

Zoning Division
Marge Schmuckal
Zoning Administrator



Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

TO: Rick Knowland, Senior Planner

FROM: Marge Schmuckal, Zoning Administrator

SUBJECT: Proposed Jetport Parking Garage – A-B Airport Business Zone

DATE: February 12, 2001

204 A 001

I have been reviewing the submitted plans for the new Jetport parking structure. The garage is an allowable use in the A-B zone for both the parking and the designated area for car rental space located in the lower level. The required setbacks are being met. The structure does not abut any residential zones and therefore does not require any additional setback requirements.

I have also reviewed the height requirements in this zone. I have had several conversations with Paul Bradbury concerning this subject. On the section of the structure facing the northern side of the building, the height from the grade to the top deck structural member(s) is approximately 44 feet. There are several areas of the structure that are higher, such as stair towers, and light poles which is allowed by ordinance. There is also an eyebrow, light shield that covers this section of the garage. I am not considering this a real roof to the parking garage. This light shield does not cover the entire parking deck and is not functioning as a normal roof. It more accurately falls under the section of the ordinance (14-430 Height limits) that allows for architectural elements to be erected above the height limitation prescribed for buildings. Therefore, I believe that the height of the proposed structure **does** meet the height requirements of the A-B Zone.

I am presently gathering information on the impervious surface ratio so that I can determine if the 70 percent maximum coverage is being met.

Please note that any appeal of my determination could only be exercised within 30 days of the date of this memo.

Cc: Paul Bradbury, Jetport Facilities Manager
Alex Jaegerman, Planning Division
Mark Adelson, Neighborhood and Community Services
Elizabeth Boynton, Corporation Counsel
Penny Littell, Corporation Counsel
Jeff Monroe, Jetport

**ADDENDA #2
AVIS RENT A CAR
JETPORT BOULEVARD, PORTLAND, MAINE**

204 A001

1. For your information: List of persons attending site walk Tuesday October 2, 2001 at 2pm – enclosed.
2. For your information: L.C. Tank, Bangor, Maine
Leonard Carr
Terry Carr
207-654-2935
3. For your information: List of contractor purchased plans at Spillers Reprographics (883-4725) – enclosed
4. Please include in your bid, requirements from Artie Sewall of Airport Operations – City of Portland, dated October 5, 2001, 10:25am and 2:16pm. – enclosed.
5. Please include in your bid, list of questions/answers, October 2, 2001 from Sebago Technics – enclosed.
6. Please include in your bid – Gawron Architects items October 5, 2001 – enclosed.
7. Please include in your bid – Becker Structural Engineers
SKS-01 10/05/01
SKS-02 10/05/01
- enclosed.

**AVIS RENT A CAR
JETPORT BOULEVARD
PORTLAND, MAINE**

October 5, 2001

List of Architectural items which must be included in General Contractor's bid prices.

1. Install oil base epoxy on all interior exposed CMU walls (as selected by architect.)
Wall above 8'-0" and ceilings install white oil based epoxy on all surfaces including conduit, ducts, etc.
2. Install complete radon system, under all interior spaces
 - a) 6" of 1 1/2 " crushed stone below 6 mil poly reinf. vapor barrier.
 - b) 4" radon piping – perimeter and interior run at 12'-0".
 - c) 6" vent through roof at location selected by architect. Pipe shall be in 6" wall.
3. Install #4 bars at 18" o.c. each way in all office and fuel island concrete floors (for attachment of radiant heating lines).
4. Install 3 coat epoxy floor in entire maintenance bay end of building.
5. Install 2'x2' suspended tile ceiling in entire office section of building.
6. Office exterior walls – section 2 dwg A600 install 5/8" type "X" exterior gyp board with tape and mastic on exterior of 6" metal studs.
7. Install 5/8" type "X" drywall on metal strapping overall exterior steel beams at CMU face of interior walls.
8. All construction workers must observe construction hours 7 am to 7 pm.
9. Max height of crane – same height of Embassy Hotel, across Jetport Boulevard.
10. Avis lot is in a dust free zone. Water must be used to eliminate dust.

ATTENDING OCT 2, 2001
SITE WALK FOR AVIS
@ JETPORT BYLD. PORTLAND

Name	Company	Telephone #	Fax #	email
1 Mel McCarrison	Gawron Architects	883.6307	883.0361	mmccarrison@gawron.com
2 Dennis Oneil	Horne Construction	603.692.7180	603.692.7186	horne@tlhc.net
3 Mark Hodson	Horne Construction	603.692.7180	603.692.7186	horne@tlhc.net
4 Richard Egan	Benchmark GC	874.2963	874.6042	Richard@BenchmarkConstr.com
5 Water Pochebit	Pochebit Co, Inc.	797.3369	797.3299	POCHEBIT@AOL.COM
6 Gil Eaton	L. Dupuis & Co.	777.4576	783.2792	L.Dupuissons@yahoo.com
7 Scott W. Clark	Payton Maine Corp	772.7222	772.0975	sclark@payton-construction.com
8 Artie Sewall	City of Portland - Airport	772.0466	828.0991	darth1129@aol.com
9 Craig Babbidge	Maietta Construction	883.9546	883.7019	maietfaceb@aol.com
10 Keith Baylor	Avis	874.7501	874.7512	Kbaylor@Avis.com
11 Steven Gross	Sebago Technics	856.0277	856.2206	sgroves@sebagotechnics.com

Plan Holders List by Projects

<i>Customers Name</i>	<i>Order Date</i>	<i>Phone</i>	<i>Fax</i>	<i>Order Note</i>
AVIS				
HORNE CONST. 154 HIGH ST. SOMERSWORTH NH 03878-	9/24/01	603-692-7180	(603) 692-7186	2 FULL ST—UPS (sending checks)
BENCHMARK 533 RIVERSIDE INDU PORTLAND ME 04103-	9/26/01			2 FULL ST—P/U
L. DUPUIS & SON 214 RUSSEL ST LEWISTON ME 04240-	9/26/01	() 777-4576	() 783-2792	2 FULL ST—P/U
PAYTON CONSTRUCTION 75 MARKET ST PORTLAND ME 04101-	9/26/01	() 772-7222	() 772-0975	2 FULL ST—P/U
KELLEY MECHANICAL 690 STROUDWATER WESTBROOK ME 04098-	9/28/01	() 854-1167	() 854-3812	FULL ST—P/U
MAIETTA CONSTRUCTION 154 PLEASANT HILL SCARBOROUGH ME 04070-	9/28/01	() 883-9546	() 883-7019	FULL ST—P/U
RJ GRONDIN 11 BARTLET ROAD GORHAM ME 04038-	9/28/01	() 854-1147		FULL ST—UPS
AIRTEMP MECHANICAL 11 WALLACE AVE. SO. PORTLAND ME 04106-	10/1/01	() 774-2300	() 871-1345	FULL ST—P/U
EMH SCARBOROUGH ME 04074-	10/1/01	() 883-1919	() 791-0966	FULL ST—P/U
GORHAM SAND & GRAVEL 939 PARKER FARM BUXTON ME 04093-	10/2/01	() 839-2442		FULL ST—P/U
PORTLAND PUMP	10/2/01	() 883-4317	() 883-1418	FULL ST—P/U
CONDON ELECTRIC RR2 BOX 1935 CARMEL ME 04419-	10/3/01	() 848-5731	() 848-7430	FULL ST—P/U
INDUSTRIAL ROOFING INC. 9 FERRY RD LEWISTON ME 04241-	10/3/01	() 784-4551	() 784-7165	FULL ST—UPS
MANCINI ELECTRIC 179 SHERIDEN ST PORTLAND ME 04101-	10/3/01	() 774-5829	() 772-1686	FULL ST—P/U
ROLANDS DRYWALL PINECREST AVE SABATTUS ME	10/3/01	() 375-4410	() 375-4698	FULL ST—P/U

