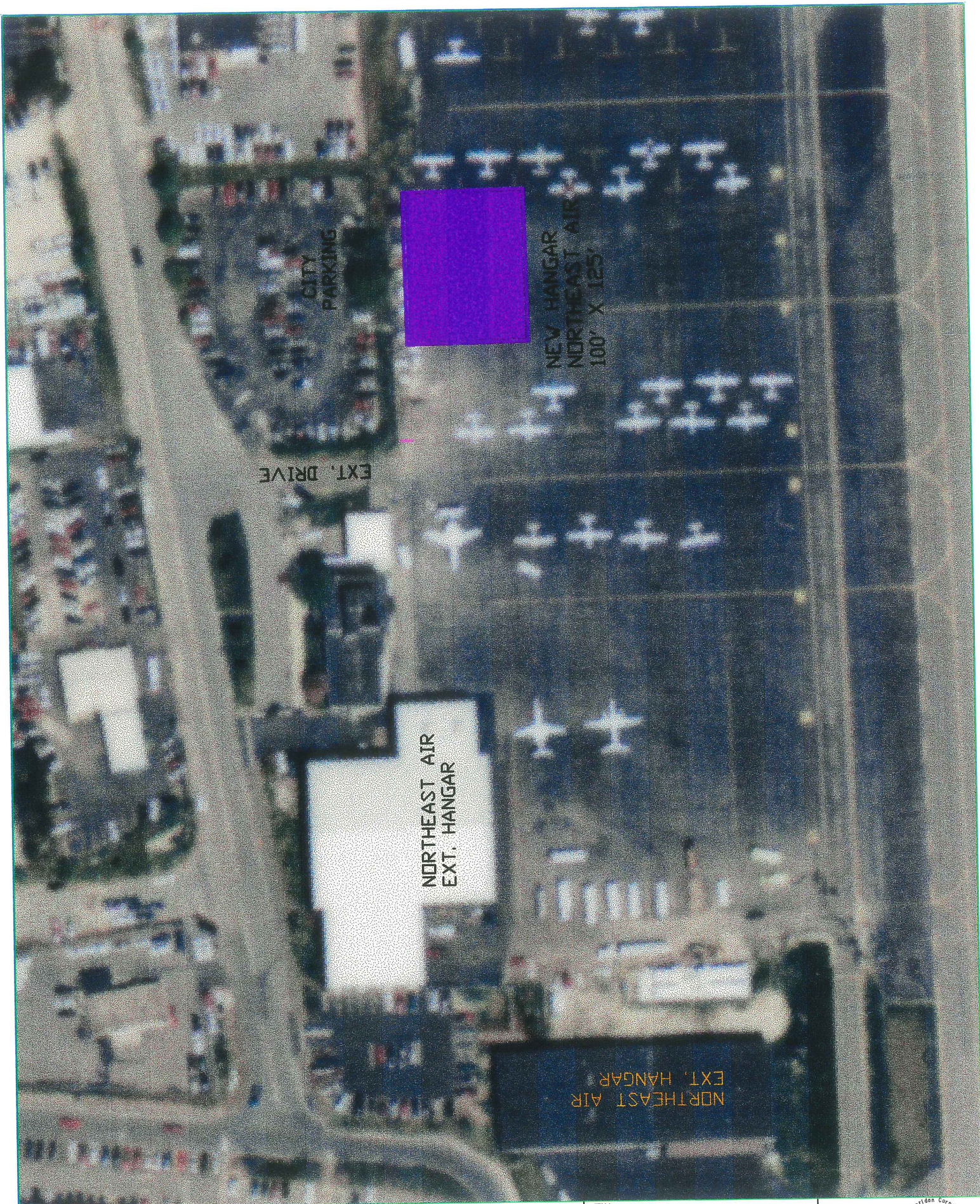
- | | | |
|---|---|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit _____ copies for approval |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit _____ copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Return _____ corrected prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> _____ | |
| <input type="checkbox"/> FOR BIDS DUE _____ 19 _____ | | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |

REMARKS:

These plans are for your use with the Board members.

COPY TO: File

SIGNED: Kenneth S. Lamoreaux
 Director of Engineering



CITY PARKING

EXT. DRIVE

NEW HANGAR
NORTHEAST AIR
100' X 125'

NORTHEAST AIR
EXT. HANGAR

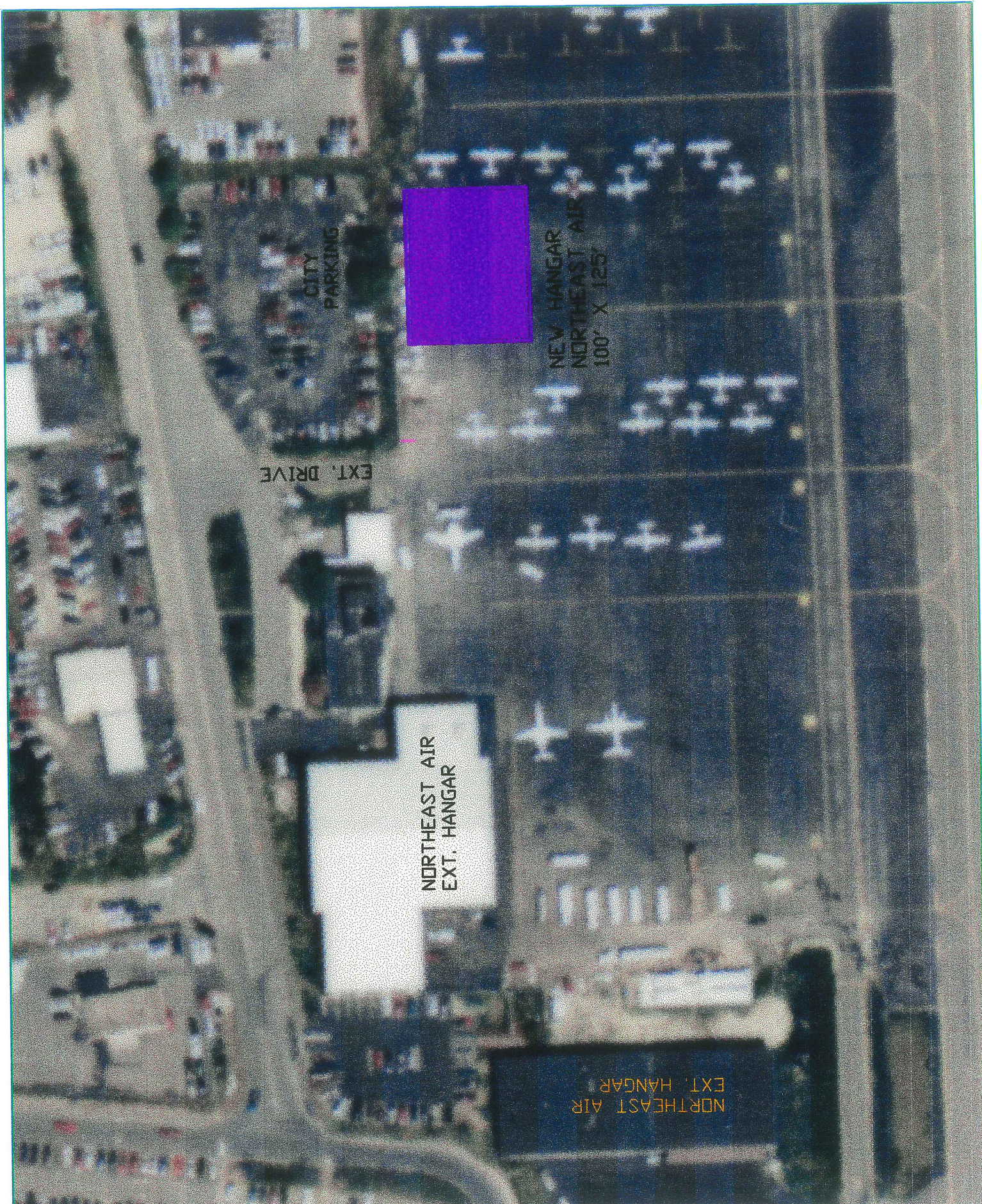
NORTHEAST AIR
EXT. HANGAR

TYPE	EST. NO
DRAWN BY	JOB NO. 991059
APPROVED BY	ENGINEERING DWG. NO. SD-A
SCALE 1" = 100'	SIZE
DATE 3.28-2000	

Engineering Designs For
NORTHEAST AIR
PORTLAND INTERNATIONAL JETPORT
PORTLAND, MAINE

Title AERIAL VIEW of NEW HANGAR
1023 WESTBROOK STREET
PORTLAND, ME
BUTLER DESIGN BUILDER





TYPE	EST. NO
DRAWN BY	JOB NO. 991059
APPROVED BY	ENGINEERING SD-A
SCALE 1" = 100'	DWG. NO.
DATE 3.28-2000	SIZE

Engineering Designs For
 NORTHEAST AIR
 PORTLAND INTERNATIONAL JETPORT
 PORTLAND, MAINE

Title AERIAL VIEW of NEW HANGAR
 1023 WESTBROOK STREET
 PORTLAND, ME

BUTLER DESIGN BUILDER

**FAIRFIELD
 PORTLAND
 MAINE**

The Sheridan Corporation
 Portland • Estab. 1947 • Maine

Department of Public Works



William J. Bray
Director

CITY OF PORTLAND

20 March 2000

Mr. Kenneth S. Lamoreaux,
Director of Engineering,
The Sheridan Corporation,
P.O. Box 359,
Fairfield, Maine 04937

RE: Handling Wastewater Flows, from the Proposed Northeast Air Hanger, at the Portland International Jetport, 1023 Westbrook Street.

Dear Mr. Lamoreaux:

Thank you, for letting me know that Kandi Talbot is your City Planner. Thanks also, for informing me that the proposed Northeast Air hangar will not have any floor drains. Mr. James Robbins, our vault archivist, determined the address for the proposed hangar. It is 1023 Westbrook Street.

As I mentioned, during our telephone call, of 3/15/00, David Peterson, senior wastewater Technician, suggested an 8" diameter gravity line. It would run, from West to east, along the northern edge, of the existing property lease. It would accommodate this proposed Northeast Air hangar, as well as future building growth. If this scenario were to be your choice, then the City prefers that you enter the Westbrook Street Sewer at manhole #6 (please see enclosed sheet No.2, plan 904/4). This would also require creating a proper channel, in manhole #6, in order to receive your 8" diameter trunk line. This would be the City's preferred location and type of entry into our Westbrook Street Sewer.

If you decide to pump, then The City prefers that you enter the Westbrook Street Sewer line between the penultimate manhole, #14, and the terminal manhole, #15 (see sheet No.2, plan 904/4). The connection requires an "Insertatee," above the spring line of the Westbrook Street Sewer, at ten, eleven, one, or two o'clock. The last ten feet, of your building lateral, before the "Insertatee" connection, must be a minimum of 4" diameter, Schedule 40, or SDR 35, polyvinyl chloride (PVC) sanitary sewer pipe. An envelope of crushed stone must surround the PVC building sewer lateral. The envelope is 6" above, below, and around the building lateral.

If I can be of further assistance, please call me at 874-8832.

Sincerely,

CITY OF PORTLAND

Frank J. Brancely
Frank J. Brancely, Jr. B.A., and M.A.
Senior Engineering Technician

FJB

Enc.: Sheets 2,5,7 of 10, Plan 904/4.

cc: Joseph E. Gray, Director, Department of Planning, and Urban Development, City of Portland
Kandi Talbot, Planner, Department of Planning, & Urban Development, City of Portland
Katherine A. Staples, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Desk file

O:\Engshare\CSO\1023WBSt.Doc



The Sheridan Corporation

April 2, 1997

Ms. Kandi Talbot, Planning Department
 City of Portland
 389 Congress Street
 Room 211
 Portland, Maine 04101

Re: Northeast Air
 987 Westbrook Street
 SCC Project No. 9606



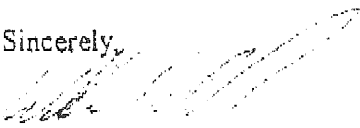
Dear Kandi:

I have received the Certificate of Occupancy dated March 24, 1997, from the inspection department along with an attached memorandum from Jim Wendel of Deluca Hoffman Associates, Inc. dated March 5, 1997. I will address each of the eleven questions / comments listed in the March 5, 1997, memo below.

1. The remote light poles were deleted.
2. Some of the landscaping has changed per owner request and was approved by the city.
3. The new pavement at the fuel farm was deleted by owner request. RAP has been installed in lieu of hot top.
4. The new fence around the new fuel farm may or may not be installed by the owner in the future.
5. The wood benches were deleted per owner request.
6. Due to site grading changes, this walk was deleted. Please review the revised plan by Sebago Technics dated August 30, 1996.
7. The signage for the handicap spaces will be installed this Spring.
8. The 3' man gate at Lot 22 was deleted per owner request and the fire hydrant relocation.
9. The brick paver entrance at the new aviation terminal will be completed this Spring.
10. The storm drainage system had to be altered per the jetport manager requirements. What is in place now has been approved.
11. This area was changed per owner request.

If you have any questions or comments, I may be reached at 1-(207)-453-9311.

Sincerely,


 Wilbur Ferland
 Project Manager

cc: Jim Wendel, Development Review Coordinator -- Deluca Hoffman Associates, Inc.
 Henry Laughlin III, President -- Northeast Air
 Chuck Stone, Ken Lamoreaux -- The Sheridan Corporation

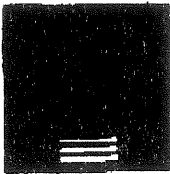
WF/vbc 9606\prtInd4-2.ltr
 P.O. BOX 359 • FAIRFIELD, MAINE 04937



207/453-9311 • FAX 207/453-2820

SEP. 27. 2000 12:01PM DELUCA-HOFFMAN ASSOC

NO. 895 P. 2/2



DELUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE B
SOUTH PORTLAND, MAINE 04106
TEL. 207 773 1121
FAX 207 779 0496

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Chris Earle, Development Review Coordinator Assistant
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: September 21, 2000

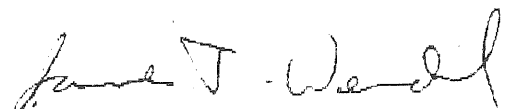
RE: Certificate of Occupancy – Northeast Air – 987 Westbrook Street

We have reviewed correspondence from this office dated March 5, 1997 and correspondence from the Sheridan Corporation dated April 2, 1997, as well as City of Portland files and plans. Additionally, a visit was made to the site and, with the exception of a brick paver entrance at the terminal, everything seems in order. We recommend that a Permanent Certificate of Occupancy be issued, providing neither Code Enforcement nor Public Works has any outstanding issues.

