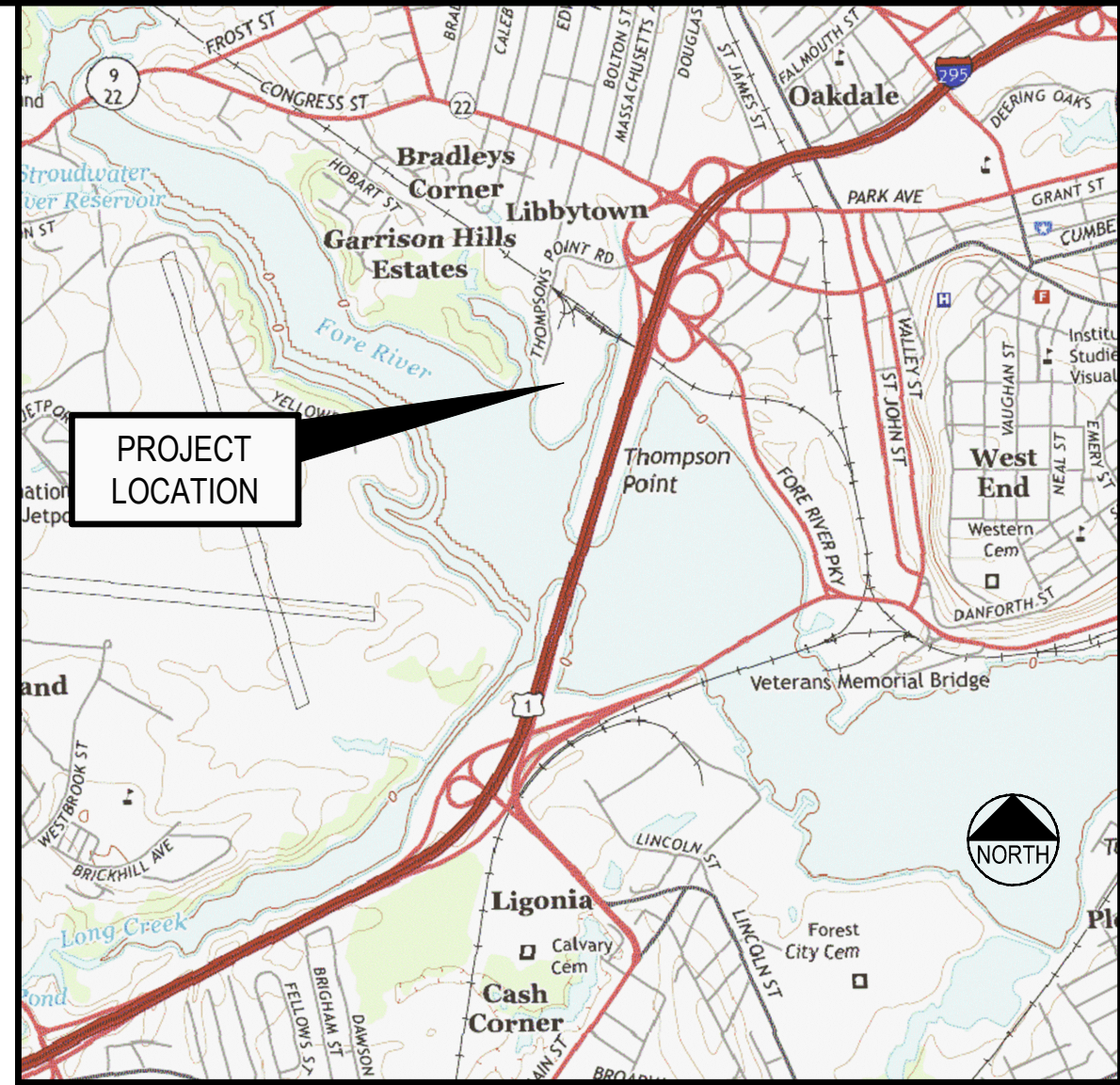


PLAN NOTES:

- OWNER OF RECORD - LOT 1 FOREFRONT PARTNERS I, LP 501 DANFORTH STREET PORTLAND, MAINE 04102 CORD BOOK 30781, PAGE: 282
- LOCUS IS SHOWN AS LOTS 5, 8 & 10 ON PORTLAND ASSESSOR'S MAP 2011 AND LOTS 1 & 4, MAP 202.
- BEARINGS ARE BASED ON GRID NORTH MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802, NAD83.
- THIS SUBDIVISION PLAN IS PART OF A DEVELOPMENT PLAN SET FOR DEVELOPMENT OF LAND AT THOMPSON'S POINT, A DEVELOPMENT PLAN SET TITLED "THE FOREFRONT AT THOMPSON'S POINT" PREPARED BY FAY, SPOFFORD & THORNDIKE, INC. APPROVED BY THE PLANNING BOARD ON JANUARY 12, 2016. THE PLAN TITLED "CITY OF PORTLAND PLANNING BOARD SUBDIVISION APPROVAL FOR SECTIONAL RECORDING OF PHASE 1A" RECORDED ON MARCH 10, 2015 BOOK 215 PAGE 75 AT CORD IS SUPERSEDED WITH THIS PLAN. SEE COMPLETE PLAN SET APPROVED JANUARY 12, 2016 FOR ALL PERTINENT EXISTING CONDITIONS, EXISTING AND PROPOSED ACTIVITIES, DRAINAGE SYSTEM AND PROPOSED IMPROVEMENTS.
- SEE DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS AS DECLARED BY FOREFRONT PARTNERS I, LP AS DECLARANT AND TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, AND DATED OF NEAR OR EVEN DATE TO THE RECORDING OF THIS SECTIONAL 1 RECORDING PLAT, WHICH DECLARATION SETS FORTH THE PROTECTIVE COVENANTS, RESTRICTIONS, COMMON EASEMENTS AND THE ENFORCEMENT THEREOF. PROVIDES FOR INGRESS AND EGRESS ACCESS TO ALL OF THE LOTS IN THE SUBDIVISION AND A COMMON SCHEME OF THE MAINTENANCE AND IMPROVEMENT TO SAID COMMON AREA.
- BOUNDARY AND TOPOGRAPHIC DATA PROVIDED BY SEBAGO TECHNICS, INC. AS SHOWN ON A PLAN TITLED "ALTAACSM LAND TITLE SURVEY OF THOMPSON'S POINT" DATED MAY 27, 2011, NOVEMBER 23, 2011 AND LAST REVISED ON MAY 19, 2016.
- VERTICAL DATUM BASED ON DRAWING PREPARED BY SEBAGO TECHNICS, INC. DATED MAY 27, 2011 AND LAST REVISED ON MAY 19, 2016. GENERAL NOTE 27 (NSVD 29).
- CONVEYANCE TO MDOT AS ADDITIONAL LAND FOR SEWELL STREET PER MDOT FILE NO. 3-593 AND RECORDED IN BOOK 32803 PAGE 199 (SEWELL STREET EXTENSION PART I) AND BOOK 30781 PAGE 288 (SEWELL STREET EXTENSION PART II) AT CORD. REFER TO "SUBDIVISION PLAN EASEMENTS AND ENCUMBRANCES SHEET 2 OF 2" RECORDED IN CORD AT THE SAME TIME AS THIS SHEET FOR DEPICTION OF EASEMENTS.
- "COMMON AREAS" ARE THE AREAS DEFINED AS SUCH IN THE DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS REFERRED TO IN NOTE 5 ABOVE, AND THE USE OF WHICH IS GOVERNED BY THE TERMS OF SAID DECLARATION.

SECTIONAL RECORDING NOTES:

- THIS PLAN WAS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON JANUARY 12, 2016, WITH AN AMENDMENT APPROVED BY THE CITY OF PORTLAND PLANNING AUTHORITY ON _____, 2017. THIS PLAN IS INTENDED TO SUPPLEMENT THE PREVIOUSLY RECORDED "AMENDED SUBDIVISION PLAN - SECTIONAL 1 RECORDING PLAT" AND "AMENDED SUBDIVISION PLAN - SECTIONAL 2 RECORDING PLAT".
- LOTS 16-19 HAVE BEEN PREVIOUSLY APPROVED (SEE SPECIAL CONDITIONS OF PLANNING BOARD APPROVAL NOTES ON THIS SHEET) AND SHOWN ON THIS PLAN FOR REFERENCE PURPOSES ONLY, BUT WILL NOT BE CREATED UNTIL A FUTURE SECTIONAL RECORDING PLAT.
- FUTURE PHASE INFRASTRUCTURE OR OTHER WORK WILL REQUIRE A SEPARATE RECORDING PLAT AND POSTING OF A FURTHER PERFORMANCE GUARANTEE.