<i>Customers Name</i>	<i>Order Date</i>	<i>Phone</i>	<i>Fax</i>	<i>OrderNote</i>
B.H. MILLIKEN 175 ANDERSON ST PORTLAND ME 04101-	10/4/01	() 879-1877	() 774-1492	FULL ST—P/U
CIANBRO RICKER'S WHARF, 3 PORTLAND ME 04102-	10/4/01			FULL ST—P/U
MERRIMACK BUILDING SUP. 5 DELTA DRIVE WESTBROOK ME 04092-	10/4/01	(207) 857-9000		FULL ST—UPS
NEWPORT INDUSTRIAL FABRICATIONS 445 ELM ST. NEWPORT ME 04953-	10/4/01			FULL ST—P/U
PORTER DRYWALL 655 RIVERSIDE PORTLAND ME 04103-	10/4/01	() 878-2024	() 878-2085	FULL ST—P/U
SHAW BROS. 511 MAIN ST. GORHAM ME 04038-	10/4/01			FULL ST—P/U
T.E. LOWE 45 DELWIN DRIVE NORTH YARMOUTH ME 04097-	10/8/01			FULL ST—P/U
AL STATE DRYWALL 994 CARL BROGGI H LEBANON ME 04027-	10/9/01	() 457-2220	() 457-2221	FULL SET
MAINE MASONRY 75 MANSON LIBBY R SCARBOROUGH ME 04070-	10/9/01	() 883-6503	() 885-1972	FULL SET
MAINE ROOFING, INC. 46 B SACO ST. SCARBOROUGH ME 04074-	10/9/01	207-839-4243	(207) 839-4124	FULL SET

Mel B. McCorrison

From: DARTH1129@aol.com
Sent: Friday, October 05, 2001 10:25 AM
To: MMccorrison@gawron.com
Subject: Avis Airport Project

Mel-

You asked for the items that I raised at the pre-bid. The plans contained a lot of the notes that are important to us here, ST did a good job with that, but I had a few additional requirements and wanted to embellish some of the existing notes as follows. I also have someone else looking at the plans today to see if I may have missed anything in my comments. Thanks for your assistance with this. I would also appreciate you letting me know who gets the work, and I would like to attend any pre-construction meeting that might be scheduled.

- A City of Portland Street Opening Permit will need to be obtained as a matter of record for the curb cut, etc. - fees will be waived however, since there will be no disturbance of ROW pavements.
- The existing white tape edge marking shall be removed in the curb cut area. Any of the existing double yellow centerline tape damaged by turning heavy equipment shall be removed and replaced with paint.
- Granite curb removed shall be delivered to the Airport Maintenance Facility
- Trees/plantings shown to be removed can be reused to augment site landscaping. If not used there, contact City Arborist to see if they want the plantings for use elsewhere in the City.
- Coordinate any additional tree removals not shown that may be required with Airport Operations.
- Appropriate traffic control signs, devices, and flaggers as needed due to narrow roadways shall be employed.
- Pay particular attention to the construction entrance and it's maintenance. If tracking debris on to the existing airport access road becomes a problem, periodic sweeping WILL BE REQUIRED. Any existing catch basin curb inlets downstream will have to be cleaned if substantial siltation occurs from the project.
- The bollard light fixtures are the property of the Embassy Suites Hotel. Contact their maintenance personnel regarding these.
- Dig Safe should include a call to Airport Ops (772-0466) for street light cable locates.
- Existing streetlight 1 1/2 in. PVC conduit at curb cut shall be 6 in. all around concrete encased under proposed paved entrance.
- All areas within the existing airport access road ROW disturbed by work shall be restored to at least pre-project condition.
- There shall be NO open cuts of the airport access road for utility services. Any new service installation into/across the access road shall be by trenchless methods.

Artie Sewall
Airport Operations

Mel B. McCorrison

From: DARTH1129@aol.com
Sent: Friday, October 05, 2001 2:16 PM
To: MMccorrison@gawron.com
Subject: Avis

Mel-

The other person I had look at the drawings had no additional comments except that the conduit under the proposed entrance may ALREADY be encased in concrete as a 4 way duct. I guess we will have to see when it is opened up, or do a test pit. If you had to encase it, the size would not make much of a dollar amount change, given the overall scope of the project.
Let me know if you need anything else.

Artie Sewall
Airport Ops

SEBAGO TECHNICS
OCT 2, 2001

Avis Questions/Answers from Pre Bid Meeting

1. The contractor shall provide Vortechincs Unit for stormwater treatment. No other manufacture brands will be accepted.
2. Contractor shall use a doghouse style catch basin for CB-10. The contractor shall submit shop drawing for owner/engineer approval prior to construction.
3. The trash rack detail shown on sheet 9 of 12 shall be change to an 18"RCP, not a 15"RCP as label.
4. Contractor may conduct his own test pits on site to estimate ledge quantities. The contractor shall be responsible for Dig Safe notification and any damage caused to the public or private property other than brush/tree removal on subject property for test pits. The owner shall be notified by the bidding contractor prior to test pit excavation and shall provide the owner with date and time of test pits. The owner reserves the right to stop or discontinue test pit exploration at anytime.
5. Lighted bollard at the entrance to the site is the property of the Embassy Suites Hotel.
6. All granite curbs within the street ROW is the property of the City of Portland and shall be delivered to a designated site as directed by Portland Public Works.
7. Contractor will be responsible for any damage cause by machinery to jetport roads and shall be responsible for cleaning streets to remove dust, mud debris or any other material as a result of construction.