MECCA LIFEIMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

- 9. The brick paver entrance to the new aviation terminal is not complete.
- 10. Catch basins 6 and 7 have not been installed. Apparently public works approved a modification to the storm drain system.
- 11. A portion of the expanded pavement area south of the proposed building was not constructed.

It is my opinion that a temporary certificate of occupancy could be issued assuming code enforcement has no outstanding issues. Also this report should assist you in determining a reduction in the letter of credit.


James T. Wendel, P.E.

c: Kandi Talbot, Planning Department
JN1350.10nrestair



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 5
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1171
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: March 5, 1997

RE: Request for Certificate of Occupancy and
Letter of Credit Reduction
Northeast Air Expansion
987 Westbrook Street
Portland Jetport

On March 5, 1997 I reviewed the site for compliance with the approved site plan and conditions of approval dated 6/26/96.

Overall the project is in good condition; the following items were either missing, incomplete or different from the approved plan.

1. The remote pole site lighting have not been installed; were they deleted?
2. Some of the landscaping appears to be different and some of it has not been planted. Also, some disturbed areas have not been stabilized.
3. The new paving in the vicinity of the new fuel tank farm has not been paved.
4. The fence around the tank farm has not been installed probably because the two 25,000 gallon fuel tanks have not been installed.
5. The two wood benches at the entrance to the building in lot 17 have not been installed and this area has been reconfigured. The original intent appears to be the same.
6. The sidewalk for the door at the northwest corner of the proposed building in lot 21 has not been installed. A new business sign is located in this area.
7. The signage for the handicap spaces have not been installed.
8. The 3' gate between the new aviation terminal and the existing general aviation terminal (lot 22) has not been installed.

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 987 Westbrook St 204-A-001

Date of Issue

Issued to Northeast Administratives, Inc.

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 960859, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

APPROVED OCCUPANCY

PORTION OF BUILDING OR PREMISES

Hangar/Service Center

Entire

Limiting Conditions: TEMPORARY:

See attached memor from Jim Wendel dated 05 March 1997 listing eleven (11)

conditions of approval.

This certificate supersedes
certificate issued

Approved
3/24/97 Amy Powers
Inspector

[Signature]
Inspector of Buildings

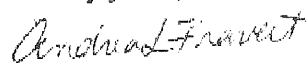
Notice: This certificate identifies lawful use of building or premises, and may be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

[Signature]

Mr. Sam Hoffses
Ms. Kandi Talbot
October 5, 2000
Page 2

If you need any further information, please contact me at 871-7500.

Sincerely yours,



Andrea L. Fravert

:alf

Enclosures

cc: Henry A. Laughlin III
Lawrence R. Clough, Esq.

VAN MEER & BELANGER

A PROFESSIONAL ASSOCIATION
ATTORNEYS AT LAW
25 LONG CREEK DRIVE
SOUTH PORTLAND, MAINE 04106-2417

THOMAS J. VAN MEER
NORMAN R. BELANGER
D. KELLEY YOUNG
RICHARD N. BRYANT
BETTS J. GORSKY
MARY McOUILLEN
ANDREA L. FRAVERT

TELEPHONE: (207) 871-7500
FAX: (207) 871-7506
E-MAIL: info@vblawfirm.com

October 4, 2000

Mr. Sam Hoffses
Code Enforcement Office
389 Congress Street
Portland, Maine 04101

Ms. Kandi Talbot
Planning Department
389 Congress Street
Portland, Maine 04101

RE: Northeast Air.

Dear Mr. Hoffses and Ms. Talbot:

As I discussed with each of you on the telephone today, my firm represents Northeast Air. Northeast Air built a new hangar at the Portland International Jetport in 1997. At the time of completion, a Temporary Certificate of Occupancy was issued which referenced a memorandum from Jim Wendell and eleven outstanding issues. The Sheridan Corporation wrote a letter in response to the eleven point Wendell memorandum, but no permanent Certificate of Occupancy was ever issued.

Chris Earle from Deluca Hoffman inspected the site and drafted a memorandum addressed to both of your offices on September 21, 2000. Mr. Earle's memorandum recommends that a permanent Certificate of Occupancy be issued for the site. I have enclosed copies of all of the relevant documentation with this letter.

Northeast Air is under an obligation with its lender to get the permanent Certificate of Occupancy issued within thirty (30) days of the date of this letter. If the City will not be able to issue a permanent Certificate of Occupancy within this time period, I need to be notified as soon as possible.

I appreciate your immediate attention to this outstanding matter. If you find that a permanent Certificate of Occupancy is in order, I would appreciate your notifying me when it is issued.

To: Ms. Kandi Talbot

Van Meer & Belanger
25 Long Creek Drive
South Portland, ME 04106
207-871-7500
Fax: 207-871-7505

FAX COVER SHEET

FAX NUMBER TRANSMITTED TO: 756-8258

To: Kandi Talbot
Of: Planning Dept.
From: Andrea L. Fravert, Esq.
Client/Matter: Northeast Air
Date: October 5, 2000

DOCUMENTS	NUMBER OF PAGES*
Correspondence	2
Certificate of Occupancy	1
Memorandum (2)	3
The Sheridan Corp. Correspondence	1

COMMENTS:
Original will ~~NOT~~ follow.

The information contained in this facsimile message is information protected by attorney-client and/or the attorney/work product privilege. It is intended only for the use of the individual named above and the privileges are not waived by virtue of this having been sent by facsimile. If the person actually receiving this facsimile or any other reader of the facsimile is not the named recipient or the employee or agent responsible to deliver it to the named recipient, any use, dissemination, distribution, or copying of the communication is strictly prohibited. If you have received this communication in error, please immediately notify us by telephone and return the original message to us at the above address via U.S. Postal Service.

* NOT COUNTING COVER SHEET. IF YOU DO NOT RECEIVE ALL PAGES, PLEASE TELEPHONE US IMMEDIATELY AT 207-871-7500.



The Sheridan Corporation

April 10, 2000

Mr. Mark Goodwin
Northeast Air
Portland International Jetport
Portland, ME 04102

Re: City Application for Northeast Air Hangar

Dear Mr. Goodwin:

In my cover letter, I stated we are adding 10 parking spaces. This is incorrect. We are actually adding 15 parking spaces.

The plans show 15 spaces and that is the number we will add. Thank you.

Sincerely,

Kenneth S. Lamoreaux
Director of Engineering

KSL/mak

Cc: Kandi Talbot

Ref: northeast air/goodwin 0410

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 19, 2000

Mr. Thomas G. Ainsworth
President
Stroudwater Improvement Association
12 Garrison Street
Portland, ME 04102

Re: Proposed Northeast Air Hangar, 1023 Westbrook Street

Dear Mr. Ainsworth:

The Northeast Air Hangar project was removed from the April 11th Planning Board agenda. Once this item is rescheduled and goes to the Planning Board, I will be happy to send you any information that the Planning Board receives. Also, please note, that notices will be mailed out prior to a Planning Board meeting.

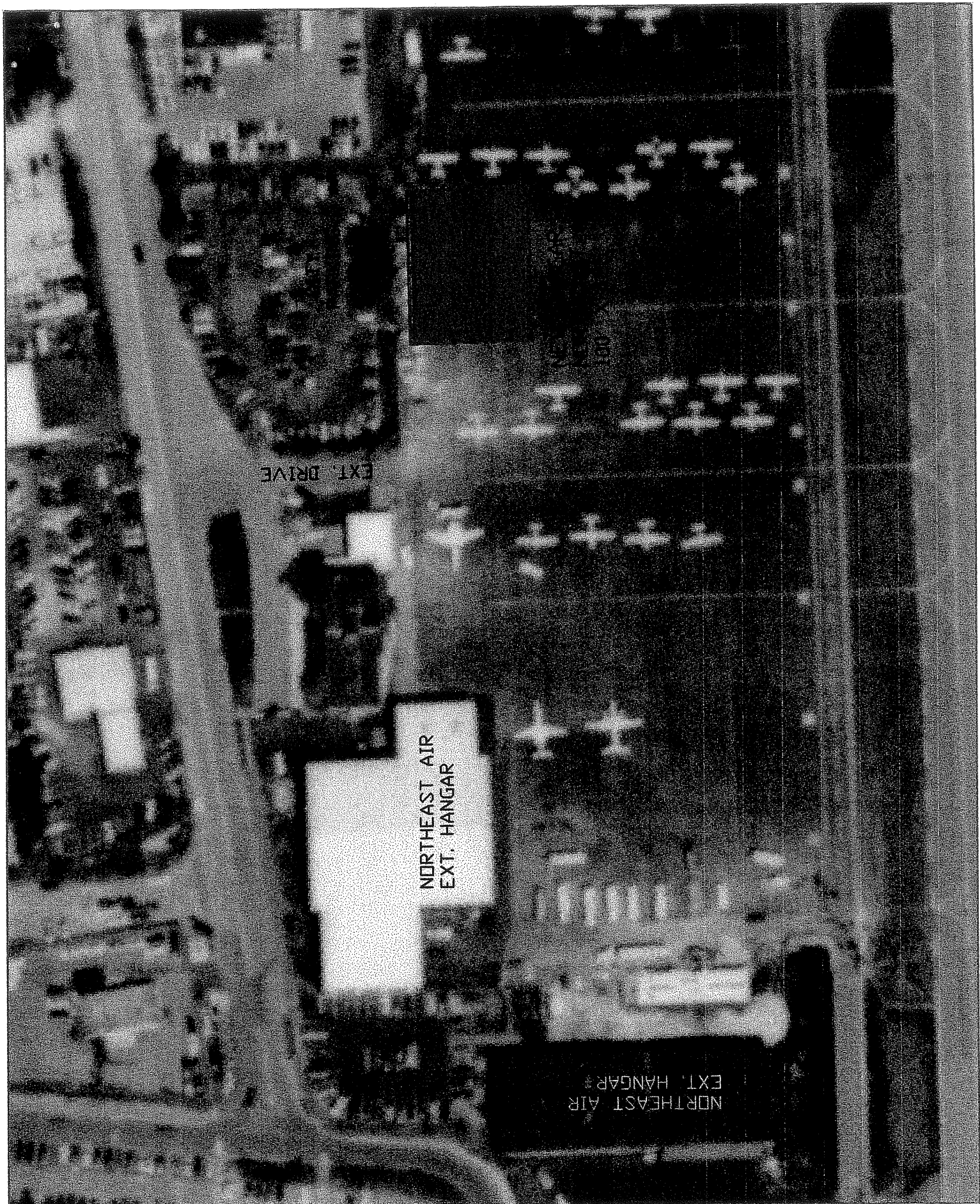
Attached is a copy of the plan proposed by Northeast Air. However, this may change in the near future.



If you have any questions, please do not hesitate to contact me at 874-8901 or e-mail me at kcote@ci.portland.me.us.

Sincerely,

A handwritten signature in cursive script that reads 'Kandice Talbot'.

Kandice Talbot
Planner



TYPE	EST. NO	Engineering Designs For NORTHEAST AIR PORTLAND INTERNATIONAL JETPORT PORTLAND, MAINE	Title AERIAL VIEW of NEW HANGAR 1023 WESTBROOK STREET PORTLAND, ME	FAIRFIELD PORTLAND MAINE 
DRAWN BY	JOB NO. 991059			
APPROVED BY	ENGINEERING DWG. NO. SD-A			
SCALE 1" = 100'	SIZE			
DATE 3.28-2000			 DESIGN BUILDER	

Portland International Jetport
Jeffrey Schultes, A.A.E.
Manager



Jeffrey W. Monroe
Transportation & Waterfront
Director

CITY OF PORTLAND

24 April 2000

Mr. Henry Laughlin
President
Northeast Air
Portland International Jetport
Portland, Maine 04102

Dear Henry:

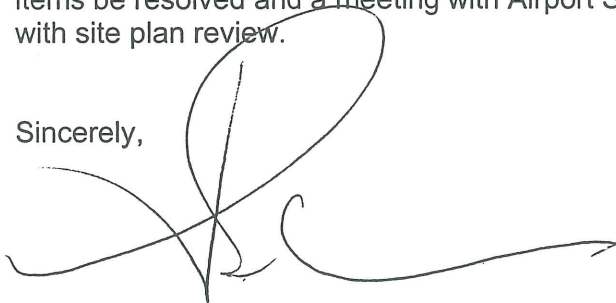
The airport staff has reviewed your submittal for the new proposed hangar on your ramp and we have several comments concerning what has been planned.

1. We need to have architectural drawings of the proposed facility to assure that there is no height problem (FAR Part 77). This would also provide us with additional details on interior mechanical system and grading and watershed potential issues.
2. There could be a potential with debris control. Contractor should be prepared to vacuum sweep area as required.
3. Need details on proposed temporary and permanent fencing, this is a FAR 108 issue. Also, need information as to if the fencing along the General Aviation parking lot will be removed. This would allow the area to be graded and mowed, giving a better appearance.
4. How will the drainage from the General Aviation parking lot be handled? This could cause a problem with the new hangar.
5. There are two ramp lights that may be overshadowed by the new hangar. It must be determined if this will cause a ramp safety problem and if not needed, maybe they could be turned to add light to the parking lot.
6. The plan shows no floor drains. Floor drains must be added and connected into sanitary sewer as required by our EPA - Storm Water Prevention Plan.
7. We feel that the sanitary sewer line should be pumped to Westbrook Street rather than cut across the ramp. If they insist upon cutting across the ramp the airport will require the following:
 - a. full depth diggable concrete encasement
 - b. continuous/night construction
 - c. saw cutting/sealing of joints

- d. load rated structures
- e. detailed plan showing how aircraft can safely operate during construction
- 8. Is there a contingency plan for ledge removal that may be required?
- 9. All new pavement and utility systems will be the total responsibility of Northeast Air.
- 10. In our first discussion we were concerned about the location of the stairs from the General Aviation parking lot. You indicated that you would move them. On your plan, they are still in the same location.
- 11. There appears that no pedestrian access has been allowed for from the General Aviation parking lot.
- 12. Rendering in plan conflicts with site plans.
- 13. Are there roof drains on the building?
- 14. How will snow removal be handled?
- 15. There is concern over the location of the 24' gate and the access with fuel delivery trucks.
- 16. We need to know how you will handle FAR 108 security access from new proposed hangar to the ramp.
- 17. The sewer shown on your plan appears to be extended to the north. Is this for future buildings?
- 18. In our initial meeting we asked for a memo showing how many tiedowns you presently had, how many would be available after the construction of this hangar, and how you intend to handle the loss of tiedowns.
- 19. Is there any flexibility in the location of your proposed hangar should conflicts be found?

There are considerable unanswered questions and I think that the above mentioned items be resolved and a meeting with Airport Staff take place prior to proceeding forward with site plan review.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to be 'Jeff Schultes', with a long horizontal flourish extending to the right.