LOCATION MAP N.T.S.

SPECIAL CONDITIONS OF PLANNING BOARD APPROVAL DATED JAN. 12, 2016

On January 12, 2016, the Planning Board considered a Level III Site Plan and Subdivision application for an amended subdivision plan consisting of 19 lots, an amended Site Location of Development Act approval, a Level III site plan for the renovation of an existing building (Brick South) for use as a flexible 2,500 person event assembly space with associated parking, utilities and stormwater management within the 34,000 square foot building. Included in this site plan is coordination with a previous approval of Brick North and adjacent site work. Both the site plan and subdivision application are applications towards fulfillment of the previously approved Master Development Plan for this site. The Planning Board reviewed the proposal for conformance with the standards of the Shoreland Zoning Regulations, Floodplain Management Regulations, Traffic Movement Permit, Subdivision Ordinance and Site Plan Ordinance, including the Site Development of Location Act. The Planning Board voted 5-0 (Elizabeth Boepple absent) to approve the application with the following waivers and conditions as presented below.

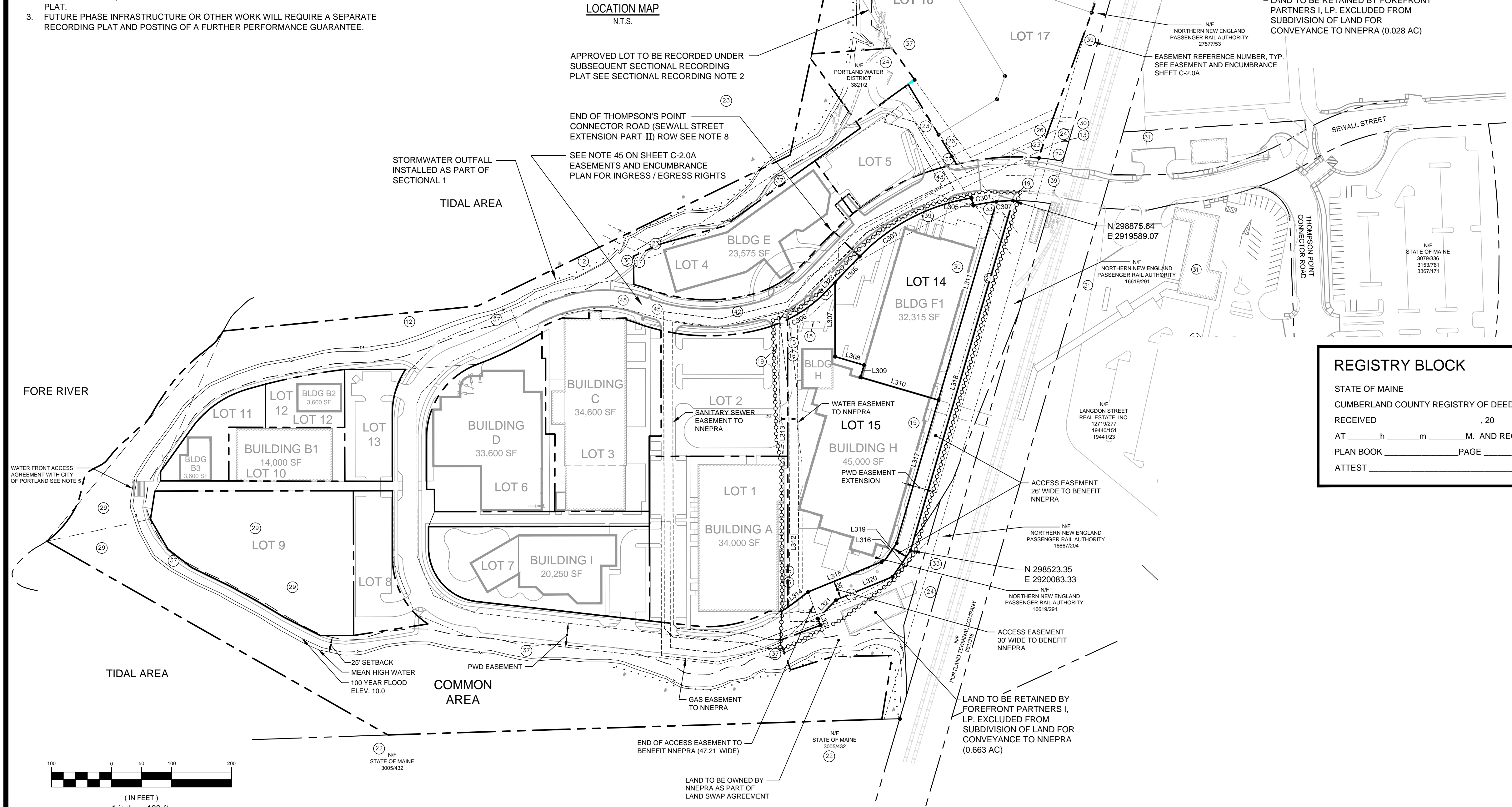
WAIVERS

- 1.7.2.1, requiring a perpendicular driveway connection to the street, to allow for an alternative angle for the proposed Parking Garage Entrance (Lot 14/Building F 1).
- 1.7.2.9, requiring that vehicular circulation to be contained off-site and to not utilize the adjacent street system, to allow for anticipated delivery truck maneuvers.
- 3.10.8, requiring a minimum aggregate base course thickness of 3 inches for collector roads, to allow for alternative road design specifications as noted on Sheet C7-0.
4. Figure 1-2 (Collector Street Cross-Section), requiring continuous sidewalks on both sides of the collector road to allow for sidewalk not to be built on an easterly portion of the road, as shown on the Site Layout Plan, sheet C-3.0, for the purposes of the Level III site plan (2015-159) subject to a condition of approval for completion of full sidewalk design as shown on Sheet C-3.0, Overall Site Plan is (2015-133) at a future phase.