RECEIVED OCT 06 2001

Becker Structural Engineers, Inc.
19 Commercial Street
Portland, ME 04101
207-879-1838

Transmittal

TO: Gawron Architects
29 Black Point Road
Scarborough, ME 04074-9358

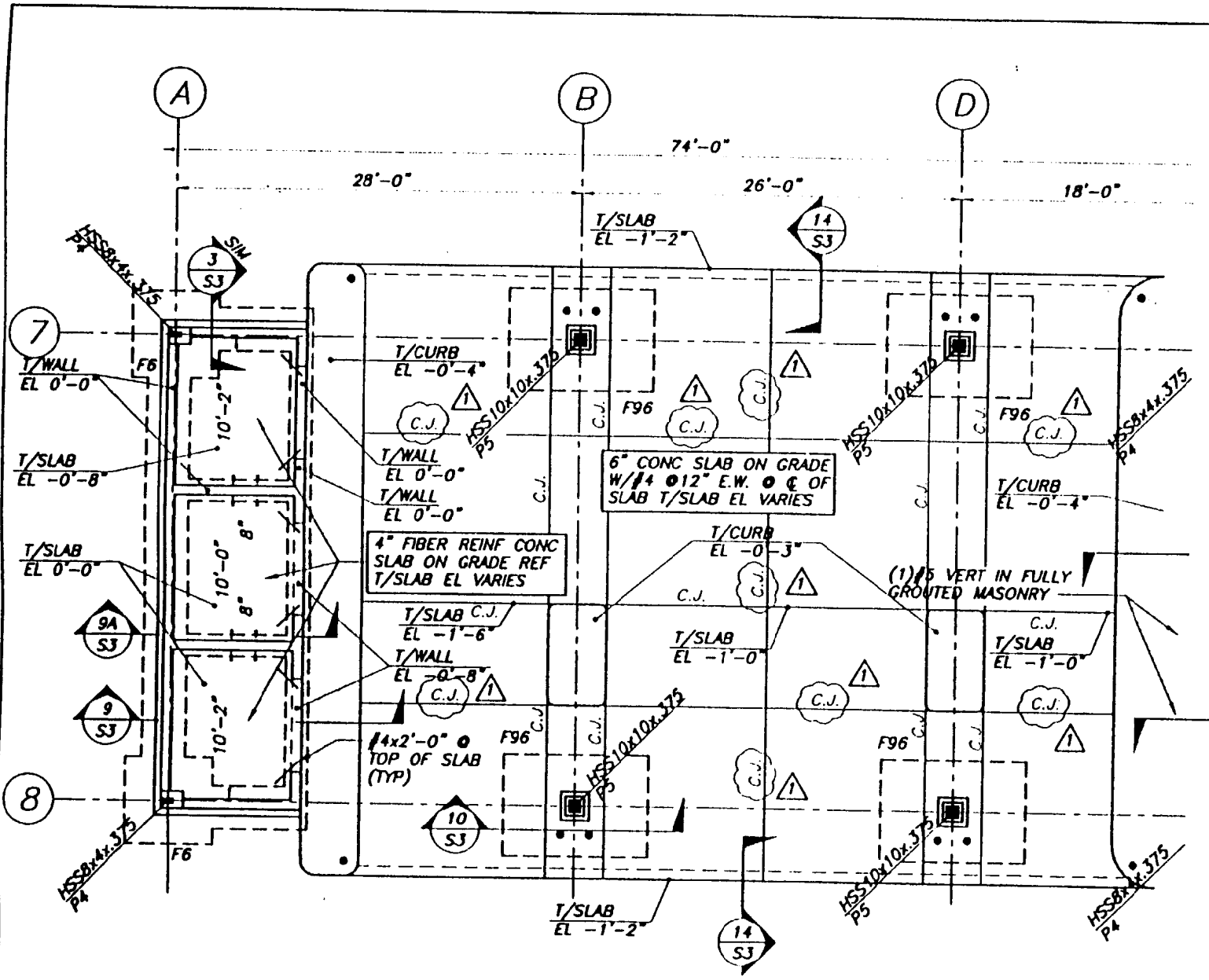
ATTN: Mel McCorrsion
DATE: 10/4/2001
PROJECT: Avis
PROJECT No: 768

- Attached Under separate cover via:
-
- For Approval Reviewed
 For Your Use For Signature
 For Review & Comment Returned for Corrections
 Other:
-
- Prints Specifications Bond Reproducibles
 Mylars Calculations Shop Drawings
 Sepias Letter Other: Sketches

Copies	Date	Drwg No.	Description
1	10/5/01	SK01	Addendum 2 sketch
1	10/5/01	SK02	Addendum 2 sketch

Comments: Hard copies of addendum 2 sketches attached

Signed: 
Ethan A. Rhile



PART FDN PLAN @ FUEL ISLAND
 N.T.S.

REF DWG S1

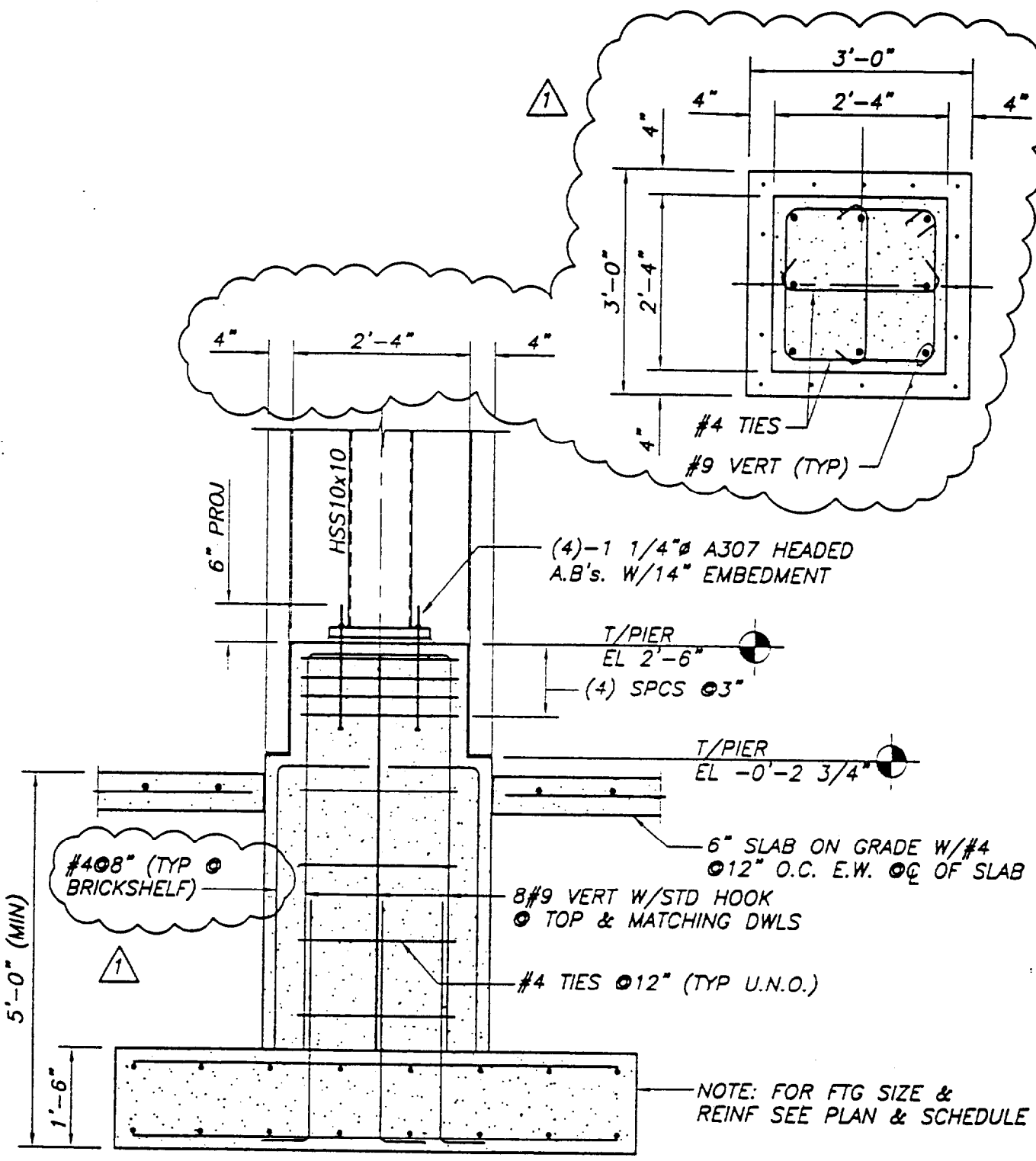
ADDENDUM #2

BECKER
 structural engineers, inc
 19 Commercial Street, Portland, ME 04101
 Ph: 207.879.1838 Fax: 207.879.1822