Jeff Schultes, A.A.E.
Airport Manager

Cc: Kandi Talbot
Joe Gray ✓
Artie Sewall

STROUDWATER IMPROVEMENT ASSOCIATION
12 Garrison Street
Portland, Maine 04102

Thomas G. Ainsworth, President

April 12, 2000

City of Portland
Planning Board
City Hall
389 Congress Street
Portland ME 04101

RE: Proposed Northeast Air Hangar, 1023 Westbrook Street

Gentlemen/Gentlewomen:

Would you be kind enough to forward photostatic copies of materials submitted to the Planning Board relative to Northeast Air's application to construct a new hangar on the site of the original, general aviation terminal? Please know your assistance will be greatly appreciated.

Sincerely,



Thomas G. Ainsworth

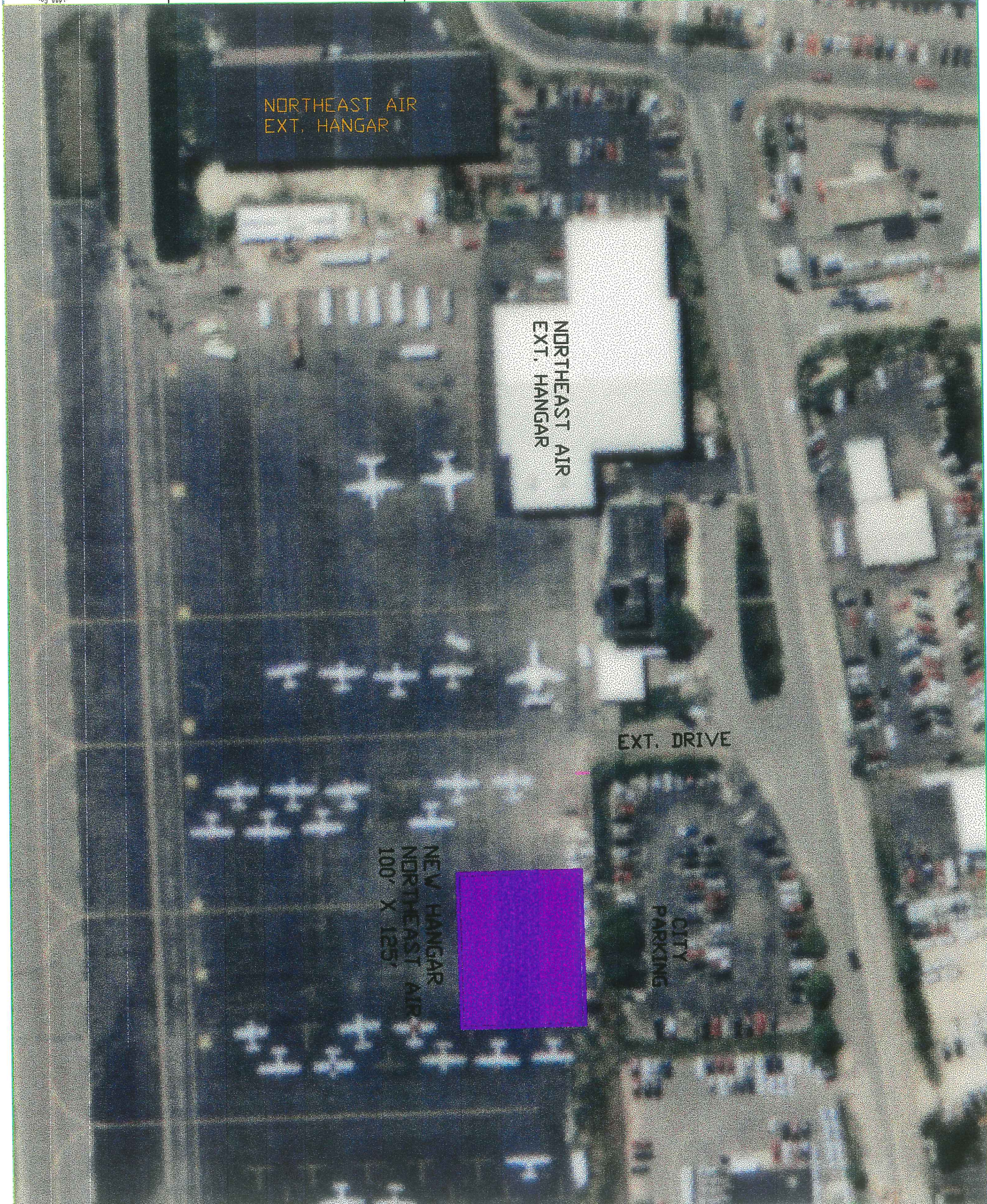
TGA/lsw

TYPE	EST. NO.
DRAWN BY	JOB NO. 991059
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SCALE 1" = 100'	DWG. NO.
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Engineering Designs For
 NORTHEAST AIR
 PORTLAND INTERNATIONAL JETPORT
 PORTLAND, MAINE

DESIGN BUILDER
BUTLER
 Title AERIAL VIEW of NEW HANGAR
 1023 WESTBROOK STREET
 PORTLAND, ME

FAIRFIELD PORTLAND MAINE
 The Shepley Construction & Planning
 Established 1947



City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction:		Zone:	
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#		Property owner, mailing address:	Telephone:
Consultant/Agent, mailing address, phone & contact person		Applicant name, mailing address, telephone #/Fax#/Pager#:	Project name:
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots ___ \$25.00 per lot \$_____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00 Major Development _____ \$500.00 Minor Development _____ \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00			
Who billing will be sent to:			
Mailing address:			
State and Zip:		Contact person:	Phone:

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date:
-------------------------	-------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

To Applicants for Development in Portland:

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as stormwater management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

Alexander Jaegerman, AICP
Planning Division Director

Development Review Fee Schedule

Application Fees:

- Major Site Plan Review (More than 10,000 sq. ft.) (Parking area - 50 spaces or more)	\$500.00
- After-the-fact Major Site Plan Review	\$1,500.00
- Minor Site Plan Review (Less than 10,000 sq. ft.)	\$400.00
- After-the-fact Minor Site Plan Review	\$1,200.00
- Minor-Minor Site Plan Review	\$300.00
- Subdivision Fee	\$500.00 (plus \$25.00 per lot)
- Section 14-403 Review	\$400.00 (plus \$25.00 per lot)
- Site Location of Development	\$300.00 (except for residential projects which shall be \$200.00 per lot)
- Traffic Movement Permit	\$1,000.00
- Stormwater Quality Permit	\$250.00

Engineering Fees:

- Engineering Review Fee	Assessed by Engineer
- Inspection Fee	2% of Performance Guarantee or as assessed by Planning or Public Works Engineer with \$300.00 being the minimum)

Permit Fees:

- Building Permit Fee (Based on cost of work - estimated cost of labor and materials)	\$30.00 for the first \$1,000.00 (\$7.00 per additional \$1,000.00)
--	--

Noticing/Advertisements

- Legal Advertisement (Ad runs for workshop mtg. and public hearing mtg.)	Percent of total bill
- Notices (Notices are sent when application is received, for workshop mtg. and public hearing mtg.)	.40 cents each

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

HERTZ
Project Name, Address of Project *MINOR REVIEW DETERMINED AT* Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
<u>NO STAMP OR SURVEY REF</u>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
	(2)	Name and address of applicant and name of proposed development	a
	(3)	Scale and north points	b
<u>OK</u>	(4)	Boundaries of the site	c
<u>OK</u>	(5)	Total land area of site	d
<u>OK</u>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
	(8)	Existing soil conditions	a
	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
	(11)	Approx location of buildings or other structures on parcels abutting the site	d
	(12)	Location of on-site waste receptacles	e
	(13)	Public utilities	e
	(14)	Water and sewer mains	e
	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
	(18)	Parking areas	g
	(19)	Loading facilities	g
	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<u>OK</u>	(21)	Curb and sidewalks	g
<u>OK</u>	(22)	Landscape plan showing:	h
	(23)	Location of existing proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
	(26)	Size of proposed landscaping	h
	(27)	Existing areas to be preserved	h
	(28)	Preservation measures to be employed	h
	(29)	Details of planting and preservation specifications	h
	(30)	Location and dimensions of all fencing and screening	i
	(31)	Location and intensity of outdoor lighting system	j
	(32)	Location of fire hydrants, existing and proposed	k
	(33)	Written statement	c
	(34)	Description of proposed uses to be located on site	1
	(35)	Quantity and type of residential, if any	1
	(36)	Total land area of the site	b2
	(37)	Total floor area and ground coverage of each proposed building and structure	b2
	(38)	General summary of existing and proposed easements or other burdens	c3
	(39)	Method of handling solid waste disposal	4
	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
	(42)	An estimate of the time period required for completion of the development	7
	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
	(44)	The status of any pending applications	8
	(45)	Anticipated timeframe for obtaining such permits	h8

CITY OF PORTLAND, MAINE

PLANNING BOARD

Cyrus Hagge, Chair
John H. Carroll, Vice Chair
Joseph R. DeCoursey
Kenneth M. Cole III
Jaimey Caron
Kevin McQuinn
Deborah Krichels

Mr. Jeff Schultes
Portland International Jetport
Westbrook Street
Portland, ME 04101

RE: Jetport Access Road Site Plan

Dear Mr. Schultes:

On October 29, 1996, the Portland Planning Board voted on the following motions regarding the proposed Jetport access road that runs from Congress Street to the Jetport loop road.

1. The Board voted 5-0 (DeCoursey, Krichels absent) that the plan was in conformance with the Subdivision Ordinance of the Land Use Code with the following conditions:
 - i. That a revised utility plan for the roadways shall be submitted to City staff for review and approval reflecting comments of Public Works, Fire Department, Portland Water District and other utility services.
 - ii. That a revised subdivision recording plat shall be submitted for Planning Board signature.
 - iii. That the second roadway shall be submitted for Planning Board review and approval when property ownership issues have been resolved.
 - iv. That the plan shall be revised to reflect the comments of the Development Review Coordinator contained in a memo dated 10-18-96.
 - v. That a thorough pedestrian circulation plan be executed as part of the final phase subdivision (second roadway).
2. The Board voted 5-0 (DeCoursey, Krichels absent) that the plan was in conformance with the Site Plan Ordinance.
3. The Board voted 5-0 (DeCoursey, Krichels absent) that extraordinary conditions do exist and/or that undue hardship may result from street compliance with the requirements set forth in sec. 14-498(b)(8), therefore approves a waiver for a sidewalk on one side of the street.

The Planning Board approval covers the new roadway running from Congress Street to the loop road; the Westbrook Street cul-de-sac and certain revisions to the driveways of parking lots. The second roadway is not included in this approval.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report # 57-96, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

CITY OF PORTLAND, ME PERMIT REQUEST STREET OPENINGS

PERMIT NUMBER _____

DIG SAFE NUMBER 19991400477

24 HOUR NO: 883-9546

Company Name: MAIETTA CONSTRUCTION Date of Request 4-23-99

Address: 129 WALNUT ST. SO. PORTLAND Phone No: 883-9546

Hereby request permission to excavate 1049 WESTBROOK ST PORTLAND JETPORT
Street number and name

Beginning APRIL 26, 1999 Ending MAY 24, 1999 dates of proposed work.

Purpose, scope, and limits of work to be done; including the utility and description of materials to be used:

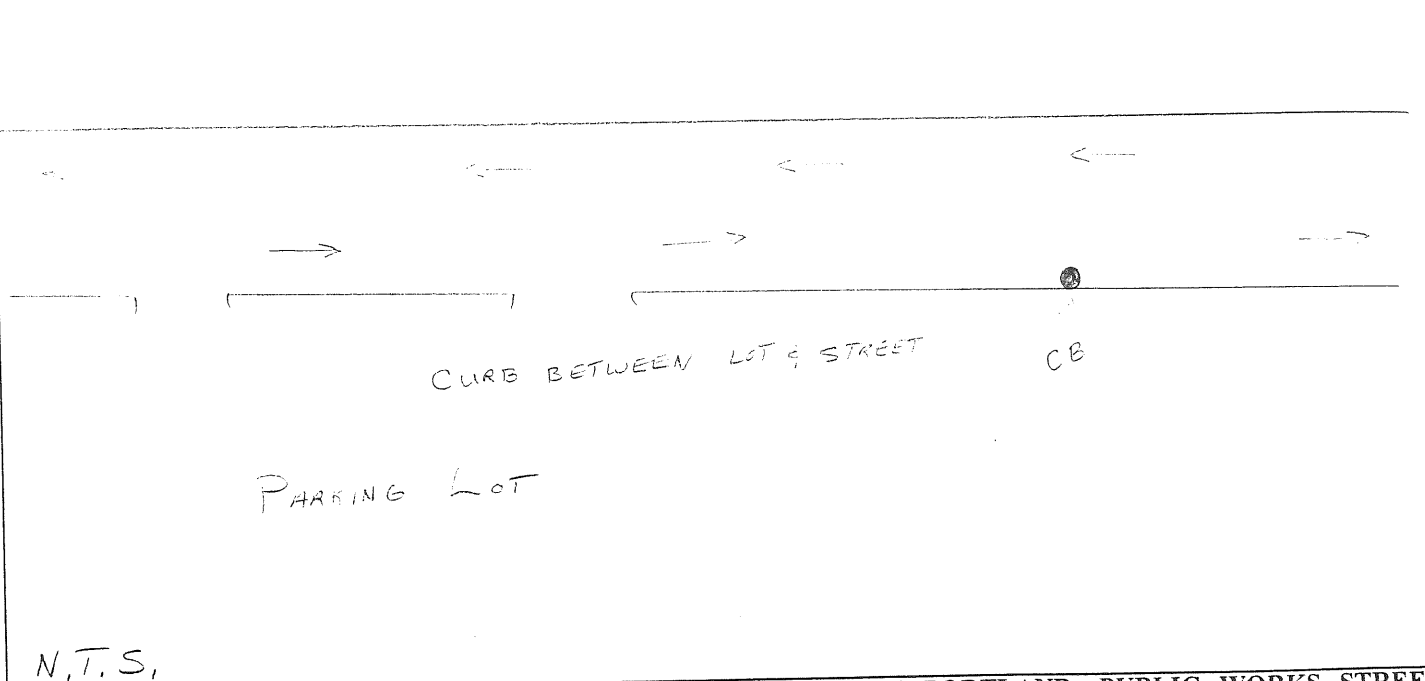
INSTALL GRANITE CURB AND CB AT HERTZ RENTAL CAR

If this is an EMERGENCY, has work been completed? YES _____ NO _____
Date & Time

Location, size, and number of pavement cuts anticipated: 240' LF w/ 4 CUTS BY 2' WIDE
CB AREA 6x6 $240 \times 2 = 480 + 24 = 504 \text{ sq ft}$

Method of excavation and backfill with certified soil test; gravel reports must include stockpile location
 address: 154 PLEASANT HILL ROAD SCARBOROUGH

DIAGRAM OF WORK



ALL CONTRACTORS/INDIVIDUALS MUST NOTIFY THE CITY OF PORTLAND, PUBLIC WORKS STREET OPENING INSPECTOR AT 874-8841, 24 HOURS BEFORE EXCAVATING. ALSO, YOU MUST NOTIFY PPW WASTEWATER & DRAINAGE AT 874-8467 FOR INSPECTION BEFORE BACKFILLING SEWER DRAIN CONNECTIONS FOR INSPECTIONS. A MINIMUM OF 4 HOURS NOTICE IS NEEDED. FIVE WORKING DAYS NOTIFICATION MUST BE GIVEN FOR ALL SEWER CONNECTIONS MADE BY THE CITY.