5. Figure 1-2 (Collector Street Cross-Section), requiring a minimum roadway width of 40 feet for collector roads, to allow for a variable width of 30-39 feet.

SUBDIVISION REVIEW

The Planning Board voted 5-0 (Boepple absent) that the plan is in conformance with the subdivision standards of the Land Use Code and the Site Location of Development Act, subject to the following condition(s) of approval:

1. The applicant shall finalize the subdivision plat for review and approval by Corporation Counsel, the Department of Public Works, and the Planning Authority. The subdivision plats shall note all conditions of public access, all relevant easements including any for city vehicle access and turning, language regarding rights of lot ingress/egress/regress, and final street turnaround easement location and design in accordance with City of Portland Technical Manual section 1.3.
2. Prior to the issuance of certificates of occupancy, the applicant shall provide a revised Declaration of Easements, Covenants and Restrictions document for review and approval by Corporation Counsel.
3. Street Lighting: The proposed street lights on the 1st segment of the public portion of the Sewell Street extension are to be privately owned, metered and maintained by the Forefront at Thompson's Point. The City shall grant a license for such a purpose at the time of street acceptance.



ID	LENGTH	DIRECTION
L305	12.72'	N83° 36' 12"W
L306	59.17'	S27° 00' 14"E
L307	124.13'	S70° 51' 07"E
L308	50.21'	N35° 29' 02"E
L309	20.98'	S54° 30' 58"E
L310	135.24'	N35° 29' 42"E
L311	344.33'	N54° 29' 34"W
L312	251.55'	S70° 54' 47"E
L313	227.78'	N70° 54' 47"W
L314	42.22'	S17° 57' 15"E
L315	138.03'	S03° 11' 21"E
L316	33.69'	S30° 16' 17"E
L317	249.45'	S54° 29' 34"E
L318	607.31'	S54° 29' 34"E
L319	52.95'	S30° 16' 17"E
L320	102.07'	S03° 11' 21"E
L321	43.04'	S20° 42' 14"E
L322	11.87'	N87° 29' 09"E
L323	20.55'	N27° 00' 14"W

ID	RADIUS	LENGTH	DELTA	CHORD LENGTH / BEARING
C301	326.68'	39.08'	006° 50' 47"	39.05' / S09° 52' 03"W
C303	330.00'	214.17'	037° 11' 05"	210.43' / S08° 24' 41"E
C306	230.00'	80.80'	020° 07' 41"	80.38' / N16° 56' 23"W
C307	327.00'	27.64'	004° 50' 36"	27.83' / S15° 42' 45"W