Designed by:	PBB
Drawn by:	APP
Checked by:	PBB
Scale:	N.T.S.
Date:	10/05/01

AVIS
 CORPORATE FACILITIES
 VEHICLE SERVICE CENTER
 CORPORATE FACILITIES

Project No.
 W0768
 SKS-01



REF SECT 10/S3

P5

SECTION

1/2" = 1'-0"

10
S1

ADDENDUM #2

BECKER
structural engineers, inc

19 Commercial Street Portland, ME 04101
Ph: 207.879.1838 Fax: 207.879.1822

designed by: PBB
 drawn by: APP
 checked by: PBB
 scale: N.T.S.
 date: 10/05/01

AVIS
 CORPORATE FACILITIES
 VEHICLE SERVICE CENTER
 CORPORATE FACILITIES

project no.
 W0768

SKS-02

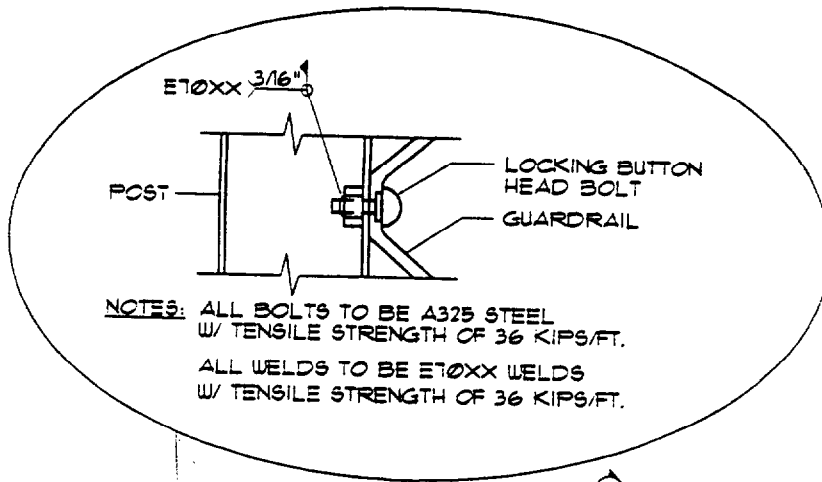
**ADDENDA #3
AVIS RENT A CAR
JETPORT BOULEVARD, PORTLAND, MAINE**

204 A 001

1. DWG A100 Wall type 10, 1'-2" thickness (not 1'-1 1/4")
Wall type 1'-1" thickness (not 1'-0") foundation wall thickness 1'-0"
2. DWG A100 A600 All brick is nominal 4" (3 5/8") actual.
3. All CMU shall be standard weight, not light weight.
4. Delete all "Dryblock" additive to CMU and brick mortar.
5. All 4" brick veneer may be terminated above soffits and ceiling, providing metal framing has anchorage surface on brick.
6. Install base paving and stripping as required by City of Portland for Certificate of Occupancy for March 1, 2002.
7. Install 2 - 6" round holes under soffit (as directed by architect and engineer) at fuel island vacuum room.
8. Trench covers shall be h.d. cast iron in 2' section.
9. Install 1 1/2" round steel rail at stair to loft.
10. Install 9 ga core chain link fence, with bottom rail. Add alt. #2 - additional cost for 6 ga core above 9 ga. Paint posts, rails and hardware to match black vinyl fencing.
11. Automatic gate shall be 26'-0" as shown on DWG 3 of 12.
12. Install 3 coats of oil based polyurethane on wood benches in locker rooms.
13. Include all winter conditions cost in base bid, heat, plowing, etc.
14. Door #10A - delete sidelight and transom at office entrance.
15. Doors #9B 10A 10B shall be anodized aluminum doors and frames.
16. Window type B and C shall have exterior surface applied anodized aluminum mullions.

17. 3 rows of snow guards shall be "snow bar" Inglewood, Colorado, 1-800-711-9724 Jason Nagaki, S.S. guards with 1" x 1" cont. s.s. bars (both painted to match custom roof color.)
18. Install 4" CMU behind 4" brick face on fuel island piers.
19. Install 4" CMU between 4" face brick at 12" brickwall.
20. At fuel island, ceiling for fluids, vacuum and storage rooms, shall be bottom on light gauge metal trusses; therefore, interior block wall shall extend to bottom of trusses.
21. Wall types 1 and 10 shall have 7/8" metal channels at 24" o.c.
22. Wall type 7 - install 5/8" type x drywall each side of studs.
23. Wall type 4 install 5/8" type x exterior drywall on exterior side with mesh and mastic on joints.
24. Install all interior partitions to underside of trusses bottom chord, with full fiberglass insulation.
25. Enclosed is revised room finish schedule and key to finishes.
26. Kitchen cabinets shall be Kraftmaid Maple Barton, as shown on elevation and spec.
27. Drawings A5.2 and A5.3 do not exist. See drawing A800 for these details.
28. Install 16 oz lead coated copper flashing 6" up wall at wall base and lintel conditions, with soldered joints and paned 8" beyond end of masonry openings at lintel. A501 detail 3 typical and A400 detail 12 typical.
29. Install trowel on mastic on CMU walls before applying 2" rigid insulation.
30. At service island, adjust closet 20 wall thickness to 1'-2" wall and foundation.
31. Install wing slots in at 32" on center in brick for all wall base conditions and lintel conditions.
32. Install 2 handicapped spaces with 8' width walk between, adjacent to walk to maintenance building. Install handicap sign for each space (dwg 10 of 12 detail 13)
33. DWG 10 of 12 detail 3 construction joints shall be 6'-0" o.c. each direction.

34. DWG A400 details are on DWG A600 details 2 and 5 and DWG A200 detail 3 and 4.
35. Install 40 mil w.r. grace ice and watershield on all roofs – entire surface and fascia.
36. Car wash floor shall be hardened concrete surface.
37. Install guard rail around entire perimeter of chain link fence except at ledge and steep bak at northwest of lot, see enclosed detail.