Sharon Ramsay
 Licensed Excavator's Signature

4-23-99
 Date

MAIETTA CONSTRUCTION, INC.

154 Pleasant Hill Road
SCARBOROUGH, MAINE 04074

LETTER OF TRANSMITTAL

(207) 883-9546
FAX (207) 883-7019

TO CITY OF PORTLAND
PLANNING DEPT
CITY HALL
* HAND DELIVERED

DATE <u>4-23-99</u>	JOB NO.
ATTENTION	
RE: <u>HERTZ PARKING LOT</u>	

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications

Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1	4-22-99	2 PGS	BOND PERFORMANCE No 051161
1	4-23-99		CR No 1741 \$ 725.60 FOR INSPECTION FEES & ENGINEERING FEES
1	2-19-99		PLANS
1			COPY OF STREET OPEN PERMIT

THESE ARE TRANSMITTED as checked below:

For approval Approved as submitted Resubmit _____ copies for approval

For your use Approved as noted Submit _____ copies for distribution

As requested Returned for corrections Return _____ corrected prints

For review and comment _____

FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

SIGNED: SAR

If enclosures are not as noted, kindly notify us at once.

MAIETTA CONSTRUCTION, INC.
129 WALNUT STREET
SOUTH PORTLAND, ME 04106
TEL (207) 883-9546
FAX (207) 883-7019

*BOND AMOUNT
SHOULD BE
\$68,000
RK
4-16-99*

FAX COVER LETTER

DATE 4-7-99

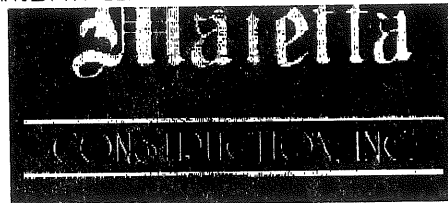
FAX TO: RICK NOLAN
COMPANY: CITY OF PORTLAND
FAX #: 756-8258
FAX FROM: CRAIG BABBIDGE

*BOND AS
NOT BEEN
RECEIVED BY
4-16-99*

MESSAGE:

TOTAL NUMBER OF PAGES (INCLUDING THIS PAGE) 4

IF YOU ENCOUNTER ANY DIFFICULTIES RECEIVING THIS, PLEASE
CALL SHARON @ (207) 883-9546.



January 19, 1999

Hertz Corporation
Attn: Frank Gioe
225 Brae Blvd.
Park Ridge, NJ 07656

**Re: Hertz Parking Lot Expansion
Portland International Jetport**

Dear Mr. Gioe,

Thank you for considering our company in the quotation for the above mentioned project.

We at Maietta Construction, Inc. are pleased to provide a quotation for all equipment, labor and materials, as specified on the plans and in the attached Scope of Work, for the Lump Sum Price of : **\$58,962.00**

Fifty Eight Thousand, Nine Hundred Sixty Two Dollars

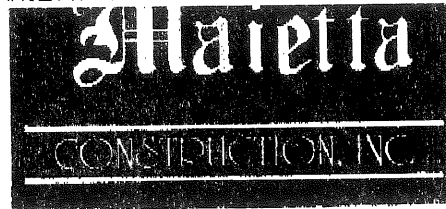
Please feel free to contact me with any questions or concerns you may have at 883-9546 ext. 29.

Sincerely,

A handwritten signature in cursive script that reads "Craig E. Babbidge".

Craig E. Babbidge
Estimator

attachment



Hertz Parking Lot Expansion
Portland International Jetport

Attachment A
January 19, 1999

SCOPE OF WORK

1. Erosion Control Measures as required including: installation of a stone construction entrance and approximately 110lf of silt fence.
2. Selective Site Demolition as shown including: removal of the existing fence and guardrail, remove one tree and removal of existing bituminous curb.
3. Strip and Grub site for gravel prep work.
4. Cuts and Fills to subgrade as required.
5. Provide Gravel Prep work as required with 15" of subbase and 3" of base material.
6. Storm Drainage to include approximately 138lf of 15" pipe, remove existing headwall, install one Type "E" catch basin, one storm drain manhole, filter fabric and rip rap area.
7. Provide Site Lighting with approximately 410lf of electrical conduit and 3 light poles with fixtures as shown.
8. New Fencing and Guardrail as detailed tying into existing ones.
9. Landscaping to include three red maple trees. (2.5" - 3" caliper)
10. Bituminous Pavement and Curb as shown.
11. Loam and Seed all disturbed areas.
12. Alter Existing Sidewalk to provide three (3ea) handicap ramps.
13. Install 135lf Granite Curb and 5' wide Bituminous Sidewalk in Right of Way.
14. Obtain Street Opening Permit for work within City Right of Way.

Notes and Exclusions

1. All engineering, testing and permits other than Street Opening Permit, will be by others.
2. Unclassified excavation (i.e. ledge, contaminated or poor soils) will be extra.
3. Proposal may be rejected if not accepted in 30 days.



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

December 30, 1998

Mr. Rick Knowland, Senior Planner
City of Portland
Planning and Urban Development
389 Congress Street
Portland, Maine 04101

Subject: Hertz Parking Lot Expansion

Dear Rick:

In response to your latest correspondence regarding water quality, we believed that since the City (Jetport) is the owner of the parcel and since the Jetport is planning to mitigate the effects of stormwater from paved surfaces that will include this area, the water quality unit proposed by the Jetport for this drainage regime would be adequate. Additionally, (1) with the airport personnel responsible for maintenance, there would be some assurance that the unit is cleaned on a regular basis, and (2) the Maine Department of Environmental Protection approved this method of addressing water quality as evidenced by the enclosed Permit Modification.

Very truly yours,

DeLUCA-HOFFMAN ASSOCIATES, INC.

Michael J. DeLuca, P.E.
Senior Vice President

MJD/sq/JN1719/Knowland12-30

Enclosure





STATE OF MAINE
DEPARTMENT OF
ENVIRONMENTAL PROTECTION
17 STATE HOUSE STATION
AUGUSTA, MAINE
04333

ANGUS S. KING, JR.
GOVERNOR

DEPARTMENT ORDER
IN THE MATTER OF

HERTZ CORPORATION/
PORTLAND INTERNATIONAL JETPORT
Portland, Cumberland County
HERTZ PARKING EXPANSION
L-13760-18-P-M (approval)

) SITE LOCATION OF DEVELOPMENT
)
) MODIFICATION
) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of 38 M.R.S.A. Section 481 et seq., the Department of Environmental Protection has considered the application of HERTZ CORPORATION/PORTLAND INTERNATIONAL JETPORT with its supportive data, agency review comments, and other related materials on file and FINDS THE FOLLOWING FACTS:

1. In Department Order #L-13760-18-A-N, dated October 9, 1987, the Department approved all development completed at the Jetport since 1970. The Department has approved several modifications and an amendment to the original permit for various expansions and for an access road relocation. The development is located on the easterly side of Westbrook Street in the City of Portland.
2. The applicant proposes to expand the northeast corner of the existing Hertz parking lot at the Jetport by approximately 5,500 square feet. The proposal is shown on a set of 4 plans, the first of which is entitled, "Hertz Corporation Site Plan," by DeLuca-Hoffman Associates, dated July, 1998.
3. The proposal has been reviewed by the Bureau of Land and Water Quality's Division of Watershed Management, which has commented that the approximately .13 acre increase in impervious area will not significantly affect the overall stormwater management plan.
4. Based on its review of the application the Department finds the requested modification to be in accordance with all relevant Departmental standards. All other findings of fact, conclusions and conditions remain as approved in Department Order #L-13760-18-A-N, and subsequent orders.

BASED on the above findings of fact, and subject to the Conditions listed below, the Department makes the following conclusions in relation to the proposed modification pursuant to 38 M.R.S.A. Section 481 et seq.:

A. The applicant has provided adequate evidence of financial capacity and technical ability to develop the project in a manner consistent with state environmental standards.

Post-it® Fax Note	7671	Date	# of pages ▶
		From	Shaw
		To	Mike deLuca
		Co.	
		Phone #	

L-13760-18-P-M

2 of 3

B. The applicant has made adequate provision for fitting the development harmoniously into the existing natural environment and the development will not adversely affect existing uses, scenic character, air quality, water quality or other natural resources in the municipality or in neighboring municipalities.

C. The proposed development will be built on soil types which are suitable to the nature of the undertaking and will not cause unreasonable erosion of soil or sediment nor inhibit the natural transfer of soil.

D. The proposed development meets the standards for storm water management in section 420-D and the standard for erosion and sedimentation control in section 420-C.

E. The proposed development will not pose an unreasonable risk that a discharge to a significant groundwater aquifer will occur.

F. The applicant has made adequate provision of utilities, including water supplies, sewerage facilities, solid waste disposal and roadways required for the development and the development will not have an unreasonable adverse effect on the existing or proposed utilities and roadways in the municipality or area served by those services.

G. The activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties nor create an unreasonable flood hazard to any structure.

THEREFORE, the Department APPROVES the application of HERTZ CORPORATION/PORTLAND INTERNATIONAL JETPORT to expand the existing Hertz parking lot at the Jetport by approximately 5,500 square feet, SUBJECT TO THE FOLLOWING CONDITIONS and all applicable standards and regulations:

1. The Standard Conditions of Approval, a copy attached.
2. In addition to any specific erosion control measures described in this or previous orders, the applicant shall take all necessary actions to ensure that its activities or those of its agents do not result in noticeable erosion of soils or fugitive dust emissions on the site during the construction and operation of the project covered by this approval.

L-13760-18-P-M

3. All other Findings of Fact, Conclusions, and Conditions remain as approved in Department Order #L-13760-18-A-N, and subsequent orders, and are incorporated herein.

DONE AND DATED AT AUGUSTA, MAINE, THIS 28th DAY OF December, 1998.

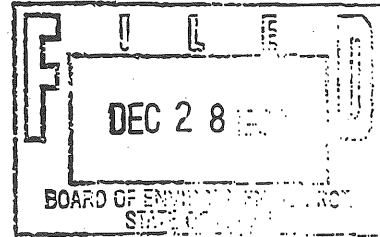
DEPARTMENT OF ENVIRONMENTAL PROTECTION

BY: *Martha Keppeler*
EDWARD O. SULLIVAN, COMMISSIONER

PLEASE NOTE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES

Date of initial receipt of application 10/6/98
Date application accepted for processing 10/14/98
Date filed with Board of Environmental Protection

BB/L13760pm



STANDARD CONDITIONS**STRICT CONFORMANCE WITH THE STANDARD AND SPECIAL CONDITIONS OF THIS APPROVAL IS NECESSARY FOR THE PROJECT TO MEET THE STATUTORY CRITERIA FOR APPROVAL.**

1. This approval is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from the plans, proposals and supporting documents is subject to the review and approval of the Board prior to implementation. Further subdivision of proposed lots by the applicant or future owners is specifically prohibited, without prior approval by the Board of Environmental Protection, and the applicant shall include deed restrictions to this effect.
2. The applicant shall secure and comply with all applicable Federal, State and local licenses, permits, authorizations, conditions, agreements, and orders, prior to or during construction and operation as appropriate.
3. The applicant shall submit all reports and information requested by the Board or Department demonstrating that the applicant has complied or will comply with all conditions of this approval. All preconstruction terms and conditions must be met before construction begins.
4. Advertising relating to matters included in this application shall refer to this approval only if it notes that the approval has been granted WITH CONDITIONS, and indicates where copies of those conditions may be obtained.
5. Unless otherwise provided in this approval, the applicant shall not sell, lease, assign or otherwise transfer the development or any portion thereof without prior written approval of the Board where the purpose or consequence of the transfer is to transfer any of the obligations of the developer as incorporated in this approval. Such approval shall be granted only if the applicant or transferee demonstrates to the Board that the transferee has the technical capacity and financial ability to comply with conditions of this approval and the proposals and plans contained in the application and supporting documents submitted by the applicant.
6. If the construction or operation of the activity is not begun within two years, this approval shall lapse and the applicant shall reapply to the Board for a new approval. The applicant may not begin construction or operation of the development until a new approval is granted. Reapplications for approval shall state the reasons why the development was not begun within two years from the granting of the initial approval and the reasons why the applicant will be able to begin the activity within two years from the granting of a new approval, if granted. Reapplications for approval may include information submitted in the initial application by reference.
7. If the approved development is not completed within five years from the date of the granting of approval, the Board may reexamine its approval and impose additional terms or conditions or prescribe other necessary corrective action to respond to significant changes in circumstances which may have occurred during the five-year period.
8. A copy of this approval must be included in or attached to all contract bid specifications for the development.
9. Work done by a contractor pursuant to this approval shall not begin before the contractor has been shown by the developer a copy of this approval.

(2/81)/Revised November 1, 1979

November 6, 1998

Mr. Richard Knowland, Senior Planner
City of Portland
Planning and Urban Development
389 Congress Street
Portland, ME 04101

Re: Hertz Parking Area Expansion

Dear Rick:

As requested, we have completed a review of the proposed parking lot expansion at the Hertz rental car facility at the Portland Jetport. The existing parking lot is being expanded so additional rental cars stored at the facility. This seems like a straight forward project, but there are few items that may warrant further clarification. These are summarized below.

- The parcel is apparently leased from the city of Portland. Will the lease plan need to be revised for this project? Lease lines are not currently shown on the plans.
- It is not clear where the proposed storm drain pipe will discharge. A new storm drain manhole is being installed towards the Irving Oil facility which is scheduled to tie into an existing storm drain. The size and location of this existing drain line is not shown.
- Is any of the existing swale scheduled to be filled considered a wetland area?
- Storm drainage water quality has not been addressed as part of the proposed improvements. We agree with DeLuca-Hoffman's assessment that the project will not significantly impact peak runoff rates.
- Drainage from the expansion at the northerly corner of the site is being directed to a rip rap slope. A new storm drain manhole is being installed at the toe of this slope. However, there is no provision for collecting this runoff. A low spot exists next to the Irving Oil facility at elevation 61, but there does not appear to be a drainage inlet at this location. The plans should probably include some provision for collecting and draining this runoff.
- The plans should include a detail for the proposed pedestrian gate.
- There is some discrepancy between the Pavement Sawcut Detail, the Typical Electrical Trench, and the Typical Trench Section details involving thicknesses of pavement and gravel materials. These should be cleared up prior to construction.
- A planting detail for the new red maple trees is missing from the plans.
- A temporary construction fence should be included for security while the work is taking place.