REGISTRY BLOCK

STATE OF MAINE
CUMBERLAND COUNTY REGISTRY OF DEEDS
RECEIVED _____, 20____
AT _____h _____m _____M. AND RECORDED IN
PLAN BOOK _____ PAGE _____
ATTEST _____ REGISTRAR

SECTIONAL RECORDING	LOT ID	AREA (SF)	AREA (AC)
SECTIONAL RECORDING 1	COMMON AREA	462,303	10.61
	RETAINED LAND TO BE CONVEYED TO NNEPRA	30,092	0.69
	RETAINED LAND TO BE SUBDIVIDED AT A LATER DATE (FUTURE LOTS 16-19)	203,530	4.67
	1	63,335	1.45
	2	44,355	1.02
	3	57,232	1.31
	4	41,410	0.95
	5	24,240	0.56
	7	48,958	1.12
	10	17,279	0.40
SECTION 1 SUB TOTAL	296,810	6.81	
SECTIONAL RECORDING 2	6	50,018	1.15
	8	17,504	0.40
	9	59,024	1.36
	11	13,873	0.32
	12	11,329	0.26
	13	15,323	0.35
SECTION 2 SUB TOTAL	167,071	3.84	
SECTIONAL RECORDING 3	14	57,345	1.32
	15	80,137	1.84
	SECTION 3 SUB TOTAL	137,482	3.16
TOTAL	1,297,288	29.78	

LEGEND

- LIMIT OF UTILITY INFRASTRUCTURE IMPROVEMENTS INCLUDED WITH SECTIONAL RECORDING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PART OF SECTIONAL 3 RECORDING)
- PROPOSED PROPERTY LINE (PART OF FUTURE SECTIONAL RECORDING)
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- 25' SETBACK FROM HIGHEST ANNUAL TIDE ELEVATION 7.4
- PIN TO BE SET

SURVEYOR'S STATEMENT

THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT WAS DONE IN ACCORDANCE WITH CHAPTER 90, PART 1 (PROFESSIONAL STANDARDS OF PRACTICE) AND PART 2 (TECHNICAL STANDARDS OF PRACTICE) OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS.

THE SEALING OF THIS PLAN BY SEBAGO TECHNICS, INC. IS FOR THE EXTERNAL BOUNDARIES AND THE REVIEW OF THE INTERNAL BOUNDARIES AS DEPICTED HEREON ONLY.

MONUMENTS DEPICTED HEREON ARE PROPOSED TO BE SET, NO MONUMENTATION HAS BEEN SET AT THIS TIME.

CHARLES D. MARCHESE, MAINE PLS '2009 _____ DATE

CITY OF PORTLAND PLANNING AUTHORITY
SUBDIVISION SECTIONAL RECORDING
AMENDMENT APPROVAL

DATE _____
PLANNING DIRECTOR _____

REV	DATE	DESCRIPTION
4	05.10.17	AMENDED SUBDIVISION SUBMISSION TO CITY
3	09.16.16	FINAL SUBDIVISION PLANS
2	11.09.15	FINAL PLANS REVISED PER CITY COMMENTS
1	08.13.15	FINAL SUBDIVISION APPLICATION SUBMISSION

CHARLES D. MARCHESE
MAINE PLS 2009

PROJECT: THE FOREFRONT AT THOMPSON'S POINT
SHEET TITLE: AMENDED SUBDIVISION PLAN SECTIONAL 3 RECORDING PLAT
OWNER: FOREFRONT PARTNERS I, LP
501 DANFORTH ST, PORTLAND, MAINE 04101

STANTEC CONSULTING SERVICES INC.
482 PAYNE ROAD
SCARBOROUGH, ME 04074
WWW.STANTEC.COM
DRAWN: CDD DATE: SEPT 2014
DESIGNED: BEK SCALE: AS NOTED
CHECKED: SRB JOB NO. 195350044
FILE NAME: 2982.05-SUB SUBDIVISION SECTIONALS
SHEET C-2.3

V:\195350044\195350044\2982.05-Sub\Drawings\SI\RD\N\SI\N\2982.PLS_S1\RD\N\SI\N\SECTIONAL 3-Rev.dwg 4/10/2017 4:36 PM