STANDARD GUARDRAIL

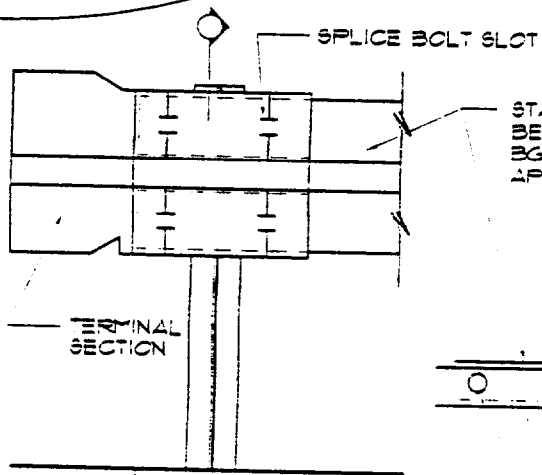
0 SPlice BOLT SLOTS FOR
5/8" x 1 1/4" LG. SPlice BOLT
WITH 5/8" x 7/8" OVAL SHOULDER
WASHER AND HEX NUT (3-REQD)

POST
W6x8.5 OR W6x8
INTERMEDIATE POSTS
@ 6'-3" O.C. W/ W6x15.5
END POSTS AND CORNERS

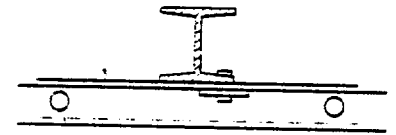
SEE PAVING OR
EXISTING GRADE
SURFACE BELOW

CONCRETE FOOTING

SECTION A-A



ELEVATION



TYP. GUARDRAIL DETAILS

SCALE: 1" = 1'-0"

KEY TO FINISHES

PAINTS:

MANUFACTURER : SHERWIN-WILLIAMS

P1 SW-1352 CRESCENT CREAM
P2 SW 1350 COPPER BANGLE
P3 SW 1350 VOUGE GREEN
P4 SW 1553 CABARET PURPLE

CARPET:

MANUFACTURER : PATCRAFT

C1 PATCRAFT-RADICAL 10015 MIND ERASER

VINYL COMPOSITION TILE

MANUFACTURER : MANNINGTON

VCT1-MANNINGTON-DESIGNER ESSENTIALS 295 DEEP FERN
VCT2-MANNINGTON-DESIGNER ESSENTIALS 288 BRICK
VCT3-MANNINGTON-DESIGNER ESSENTIALS 244 NEW EGGPLANT
VCT4-MANNINGTON-DESIGNER ESSENTIALS 101 NIGHT BLACK

PLASTIC LAMINATE:

MANUFACTURER : POINITE

PL1 PIONITE - AT241 CINNAMON FIBER.

VINYL BASE:

MANUFACTURER : JOHNONITE

VCB1-JOHNSONITE CORE BASE 86 HUNTER
VCB2-JOHNSONITE CORE BASE 40 BLACK

TILE:

MANUFACTURER : DAL TILE

T1 DAL TILE-ROCKYMOUNTAIN POCELAIN-803-BEIGE-6X6-WALLTILE
T.1 DAL TILE-ROCKYMOUNTAIN POCELAIN-803-BEIGE-12X12-WALLTILE
T1.2 DAL TILE-ROCKYMOUNTAIN POCELAIN-803-BEIGE-4X12-BULLNOSE (MITER CUT ALL CORNERS)
GROUT: LATICTETE- 92 SALTILLO (111)
T2 DAL TILE- GLAZE WALL TILE/ACCENTUALS-MATTE 0790 WHITE 3"X3"
T3 DAL TILE- GLAZE WALL TILE/ACCENTUALS-MATTE 0707 TERRACOTTA 3"X3"
T4 DAL TILE- GLAZE WALL TILE/ACCENTUALS-MATTE 0721 SABLE WHITE 3"X3"

CEILING:

MANUFACTURER : ARMSTRONG

ACT1 - 24"x24" ARMSTRONG FISSURED SQUARE LAY-IN 15/16" SQUARE LAY-IN GRID (WHITE)
ACT2 - 24"x24" ARMSTRONG FINE FISSURED SQUARE
LAY-IN/MEDIUM TEXTURE 15/16" SQUARE LAY-IN GRID (WHITE)



GAWRON
ARCHITECTS

MEL

29 Black Point Road, Scarborough, Maine 04074-9358

Master Planning
Architecture
Interior Design
Landscape Architecture

PRINCIPALS
Stan Gawron, Architect
Mary Turgeon, NCIDQ

ADDENDUM #1

October 1, 2001

Avis Rent a Car

204 A001

Spec IB-2 7.2

The pre-bid mandatory site visit will be Tuesday, October 2, 2001 at 2:00 p.m. at Avis site on Jetport Boulevard (across from Embassy Hotel.)

Spec IB-1 3.1

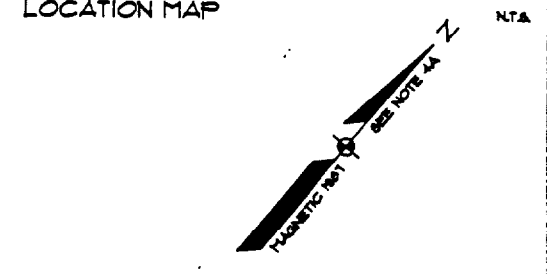
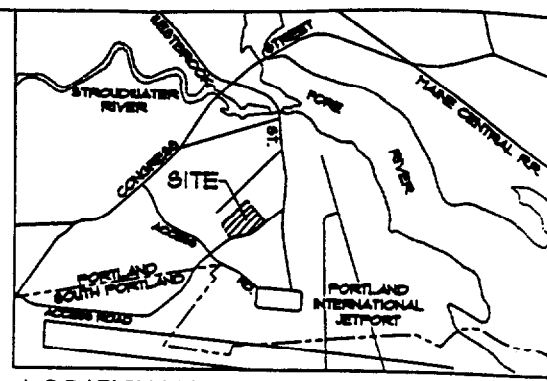
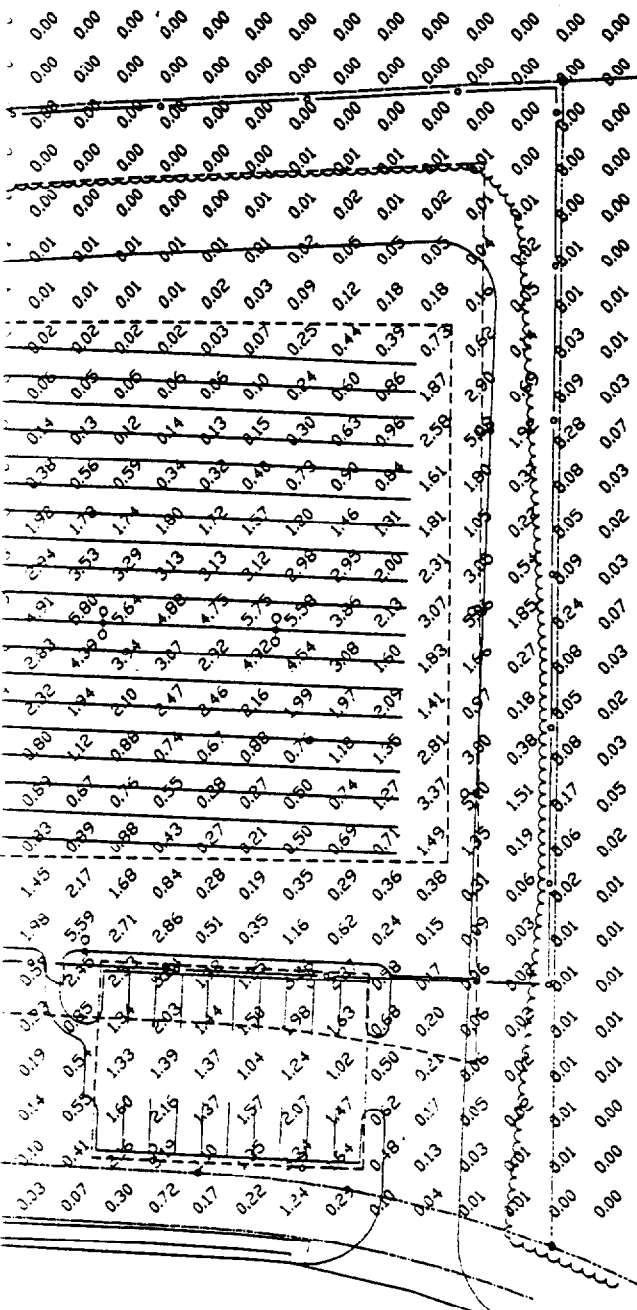
Sealed bids with the name and address of bidders contained thereon will be received at:

Gawron Architects
29 Black Point Road
Scarborough, Maine 04074

on or before 2:00p.m. local prevailing time, October 16, 2001, at which time all bids will be opened and read privately by the Owner, who will advise the contractors as soon as possible of the decision reached.

Electrical – Site Lighting

Please include contract drawing 1 of 2 and 2 of 2, dated 09-06-01 from Sebago Technics of Westbrook, Maine 04098-1330. Enclosed are half size original drawings – full size will be mailed or distributed at site meeting Tuesday, October 2, 2001.



B	JLC	09-08-01	ISSUED FOR PLANNING BOARD REVIEW
A	OAM	07-20-01	ISSUED FOR PRELIMINARY PLANNING BOARD REVIEW
REV.	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

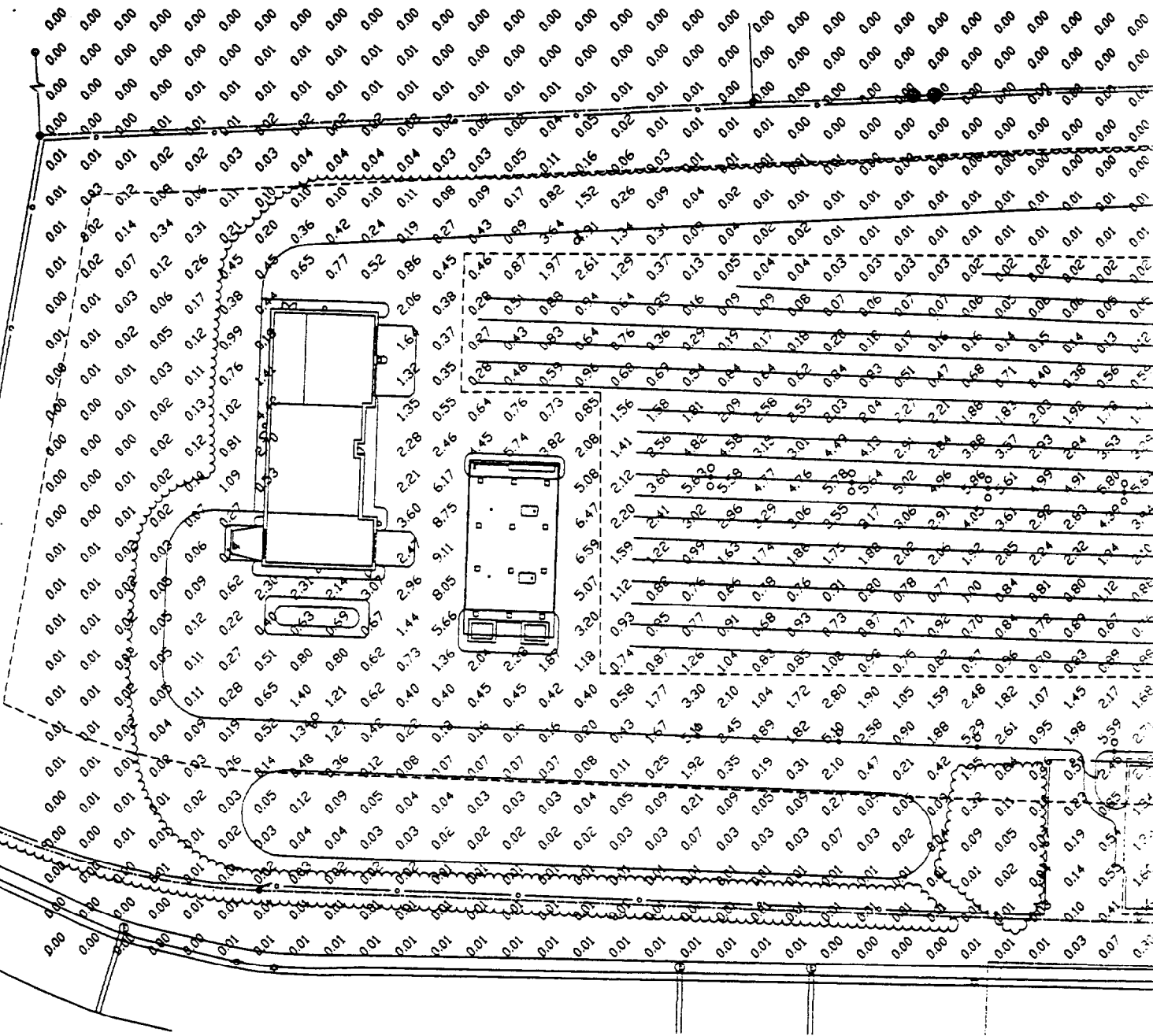


SITE PLAN
 OF:
AVIS RENT A CAR SYSTEMS, INC.
 WESTBROOK STREET
 PORTLAND, MAINE
 FOR:
AVIS RENT A CAR SYSTEMS, INC.
 900 OLD COUNTRY ROAD
 GARDEN CITY, NEW YORK 11530

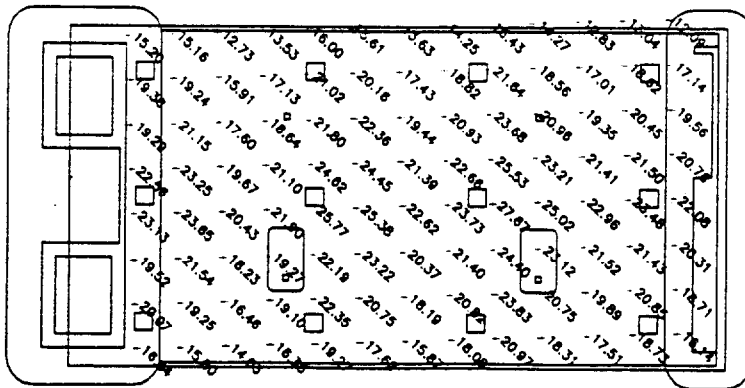
Sebago Techniqs
Engineering & Planning for the Future
 ONE CHABOT STREET
 WESTBROOK, ME 04098-1330
 TEL. (207) 868-0277

DESIGN BY:	JLC
DRAWN BY:	JLC
CHECKED BY:	LEB
DATE:	07-25-01
SCALE:	AS NOTED
FIELD BK:	SB00A
PROJ. NO:	00808
DRAWING:	0080852
SHEET 2 OF 2	