Mr. Richard Knowland
November 6, 1998
Page 2

Let me know if you have any questions in review of our comments or require any additional assistance on this project.

Respectfully submitted,

DUFRESNE-HENRY, INC.



Mr. Jeffrey D. Preble, P.E.
Senior Project Manager

C:\Civil\8160054\Project 'H' Hertz\Knowland\tr15.wpd

PUBLIC WORKS ENGINEERING
MEMORANDUM

To: Rick Knowland, Senior Planner

From: Anthony Lombardo, P.E., Project Engineer

Date: December 29, 1998

Subject: Westbrook St.....Hertz Corp....Parking Lot Expansion

The following comments were generated during Public Works Engineering review of proposed Hertz Corporation parking lot expansion as submitted by DeLuca-Hoffman Associates, Inc. The set of revised plans are dated December 16, 1998.

- *Public Works is satisfied with the revisions made to the plans dated December 16, 1998.*

PUBLIC WORKS ENGINEERING
MEMORANDUM

To: Rick Knowland, Senior Planner

From: Anthony Lombardo, P.E., Project Engineer

Date: November 12, 1998

Subject: Westbrook St.....Hertz Corp....Parking Lot Expansion

The following comments were generated during Public Works Engineering review of proposed Hertz Corporation parking lot expansion as submitted by DeLuca-Hoffman Associates, Inc. The plans are dated July 1998.

- *Public Works is requesting the applicant relocate the proposed catch basin to the edge of pavement in Westbrook Street. In addition, the granite curb should be extended to the new location of the basin. One (7) foot tipdown curb should extend beyond the headstone for the catch basin.*

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: 1049 Westbrook Street, Portland International Jetport		Zone: AB
Total Square Footage of Proposed Structure: 15,000 s.f.		Square Footage of Lot: 80,143 s.f.
Tax Assessor's Chart, Block & Lot Chart# <u>204</u> Block# <u>A</u> Lot# <u>001 002</u>	Property owner, mailing address: City of Portland, 389 Congress Street Portland, Maine 04101	Telephone: 207-774-6391
Consultant/Agent, mailing address, phone & contact person: _____ Sebago Technics, PO Box 1339, Westbrook, Maine 04098-1339 207-856-0277, Owens McCullough	Applicant name, mailing address, telephone #/Fax#/Pager#: Hertz Corporation 225 Brae Boulevard Park Ridge, New Jersey 07656 Ph: (201) 307-2303, fax: (201) 594-5402	Project name: Hertz Jetport Parking Lot Expansion
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input checked="" type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots _____ \$25.00 per lot \$ _____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input checked="" type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00 Major Development _____ \$500.00 Minor Development <input checked="" type="checkbox"/> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: Hertz Corporation Mailing address: 225 Brae Boulevard State and Zip: Park Ridge, New Jersey 07656 Contact person: David O'Sullivan Phone: (201) 307-2303		

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>10/11/02</u>
---	-----------------------

This application is for site review **ONLY**, a building Permit application and associated fees will be required prior to construction.

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Hertz Parking Lot Expansion
Project Name, Address of Project

I.d. Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
X 10/15/02	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	l
X	(2)	Name and address of applicant and name of proposed development	a
X	(3)	Scale and north points	b
X	(4)	Boundaries of the site	c
X	(5)	Total land area of site	d
X	(6)	Topography - existing and proposed (2 feet intervals or less)	e
X	(7)	Plans based on the boundary survey including:	2
N/A	(8)	Existing soil conditions	a
X	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
X	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
X	(11)	Approximate location of buildings or other structures on parcels abutting the site	d
X	(12)	Location of on-site waste receptacles	e
**	(13)	Public utilities	e
**	(14)	Water and sewer mains	e
X	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
X	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
X	(17)	Location and dimensions of on-site pedestrian and vehicular accessways	g
X	(18)	Parking areas	g
N/A	(19)	Loading facilities	g
**	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
X	(21)	Curb and sidewalks	g
N/A	(22)	Landscape plan showing:	h
N/A	(23)	Location of existing proposed vegetation	h
N/A	(24)	Type of vegetation	h
N/A	(25)	Quantity of plantings	h
N/A	(26)	Size of proposed landscaping	h
N/A	(27)	Existing areas to be preserved	h
N/A	(28)	Preservation measures to be employed	h
N/A	(29)	Details of planting and preservation specifications	h
X	(30)	Location and dimensions of all fencing and screening	i
X	(31)	Location and intensity of outdoor lighting system	j
N/A	(32)	Location of fire hydrants, existing and proposed	k
X	(33)	Written statement	c
X	(34)	Description of proposed uses to be located on site	l
N/A	(35)	Quantity and type of residential, if any	l
X	(36)	Total land area of the site	b2
N/A	(37)	Total floor area and ground coverage of each proposed building and structure	b2
N/A	(38)	General summary of existing and proposed easements or other burdens	c3
**	(39)	Method of handling solid waste disposal	4

<u>**</u>	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
<u>X</u>	(41)	Description of any problems of drainage or topography, or a representation that there are none (see project narrative)	6
<u>X</u>	(42)	An estimate of the time period required for completion of the development	7
<u>N/A</u>	(43)	A list of all state and federal regulatory approvals to which the development may be subject	8
<u>N/A</u>	(44)	The status of any pending applications	8
<u>N/A</u>	(45)	Anticipated timeframe for obtaining such permits	h8
<u>N/A</u>	(46)	A letter of non jurisdiction	h8
<u>below</u>	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that is has reviewed the planned development and would seriously consider financing it when approved.	

**** Existing Facility**

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- a noise study;
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious emissions; and
- a wind impact analysis.

Other comments:

(33), (41), (46) Refer to Project Narrative (Letter dated 10/11/02 prepared by
Sebago Technics, Inc.)

(47) Project will be funded through Hertz operational budget

October 11, 2002
02155

Ms. Sarah Hopkins
Planning and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Minor Site Plan Application
Hertz Parking Lot Expansion, 1049 Westbrook Street

Dear Ms. Hopkins:

On behalf of The Hertz Corporation, we are pleased to submit nine (9) copies of the attached site plan application and supporting documentation for a proposed 13,800 square foot parking lot expansion with improvements to be constructed at the existing Hertz facility located at 1049 Westbrook Street at the Portland International Jetport. The proposed parking area measures approximately 35' x 400' providing 74 new parking spaces. This facility is used to service and temporarily store rental cars and is not open to the public. There is an existing 65' x 65' office building/garage on the site with paved parking for approximately 171 vehicles. The facility is contained within a chain-link fenced area for facility and Jetport security. Existing activities performed on site include vehicle washing, vacuuming, refueling, general maintenance and local business office operations. The facility is situated on property leased from the City of Portland.

The proposed parking lot expansion will occur at the rear of the existing lot adjacent to General Aviation's paved apron currently used to park aircraft. The apron elevation is approximately 8 to 9 feet below the existing parking lot. The proposed expansion will be within an existing slope area (approximately 4:1) that has been previously disturbed and contains mixed grass and brush vegetation. A pre-cast retaining wall system will be installed to accommodate the grade change. This will be a pre-engineered modular style wall (equal to T-Wall by Superior Concrete). New security fencing compliant with Jetport standards will be installed around the wall perimeter. There will limited utility work associated with this project consisting of the relocation of existing light poles and fixtures both within the facility and on the adjacent aircraft apron, along with drainage improvements. No other utilities serving the building will be affected by this project.



Contractor's Qualification Statement

Page 3

9.0 List the name of project, owner, architect, contract amount, percent complete and scheduled completion of the major construction projects your organization has in process on this date:

See Appendix A

10.0 List the name of project, owner, architect, contract amount and the date of completion of the major projects your organization has completed in the past five years:

See Appendix B

11.0 List the construction experience of the principal individuals of your organization:

See Résumés

12.0 List states and categories in which your organization is legally qualified to do business:

Maine
New Hampshire
Massachusetts

13.0 Trade References:

Dragon Cement Products, Thomaston, ME (Mr. David Grinnell 207-774-6355)
Service Rental, Waterville, ME (Mr. Ron Bickford 207-872-2786)
Butler Mfg. Co., Kansas City, MO (Mr. Clyde Wills 816-968-3404)

14.0 Bank References:

Peoples Heritage Bank - Portland, Maine
Mr. Daniel Thornton - 207-761-8625

15.0 Name of Bonding Company and name and address of agent:

Agent - The Dunlap Corporation - 207-783-2211
Mr. Blair Torelli
31 Court Street
Auburn, ME 04210

Bonding Company - Hanover Insurance Company



APPENDIX A
Major Projects in Progress

- 6. Project Name: Butler Bros. - Office & Warehouse Facility**
Lewiston, Maine
Owner: Butler Bros.
Designer: The Sheridan Corporation
Contract Amount: \$2,001,900.00
Percent Complete: 63%
Scheduled Completion: May, 2000
- 7. Project Name: Sawyer Environmental - Solid Waster Transfer Facility**
Waterville, Maine
Owner: Sawyer Environmental
Designer: The Sheridan Corporation
Contract Amount: \$1,053,800.00
Percent Complete: 11%
Scheduled Completion: May, 2000
- 8. Project Name: Telford Aviation Aircraft Hanger - Warehouse Addition**
Bangor, Maine
Owner: City of Bangor.
Engineer: City of Bangor
Contract Amount: \$540,600.00
Percent Complete: 14%
Scheduled Completion: May, 2000
- 9. Project Name: Corning, Inc. - Facility Expansion**
Kennebunk, Maine
Owner: Corning, Inc.
Designer: The Sheridan Corporation
Contract Amount: \$8,898,400.00
Percent Complete: 52%
Scheduled Completion: July, 2000
- 10. Project Name: Portland Welding - Gas Bottle/Distribution Facility**
Westbrook, Maine
Owner: Portland Welding.
Designer: The Sheridan Corporation
Contract Amount: \$779,400.00
Percent Complete: 1%
Scheduled Completion: July, 2000



1

2

3

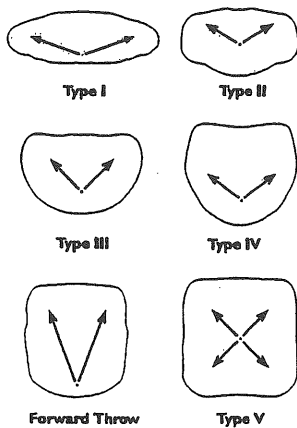
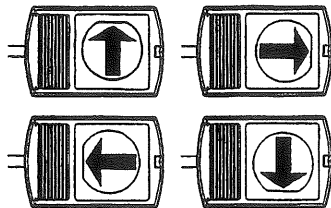
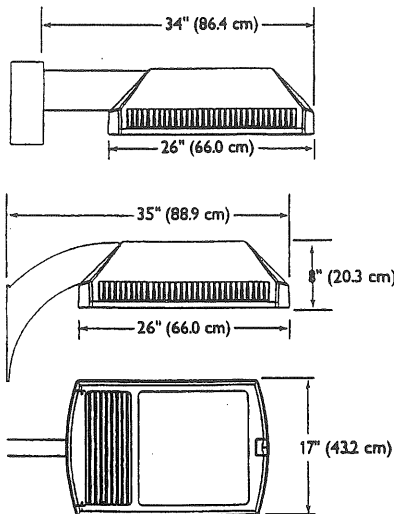
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5

6

PA3 Large Arealyte Specifications

Mogul Base 150 to 400 Watt

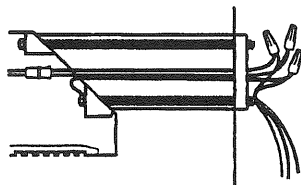


HOUSING: One-piece precision die-cast aluminum housing to eliminate weld seams and water entry. Solid $\frac{1}{8}$ " thick barrier wall separates optical and electrical assemblies. Triple thick wall on the arm mounting end to provide rigid support for the arm while maintaining the structural integrity of the housing. Housing form incorporates a blend of radial geometries with 45 degree sloping planes on the front and rear of the housing to minimize EPA and reduce wind-loading on the pole. Integral side ribbing provides an aesthetic low-profile detail. Luminaire is equipped with a recessed stainless steel door latch under the housing for tool-less entry and trouble-free operation. Optional vandal-resistant mechanism prevents unauthorized entry. All external hardware is stainless steel.

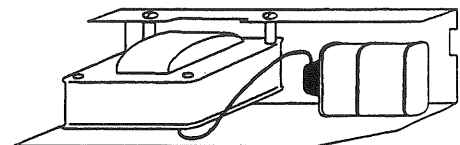
LENS ASSEMBLY: One-piece precision die-cast aluminum lens frame. Integral stainless steel hinges and pins provide no-tool removal and installation from the luminaire housing. Stainless steel compression impact door latch provides audible positive locking of the luminaire door frame. A $\frac{3}{16}$ " thick clear, tempered glass lens seals the optical chamber by compressing a one-piece extruded and vulcanized silicone gasket surrounding the optical chamber enclosure, yielding superior sealing with single seal gasket. Lens is secured to the door frame with (4) heavy duty double wide stainless steel clips.

OPTICAL ASSEMBLY: Reflector system shall consist of highly reflective anodized segmented reflectors with multiple facets rigidly mounted on an aluminum frame. Reflector assembly shall be rotatable in 90 degree increments to match site lighting requirements and capable of being removed with electrical quick disconnects. The optical chamber shall be completely sealed from outside elements and particulate matter. There shall be (6) horizontal lamp light distributions available. Sockets for HPS lamp shall be mogul base porcelain sockets rated 4KV. Sockets for metal halide lamps shall be position-oriented mogul base sockets rated 4KV. A removable silicon wireway grommet seals the barrier wall entry point between the optical and electrical assemblies.

ELECTRICAL ASSEMBLY: Electrical components shall be factory-rewired and mounted on a removable hinged galvanized steel tray with quick disconnects for tool-less installation and replacement. Electrical components shall be accessible by opening the lens frame assembly and accessing the hinged ballast tray through a stainless steel compression impact tray latch. Ballasts shall be high reactance with power factors better than 90%. Metal halide ballasts shall be capable of starting at -20° F (-30° C). HPS ballasts shall be capable of starting at -40° F (-40° C). All components shall be UL and CSA recognized. The electrical assembly shall be 100% factory tested.



For all standard pole mounts, field splices are made at the pole top.



Ballast Tray

**Example of Proposed
Pre-engineered Retaining Wall**

Stormwater from the existing facility is currently collected by one central catch basin located at the eastern side of the parking lot and piped to a ditch located between the existing parking facility and General Aviation's apron where it is intercepted by the existing airport drainage system, ultimately draining to the Fore River. As part of this submittal, we have completed a pre and post-development stormwater analysis. Anticipated increases in runoff are .73 cfs and 3.51 cfs for the 2 and 25-year storms, respectively. These values represent the total increase in runoff at the lease line. Since drainage from this project is conveyed into the Jetport's drainage infrastructure, we have reviewed the project with airport operations and the Jetport's engineering consultant (Mike DeLuca, PE of DeLuca-Hoffman Associates). The Jetport recently completed numerous stormwater improvements which included installation of several water quality units. This project conveys drainage into a section of the Jetport's drainage infrastructure that is treated in Water Quality Unit No. 5 (WQU5); see enclosed plan prepared by DeLuca-Hoffman Associates dated December 17, 2001. Discussions with the Jetport's engineer indicate the small nature of this project, and runoff rates pose negligible effects on the drainage infrastructure. In this regard, we have limited our drainage work to installation of new catch basins and piping responsive to the site improvements.

The abutting property uses are all airport related services including private parking to the south, aircraft apron to the east, a garage to the north, and Embassy Suites Hotel located on the opposite side of Westbrook Street. The grassed area in front of the facility includes seven mature trees providing screening that will remain. Attached for your review and consideration are the following documents prepared by Sebago Technics:

1. Site, Grading and Drainage Plan showing the proposed site grading and stormdrain infrastructure.
2. Site Improvement Plan showing utility relocations and retaining wall location.
3. Site Detail Sheets showing pavement sections and Erosion and Sedimentation Control Measures.
4. Jetport Lease Line Survey of property.
5. Stormwater calculations for pre and post development conditions.
6. Construction of the parking lot expansion is expected to begin this year upon receipt of local approvals. Construction should be completed in 2 to 3 months.
7. The project will be financed by the Hertz Corporation.
8. Pre and post watershed maps.
9. Jetport Stormwater Pollution Prevention - Water Quality Units Plan prepared by DeLuca-Hoffman Associates dated December 17, 2001 (last revised).

As you review this project, please feel free to call us with comments, questions, or to request additional information.

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in black ink, appearing to read "Timothy Severance", with a long horizontal flourish extending to the right.

Timothy Severance
Senior Design Engineer

TS/OAM:ts/jc
Enc.

cc: Daniel A. Ostrowski
David O'Sullivan

**Pre-development
Stormwater Analysis
For 2 & 25-Year Storms**

02155pre

Type III 24-hr Rainfall=3.00"

Prepared by SEBAGO TECHNICS, INC. PN 02155 HERTZ
HydroCAD® 6.00 s/n 001856 © 1986-2001 Applied Microcomputer Systems

Page 1
10/11/02

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=3.00"
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Parking Lot & Building

Tc=2.0 min CN=96 Area=75,461 sf Runoff= 5.27 cfs 0.368 af

Subcatchment 2S: Embankment - south

Tc=4.9 min CN=80 Area=8,462 sf Runoff= 0.28 cfs 0.020 af

Subcatchment 3S: Embankment - north

Tc=5.8 min CN=80 Area=12,027 sf Runoff= 0.39 cfs 0.029 af

Reach 1R: (new node)

Inflow= 5.24 cfs 0.367 af
Length= 140.0' Max Vel= 2.6 fps Capacity= 17.38 cfs Outflow= 4.96 cfs 0.367 af

Reach AP1: Dummy Reach

Inflow= 0.28 cfs 0.020 af
Outflow= 0.28 cfs 0.020 af

Reach AP2: Dummy Reach

Inflow= 5.33 cfs 0.395 af
Outflow= 5.33 cfs 0.395 af

Pond CB1: Onsite CB

Peak Storage= 12 cf Inflow= 5.27 cfs 0.368 af
Primary= 5.24 cfs 0.367 af Outflow= 5.24 cfs 0.367 af

Runoff Area = 2.203 ac Volume = 0.417 af Average Depth = 2.27"

Subcatchment 1S: Parking Lot & Building

[49] Hint: $T_c < 2dt$ may require smaller dt

Runoff = 5.27 cfs @ 12.03 hrs, Volume= 0.368 af

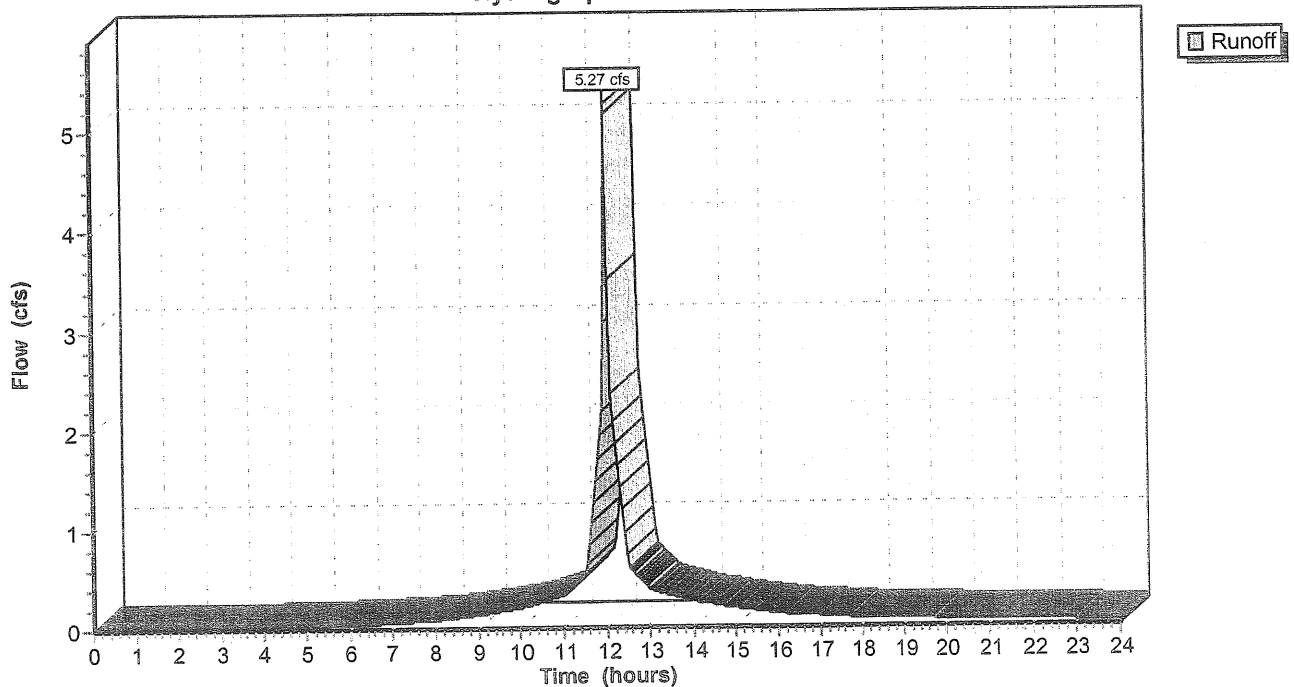
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, $dt=0.05$ hrs
 Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
69,730	98	Impervious
0	77	Brush
5,731	74	Grass
75,461	96	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	14	0.2220	2.4		Sheet Flow, Segment AB Smooth surfaces n= 0.011 P2= 3.00"
0.7	50	0.0180	1.1		Sheet Flow, Segment BC Smooth surfaces n= 0.011 P2= 3.00"
0.4	62	0.0180	2.7		Shallow Concentrated Flow, Segment CD Paved Kv= 20.3 fps
0.8	220	0.0100	4.5	32.51	Channel Flow, Segment DE Area= 7.2 sf Perim= 29.0' r= 0.25' n= 0.013
2.0	346	Total			

Subcatchment 1S: Parking Lot & Building

Hydrograph Plot



Subcatchment 2S: Embankment - south

[49] Hint: $T_c < 2dt$ may require smaller dt

Runoff = 0.28 cfs @ 12.08 hrs, Volume= 0.020 af

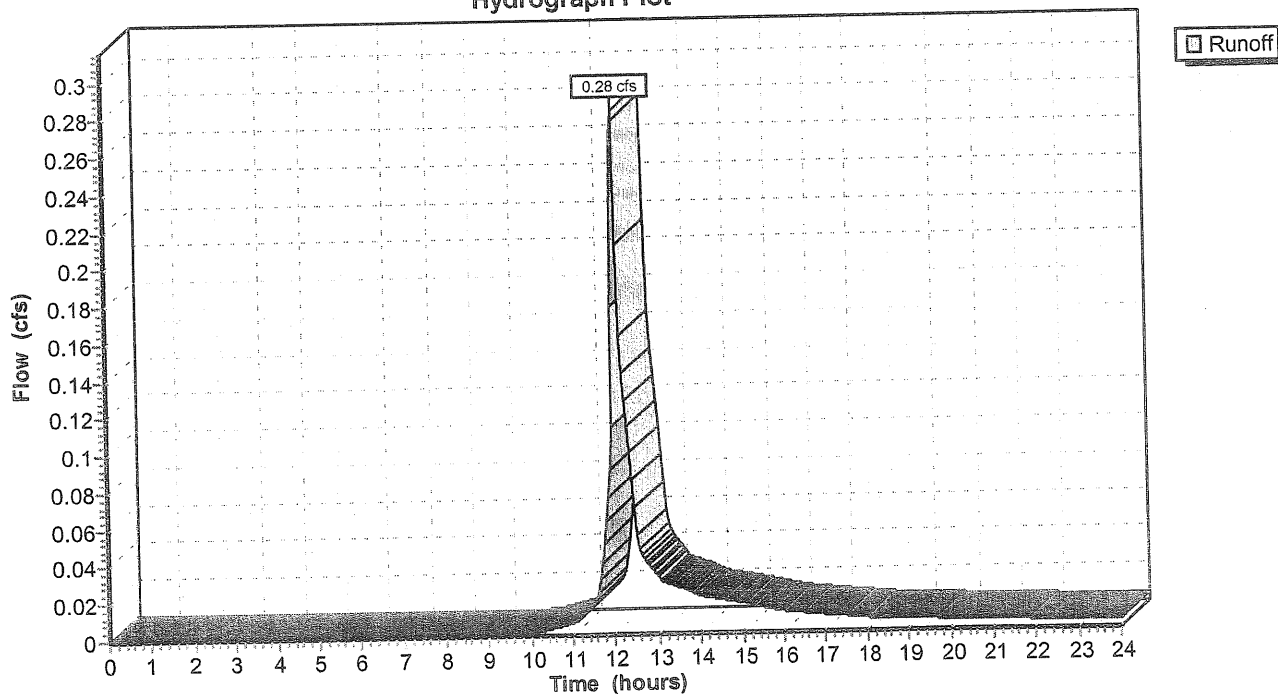
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, $dt= 0.05$ hrs
 Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
2,004	89	Gravel Shoulder
6,458	77	Brush
0	74	Grass
8,462	80	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.8	40	0.2570	0.2		Sheet Flow, Segment AB Woods: Light underbrush $n= 0.400$ $P2= 3.00"$
0.5	50	0.0100	1.6		Shallow Concentrated Flow, Segment BC Unpaved $K_v= 16.1$ fps
0.6	118	0.0100	3.4	9.25	Channel Flow, Segment CD Area= 2.7 sf Perim= 11.0' $r= 0.25'$ $n= 0.017$
4.9	208	Total			

Subcatchment 2S: Embankment - south

Hydrograph Plot



Subcatchment 3S: Embankment - north

[49] Hint: $T_c < 2dt$ may require smaller dt

Runoff = 0.39 cfs @ 12.09 hrs, Volume= 0.029 af

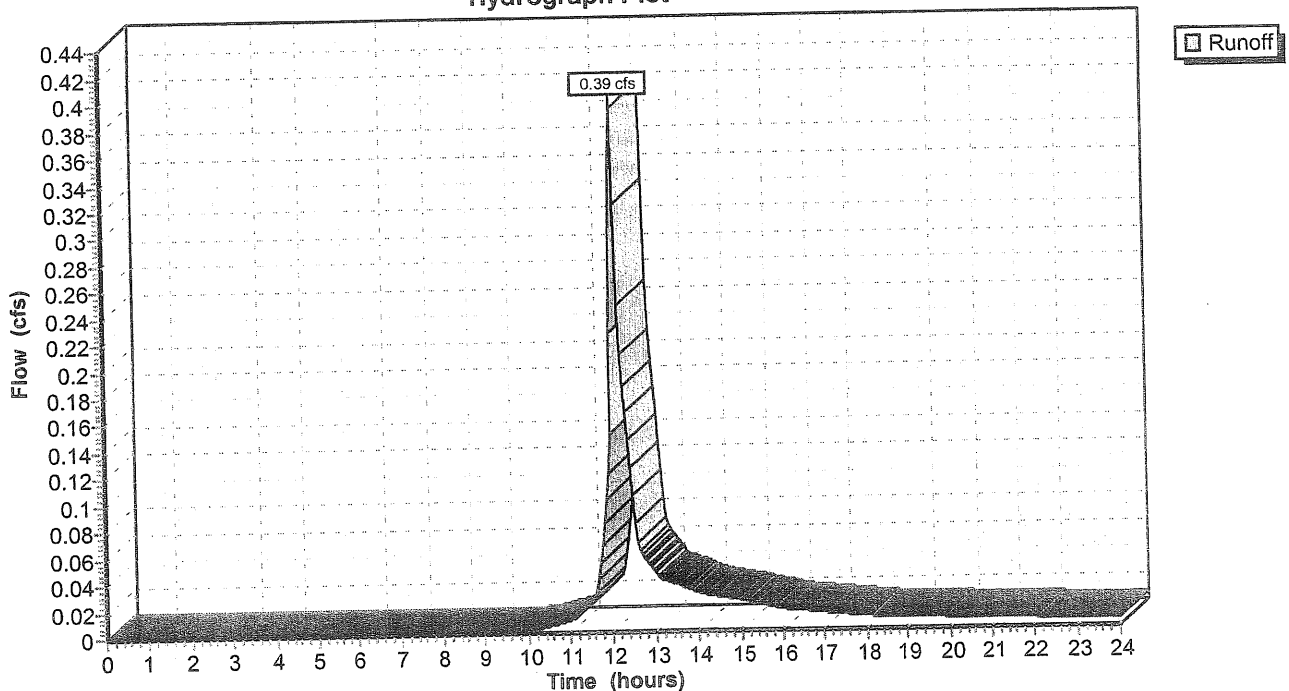
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, $dt=0.05$ hrs
 Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
3,090	89	Impervious - gravel
8,937	77	Brush, poor
0	74	Grass, good
12,027	80	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	41	0.2570	0.2		Sheet Flow, Segment AB Woods: Light underbrush $n=0.400$ $P2=3.00"$
0.7	50	0.0050	1.1		Shallow Concentrated Flow, Segment BC Unpaved $K_v=16.1$ fps
1.2	176	0.0050	2.4	6.54	Channel Flow, Segment CD Area= 2.7 sf Perim= 11.0' $r=0.25'$ $n=0.017$
5.8	267	Total			

Subcatchment 3S: Embankment - north

Hydrograph Plot



Reach 1R: (new node)

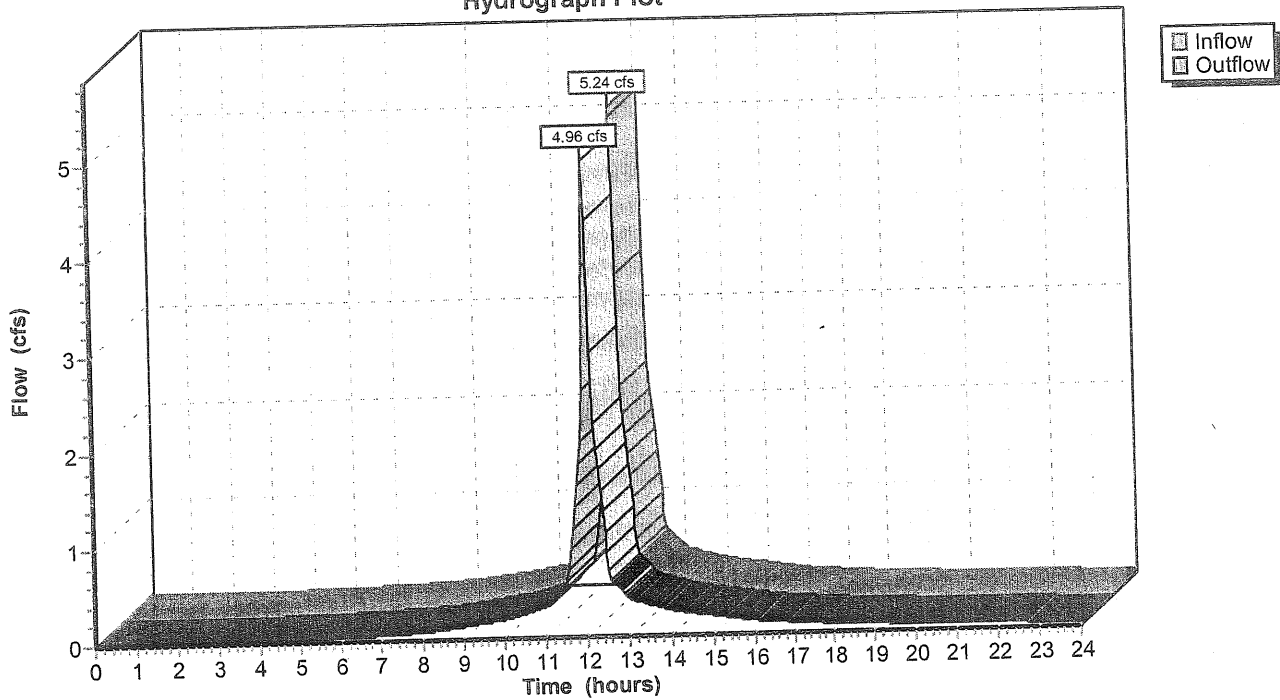
Inflow = 5.24 cfs @ 12.03 hrs, Volume= 0.367 af
 Outflow = 4.96 cfs @ 12.06 hrs, Volume= 0.367 af, Atten= 5%, Lag= 1.4 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.6 fps, Min. Travel Time= 0.9 min
 Avg. Velocity = 0.8 fps, Avg. Travel Time= 2.8 min

Peak Depth= 0.43'
 Capacity at bank full= 17.38 cfs
 Inlet Invert= 60.80', Outlet Invert= 60.10'
 2.00' x 0.75' deep channel, n= 0.017 Length= 140.0' Slope= 0.0050 '/'
 Side Slope Z-value= 6.0 '/'

Reach 1R: (new node)

Hydrograph Plot



Reach AP1: Dummy Reach

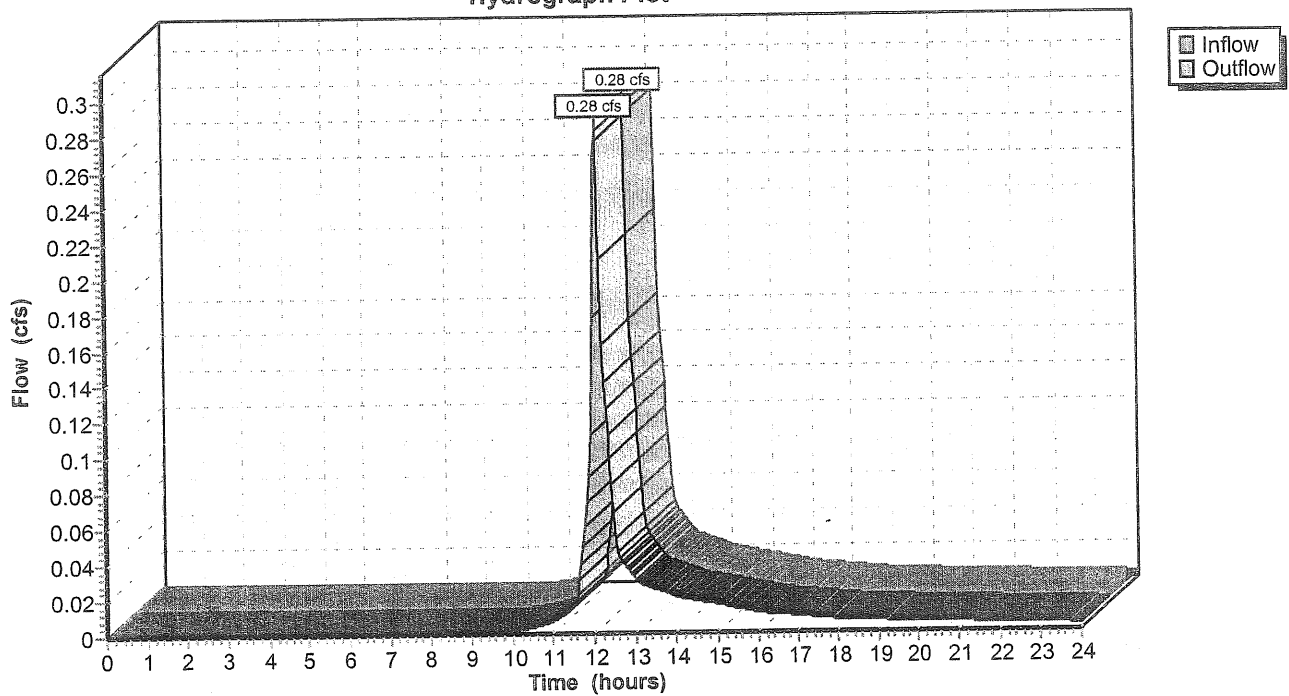
[40] Hint: Not Described (Outflow=Inflow)

Inflow = 0.28 cfs @ 12.08 hrs, Volume= 0.020 af
Outflow = 0.28 cfs @ 12.08 hrs, Volume= 0.020 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Reach AP1: Dummy Reach

Hydrograph Plot



Reach AP2: Dummy Reach

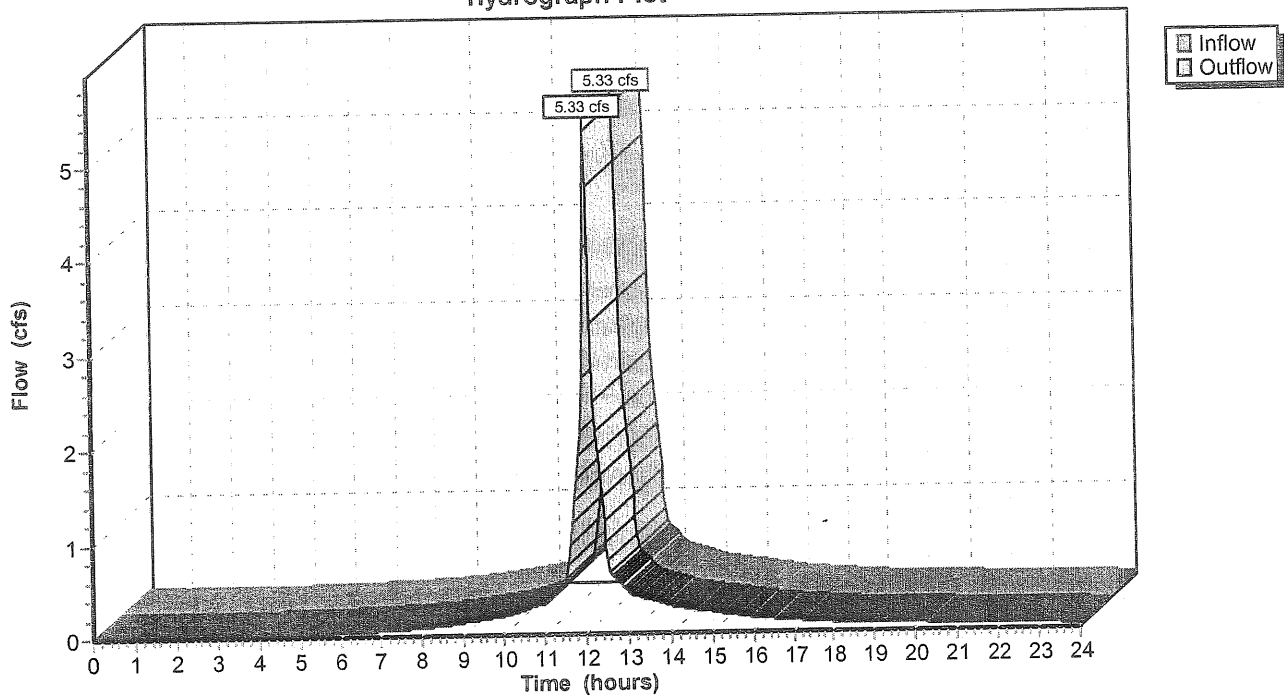
[40] Hint: Not Described (Outflow=Inflow)

Inflow = 5.33 cfs @ 12.06 hrs, Volume= 0.395 af
Outflow = 5.33 cfs @ 12.06 hrs, Volume= 0.395 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Reach AP2: Dummy Reach

Hydrograph Plot



Pond CB1: Onsite CB

Inflow = 5.27 cfs @ 12.03 hrs, Volume= 0.368 af
 Outflow = 5.24 cfs @ 12.03 hrs, Volume= 0.367 af, Atten= 0%, Lag= 0.0 min
 Primary = 5.24 cfs @ 12.03 hrs, Volume= 0.367 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2

Peak Elev= 67.06' Storage= 12 cf
 Plug-Flow detention time= 2.7 min calculated for 0.366 af (99% of inflow)
 Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
64.10	4	0	0
68.20	4	16	16
69.00	2,500	1,002	1,018

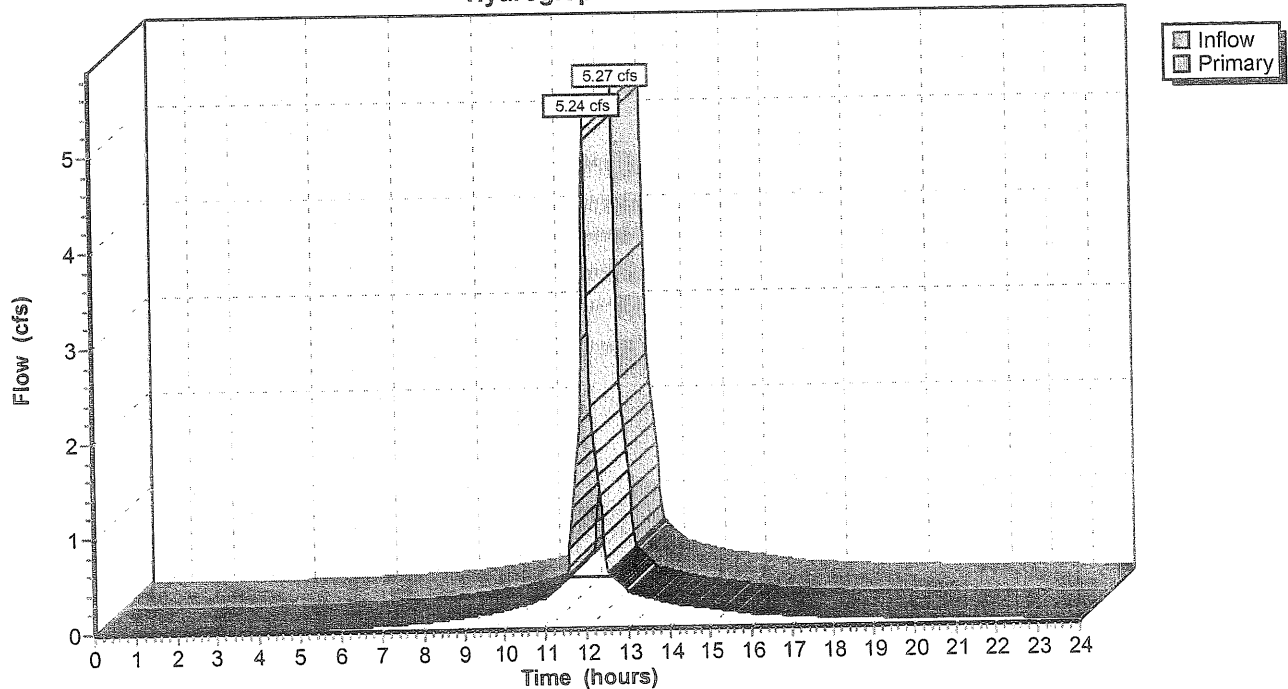
Primary OutFlow (Free Discharge)

1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	64.10'	12.0" x 55.0' long Culvert CMP, square edge headwall, Ke= 0.500 Outlet Invert= 63.66' S= 0.0080 ' n= 0.014 Cc= 0.900

Pond CB1: Onsite CB

Hydrograph Plot



Subcatchment 1S: Parking Lot & Building

Runoff = 5.27 cfs @ 12.03 hrs, Volume= 0.368 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
69,730	98	Impervious
0	77	Brush
5,731	74	Grass
75,461	96	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	14	0.2220	2.4		Sheet Flow, Segment AB Smooth surfaces n= 0.011 P2= 3.00"
0.7	50	0.0180	1.1		Sheet Flow, Segment BC Smooth surfaces n= 0.011 P2= 3.00"
0.4	62	0.0180	2.7		Shallow Concentrated Flow, Segment CD Paved Kv= 20.3 fps
0.8	220	0.0100	4.5	32.51	Channel Flow, Segment DE Area= 7.2 sf Perim= 29.0' r= 0.25' n= 0.013
2.0	346	Total			

Subcatchment 2S: Embankment - south

Runoff = 0.28 cfs @ 12.08 hrs, Volume= 0.020 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
2,004	89	Gravel Shoulder
6,458	77	Brush
0	74	Grass
8,462	80	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.8	40	0.2570	0.2		Sheet Flow, Segment AB Woods: Light underbrush n= 0.400 P2= 3.00"
0.5	50	0.0100	1.6		Shallow Concentrated Flow, Segment BC Unpaved Kv= 16.1 fps
0.6	118	0.0100	3.4	9.25	Channel Flow, Segment CD Area= 2.7 sf Perim= 11.0' r= 0.25' n= 0.017
4.9	208	Total			

Subcatchment 3S: Embankment - north

Runoff = 0.39 cfs @ 12.09 hrs, Volume= 0.029 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
3,090	89	Impervious - gravel
8,937	77	Brush, poor
0	74	Grass, good
12,027	80	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	41	0.2570	0.2		Sheet Flow, Segment AB Woods: Light underbrush n= 0.400 P2= 3.00"
0.7	50	0.0050	1.1		Shallow Concentrated Flow, Segment BC Unpaved Kv= 16.1 fps
1.2	176	0.0050	2.4	6.54	Channel Flow, Segment CD Area= 2.7 sf Perim= 11.0' r= 0.25' n= 0.017
5.8	267	Total			

Reach 1R: (new node)Inflow = 5.24 cfs @ 12.03 hrs, Volume= 0.367 af
Outflow = 4.96 cfs @ 12.06 hrs, Volume= 0.367-af, Atten= 5%, Lag= 1.4 minRouting by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.6 fps, Min. Travel Time= 0.9 min
Avg. Velocity= 0.8 fps, Avg. Travel Time= 2.8 min

Peak Depth= 0.43'

Capacity at bank full= 17.38 cfs

Inlet Invert= 60.80', Outlet Invert= 60.10'

2.00' x 0.75' deep channel, n= 0.017 Length= 140.0' Slope= 0.0050 '/'

Side Slope Z-value= 6.0 '/'

Reach AP1: Dummy ReachInflow = 0.28 cfs @ 12.08 hrs, Volume= 0.020 af
Outflow = 0.28 cfs @ 12.08 hrs, Volume= 0.020 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Reach AP2: Dummy Reach

Inflow = 5.33 cfs @ 12.06 hrs, Volume= 0.395 af
 Outflow = 5.33 cfs @ 12.06 hrs, Volume= 0.395 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Pond CB1: Onsite CB

Inflow = 5.27 cfs @ 12.03 hrs, Volume= 0.368 af
 Outflow = 5.24 cfs @ 12.03 hrs, Volume= 0.367 af, Atten= 0%, Lag= 0.0 min
 Primary = 5.24 cfs @ 12.03 hrs, Volume= 0.367 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2

Peak Elev= 67.06' Storage= 12 cf

Plug-Flow detention time= 2.7 min calculated for 0.366 af (99% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
64.10	4	0	0
68.20	4	16	16
69.00	2,500	1,002	1,018

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	64.10'	12.0" x 55.0' long Culvert CMP, square edge headwall, Ke= 0.500 Outlet Invert= 63.66' S= 0.0080 '/' n= 0.014 Cc= 0.900

Subcatchment 1S: Parking Lot & Building

Runoff = 9.99 cfs @ 12.03 hrs, Volume= 0.726 af

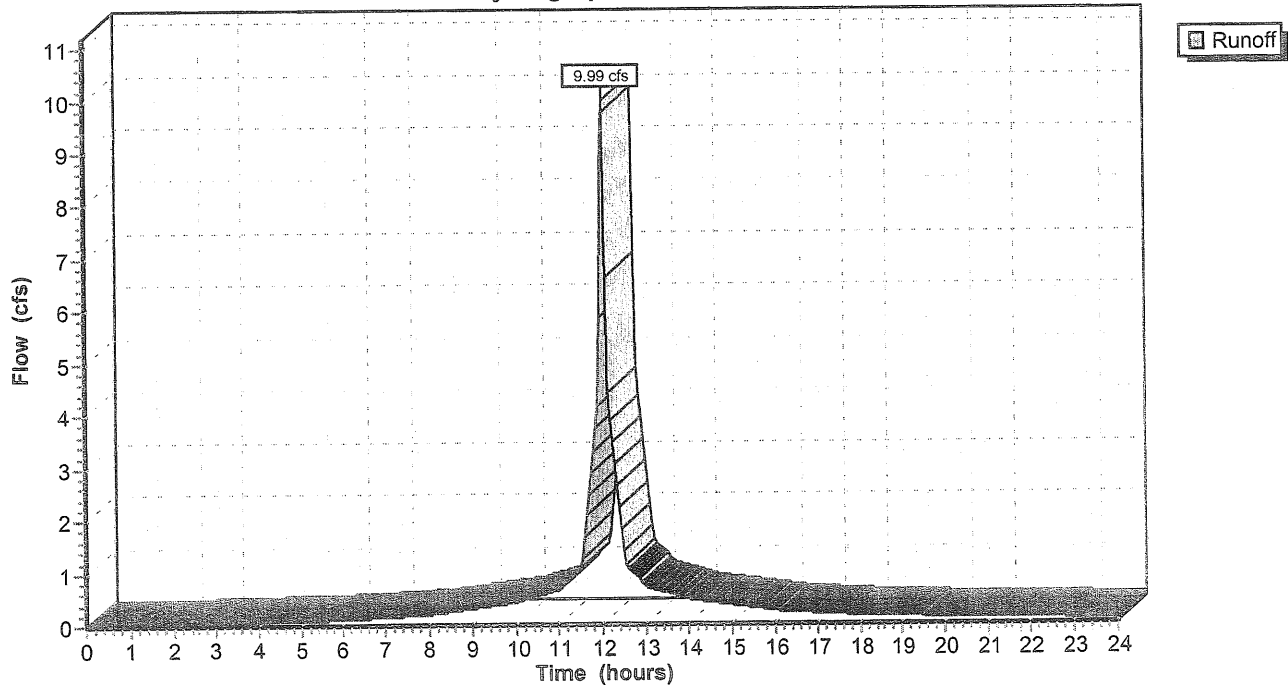
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=5.50"

Area (sf)	CN	Description
69,730	98	Impervious
0	77	Brush
5,731	74	Grass
75,461	96	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	14	0.2220	2.4		Sheet Flow, Segment AB Smooth surfaces n= 0.011 P2= 3.00"
0.7	50	0.0180	1.1		Sheet Flow, Segment BC Smooth surfaces n= 0.011 P2= 3.00"
0.4	62	0.0180	2.7		Shallow Concentrated Flow, Segment CD Paved Kv= 20.3 fps
0.8	220	0.0100	4.5	32.51	Channel Flow, Segment DE Area= 7.2 sf Perim= 29.0' r= 0.25' n= 0.013
2.0	346	Total			

Subcatchment 1S: Parking Lot & Building

Hydrograph Plot



Subcatchment 2S: Embankment - south

Runoff = 0.76 cfs @ 12.07 hrs, Volume= 0.054 af

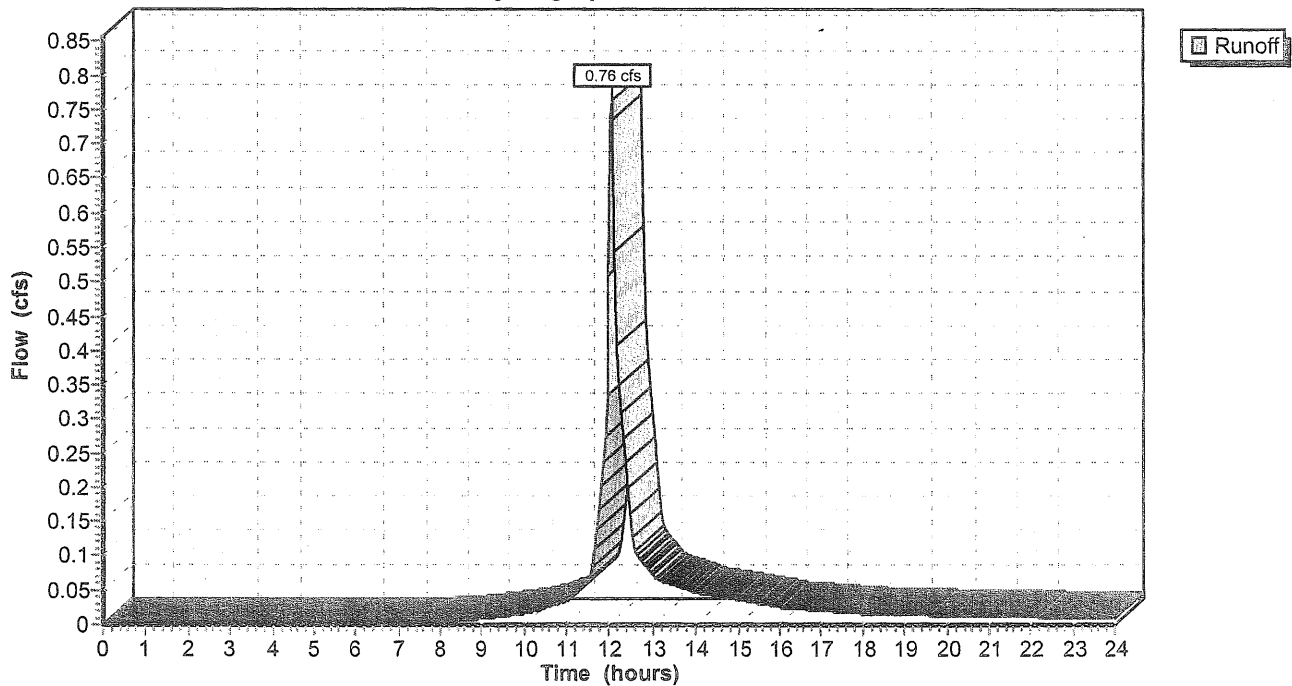
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=5.50"

Area (sf)	CN	Description
2,004	89	Gravel Shoulder
6,458	77	Brush
0	74	Grass
8,462	80	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.8	40	0.2570	0.2		Sheet Flow, Segment AB Woods: Light underbrush n= 0.400 P2= 3.00"
0.5	50	0.0100	1.6		Shallow Concentrated Flow, Segment BC Unpaved Kv= 16.1 fps
0.6	118	0.0100	3.4	9.25	Channel Flow, Segment CD Area= 2.7 sf Perim= 11.0' r= 0.25' n= 0.017
4.9	208	Total			

Subcatchment 2S: Embankment - south

Hydrograph Plot



Subcatchment 3S: Embankment - north

Runoff = 1.06 cfs @ 12.09 hrs, Volume= 0.077 af

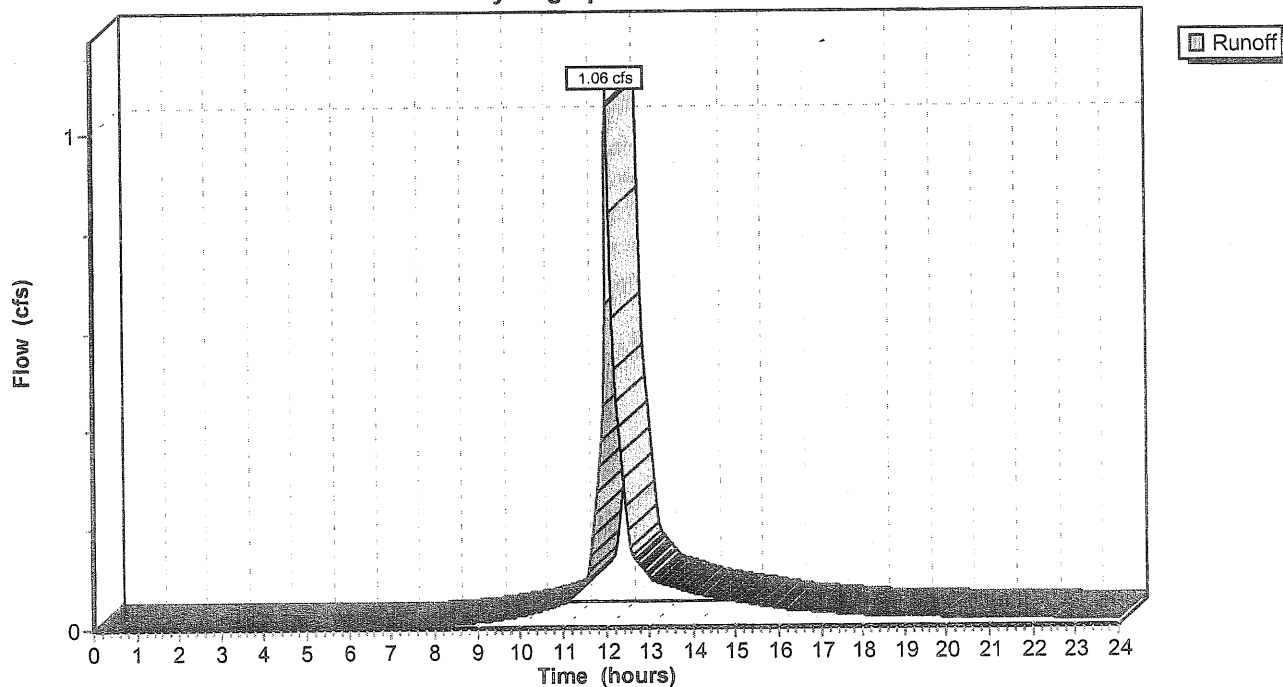
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=5.50"

Area (sf)	CN	Description
3,090	89	Impervious - gravel
8,937	77	Brush, poor
0	74	Grass, good
12,027	80	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	41	0.2570	0.2		Sheet Flow, Segment AB Woods: Light underbrush n= 0.400 P2= 3.00"
0.7	50	0.0050	1.1		Shallow Concentrated Flow, Segment BC Unpaved Kv= 16.1 fps
1.2	176	0.0050	2.4	6.54	Channel Flow, Segment CD Area= 2.7 sf Perim= 11.0' r= 0.25' n= 0.017
5.8	267	Total			

Subcatchment 3S: Embankment - north

Hydrograph Plot



Reach 1R: (new node)

Inflow = 6.99 cfs @ 12.10 hrs, Volume= 0.667 af
 Outflow = 6.94 cfs @ 12.12 hrs, Volume= 0.667 af, Atten= 1%, Lag= 1.4 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.8 fps, Min. Travel Time= 0.8 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 2.3 min

Peak Depth= 0.50'
 Capacity at bank full= 17.38 cfs
 Inlet Invert= 60.80', Outlet Invert= 60.10'
 2.00' x 0.75' deep channel, n= 0.017 Length= 140.0' Slope= 0.0050 '/'
 Side Slope Z-value= 6.0 '/'

Reach 1R: (new node)

Hydrograph Plot