I:\2001\041601-avis\received from consultants\Sebago\0137L2.dwg, Layout1, 10/02/01 08:40:52 AM,
GTardif, ANSI B (11.00 x 17.00 inches)

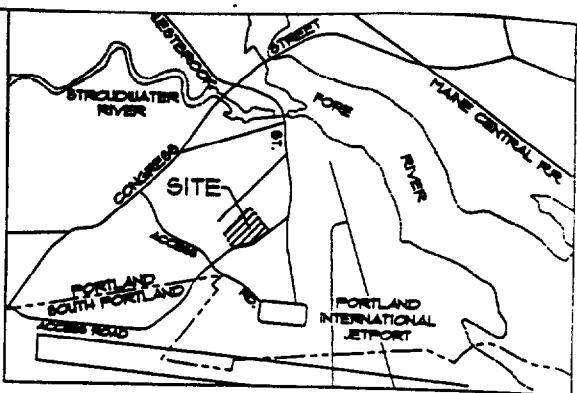
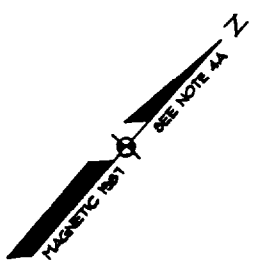
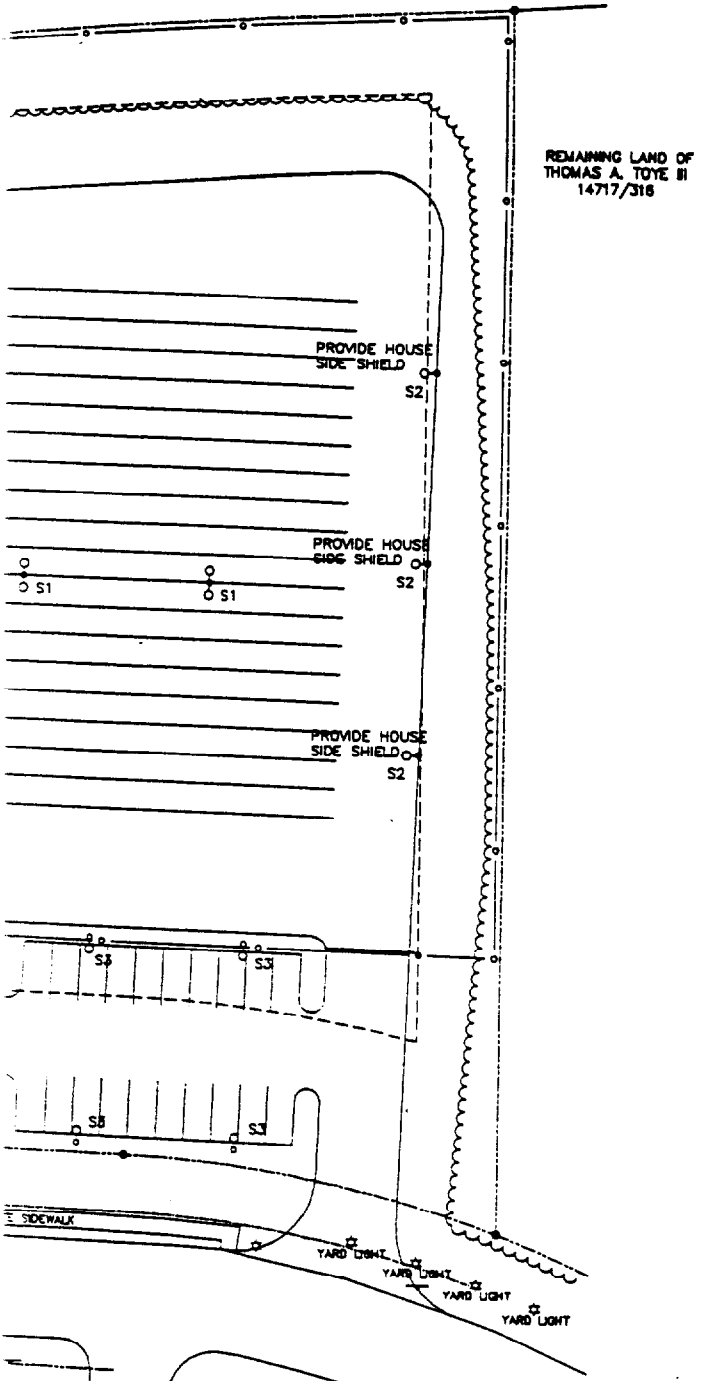


SITE PLAN
1" = 30'-0"



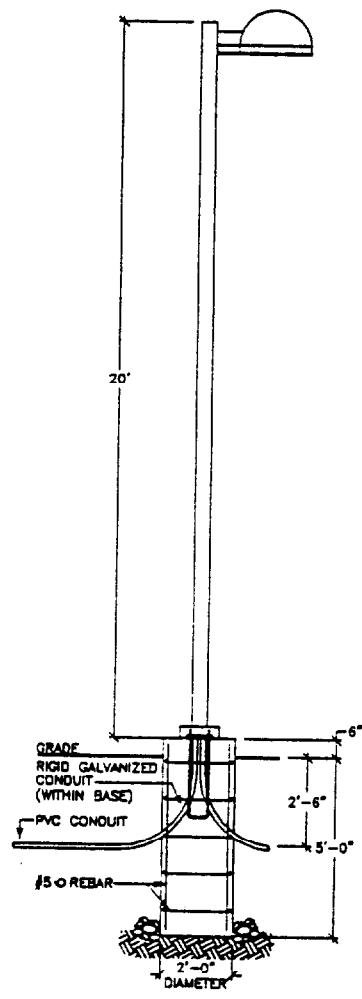
CANOPY PLAN
1" = 10'-0"

JRWAN H. GREENBERG
 TYLLIS M. GREENBERG
 4902/118



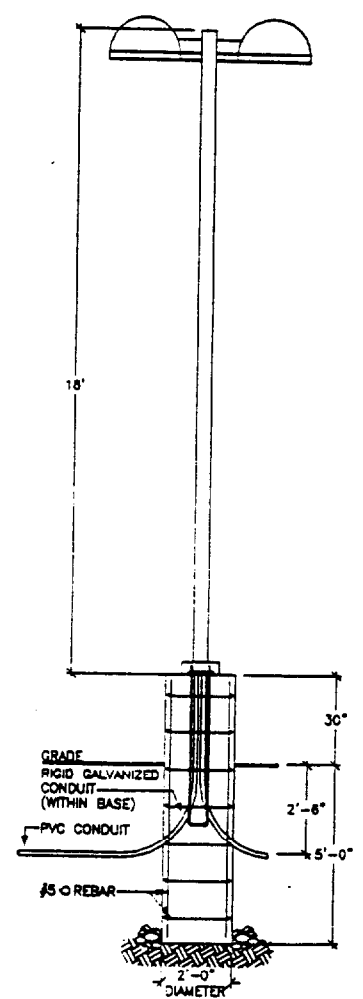
LOCATION MAP

N.T.A.



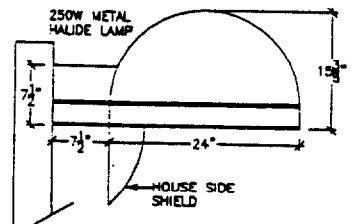
TYPE S2/S3 POLE DETAIL

3/8" = 1'-0"



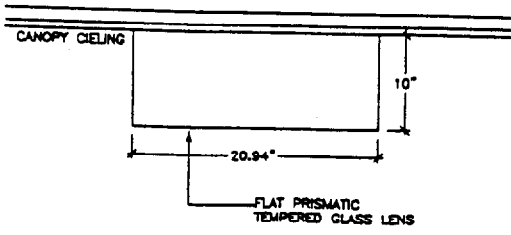
TYPE S1 POLE DETAIL

3/8" = 1'-0"



TYPE S1/S2 FIXTURE DETAIL

1" = 1'-0"



TYPE S4 FIXTURE DETAIL

1-1/2" = 1'-0"

B	JLC	09-08-01	ISSUED FOR PLANNING BOARD REVIEW
A	OAM	07-20-01	ISSUED FOR PRELIMINARY PLANNING BOARD REVIEW
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



SITE PLAN OF:
AVIS RENT A CAR SYSTEMS, INC.
 WESTBROOK STREET
 PORTLAND, MAINE
 FOR:
AVIS RENT A CAR SYSTEMS, INC.
 900 OLD COUNTRY ROAD
 GARDEN CITY, NEW YORK 11530

Sebago Technics
 Engineering & Planning for the Future
 ONE CHABOT STREET
 WESTBROOK, ME 04098-1338

DESIGN BY:	JLC
DRAWN BY:	JLC
CHECKED BY:	LEB
DATE:	07-25-01
SCALE:	AS NOTED
FIELD BK:	580AA
PROJ. NO.:	00808
DRAWING:	00808S2
SHEET:	1 OF 2

N/F
COASTAL INDUSTRIES, INC.
8108/054

NORMAN K. GREENBE
PHYLLIS M. GREENBE
4802/119

PROVIDE HOUSE
SIDE SHIELD

PROPOSED
BUILDING
&P.

AREA FOR PROPOSED
DETENTION BASIN

JETPORT CROSS ROAD

N/F
CITY OF PORTLAND
13434/286

CONTINUED.

SITE PLAN

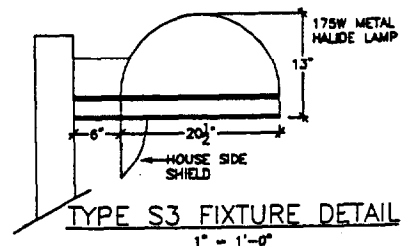
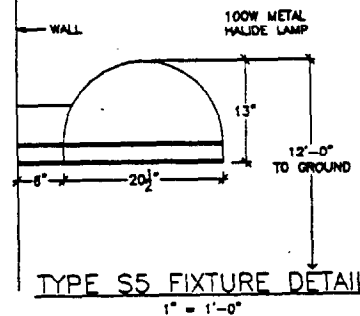
1" = 30'-0"

LIGHTING FIXTURE SCHEDULE

(EXTERIOR ONLY)

NO.	MANUFACTURER	CAT. NO.	LAMP NO.	LAMP TYPE	DESCRIPTION
S1	McGRAW EDISON	Z2AD21531BK (fixture) RSAS418NY22 (pole)	2	MVR250/ HOR	TWIN CUT-OFF TYPE AREA LIGHT WITH FLAT TEMPERED GLASS LENS.
S2	McGRAW EDISON	ZAD21541BK (fixture) RSAS420NY21 (pole)	1	MVR250/ HOR	SINGLE CUT-OFF TYPE AREA LIGHT WITH FLAT TEMPERED GLASS LENS.
S3	McGRAW EDISON	ZAD11441BK (fixture) RSAS420NY21 (pole)	1	MVR175/ HOR	SINGLE CUT-OFF TYPE AREA LIGHT WITH FLAT TEMPERED GLASS LENS.
S4	LUMARK	NHCL-250-120-C73	1	MVR250/ HOR	SURFACE MOUNTED CANOPY LIGHT WITH FLAT PRISMATIC TEMPERED GLASS LENS.
S5	McGRAW EDISON	ZAD11241BK- MA1001	1	MVR100/ HOR	WALL MOUNTED CUT-OFF AREA LIGHT WITH FLAT TEMPERED GLASS LENS.

1. ALL LIGHT FIXTURES ARE 120 VOLT EXCEPT AS SPECIFICALLY NOTED OTHERWISE IN SCHEDULE.
2. LAMP DESIGNATIONS REFER TO GENERAL ELECTRIC ORDERING CODES. ALSO APPROVED ARE EQUIVALENT LAMPS BY OSRAM-SYLVANIA AND PHILIPS-WESTINGHOUSE.



I:\200\1041601-avis\received from consultants\Sebago\0137L1.dwg, Layout1, 10/02/01 08:39:54 AM,
G:\ardif, ANSI-expand B (11.00 x 17.00 inches)

BECKER
structural engineers, inc.

Avis

204 A001

24 April 2002

Mr. Mark E. Geuther
Project Manager
Horne Construction
154 High Street
Somersworth, NH 03878-2612

SPECIAL INSPECTION SERVICES
AVIS VEHICLE SERVICE CENTER
SOUTH PORTLAND, MAINE

Dear Mark,

I spoke with Mike Nugent of the City of Portland this afternoon regarding the Special Inspections report for the above reference project. In order for Becker Structural Engineers to complete this report, all of the information required in the Statement of Special must be submitted to Becker Structural Engineers. Considering the information we received on Monday, 22 April 2002, the following information is still outstanding:

Structural Steel:

- Material Certifications for Bolts, Nuts and Washer
- Material Certifications for Structural Steel Material, Including Steel Joists

Concrete:

- Material Certifications/Product Data for slab-on-grade moisture barrier

Masonry:

- Material Certification on CMU Masonry Units (Brick Certifications will not be accepted)
- Grout Material Certifications/Mix Design
- Mortar Material Certifications/Mix Design

Light Gage Roof Trusses

- Certification of Fabricator's In-house QA/QC procedures
- Material Certifications
- Galvanizing Certifications

Please note that we are looking for evidence that the materials used to construct the Avis Building meets the standard set forth in the project specifications (i.e. ASTM designations). We ask that you carefully review the information your subcontractors submit to you for this information.

We know you have been working to get this information together. We appreciate your efforts and professional diligence in this matter. I ask that you forward this information to me as quickly as possible so that Becker Structural Engineers can issue our Special Inspections Report.

Sincerely,

BECKER STRUCTURAL ENGINEERS, INC.



Ethan A. Rhile, P.E.
Project Engineer

CC: Michael Nugent - City of Portland Inspection Services

Becker Structural Engineers, Inc.

FAX COVER

19 Commercial Street
Portland, ME 04101
207.879.1838 phone
207.879.1822 fax

FROM:

Ethan A. Rhile, P.E.

TO: Michael J. Nugent
Inspection Services Manager
City of Portland

DATE: 04-24-2002

FAX NO: 874-8716

SUBJECT: Special Inspections- Avis

No. of Pages 2
Including
Cover:
