



Planning & Urban Development Department

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Jeffrey Levine, Director

Planning Division

Stuart "Tuck" O'Brien, Director

April 6, 2018

Alan Nichols, CMTM's Owner's Rep
Development Services of New England
Inc.
37 Pine Street
Freeport, ME 04032

Project Name: **Children's Museum & Theatre of Maine**
Project ID: 2017-074
Address: 1 Thompson's Point Road CBL: 201 A 005001
Applicant: Children's Museum & Theatre of Maine and Forefront
Partners, LLC
Planner: Shukria Wiar

Dear Mr. Nichols:

On April 6, 2018 the Planning Authority approved the **Children's Museum & Theatre of Maine** preload site work at 1 Thompson's Point Road. As provided in Section 14-532, this letter serves as the written permission from the Planning Authority to commence earth work associated with the required site preload, prior to issuance of the building permit. The commencement of site work is limited to the extent of work outlined below:

1. Removal of existing parking lot and storm drain lines
2. Installation of temporary erosion control measures
3. Placement of structural fill material over the building pad area
4. And active monitoring of the settlement on a regular basis during the preload period.

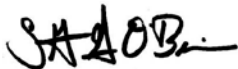
Please be advised that you must obtain any permits that may be required from Public Services for the temporary closing of any public sidewalks and any temporary loss of on-street public parking if relevant.

Prior to the start of any site or demolition work, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule, erosion and sedimentation controls, and other critical aspects of the site work. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

The approval to proceed with the demolition and site work is based on the submitted request of Alan Nichols, and the approved preload location plans. If you need to make any modifications to the approved preload location plan, you must submit a revised plan for staff review and approval.

Please contact Philip DiPierro, Development Review Coordinator at 874-8632 regarding the preconstruction meeting. If there are any further questions, please contact the Planning Office at 874-8719.

Sincerely,



Stuart "Tuck" O'Brien
Planning Division Director

Attachments:

1. CMTM Preload Surcharge Drawings.

CC: Jeff Levine, AICP, Director of Planning and Urban Development
Stuart "Tuck" O'Brien, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Shukria Wiar, Planner
Philip DiPierro, Development Review Coordinator, Planning
Ann Machado, Zoning Administrator, Inspections Division
Michael Russell, Inspection Division Director
Chris Branch, Public Works Director
Keith Gray, Engineering Services Manager, Public Works
Bill Scott, Project Engineer, Public Works
Doug Roncarati, Stormwater Coordinator, Public Works
Greg Vining, Associate Engineer, Public Works
Michelle Sweeney, Associate Engineer
John Low, Associate Engineer, Public Works
Rhonda Zazzara, Field Inspection Coordinator, Public Works
Mike Farmer, Project Engineer, Public Works
Jeff Tarling, City Arborist, Public Works
Jeremiah Bartlett, Public Works
Captain Chris Pirone, Fire Department
Danielle West-Chuhta, Corporation Counsel
Thomas Errico, P.E., TY Lin Associates
Lauren Swett, P.E., Woodard and Curran
Approval Letter File

Children's Museum and Theatre of Maine
Lot 7, Thompson's Point
Portland, Maine 04101
March 5, 2018

Mr. Philip Dipero
Planning and Transportation Division
City of Portland Maine

RE: Performance Guarantee – Cost Estimate

Attn: Mr. Phil Dipero,

On behalf of the Children's Museum and Theatre of Maine (CMTM) please accept this "Draft Cost Estimate" for the pre-loading work that will be performed on Lot 7, at Thompson Point this spring. The work will be performed by a sub-contractor that will be under contract to Zachau construction, CMTM's construction Manager.

The remainder of work described within the approved site plan that was approved in November of 2017 is tentatively scheduled to begin early to mid-summer, upon the successful conclusion of the pre-load period, that is will likely take three to four months.

Per our conversations, the scope items I have included are those that directly relate to the improvements that will be made during this initial phase of site prep (Pre-Loading). The remainder of the scope items associated with the approved site plan will be added, and this Performance Guarantee will be revised once the GMP has been finalized and the contract has been signed with Zachau Construction, which should occur in the next few weeks.

Along with the "draft" estimate I have also attached the approved Construction Management Plan, Phase I ESA, Preload Surcharge Drawings and specifications for your review and files.

Please let me know if you need any additional information to do your review.

Sincerely,

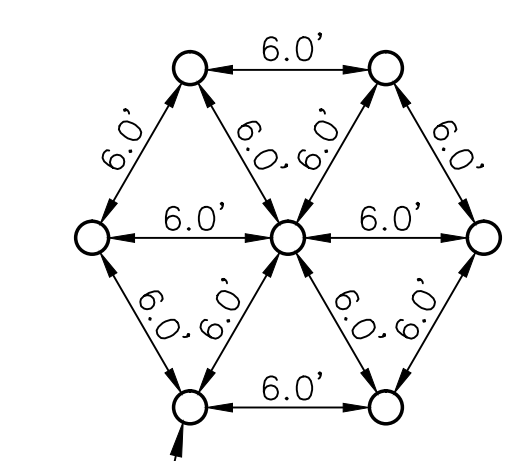
Alan Nichols
CMTM's Owner's Rep
Development Services of New England Inc.
37 Pine Street
Freeport, Maine 04032

E: anichols@developmentsvcs.com.

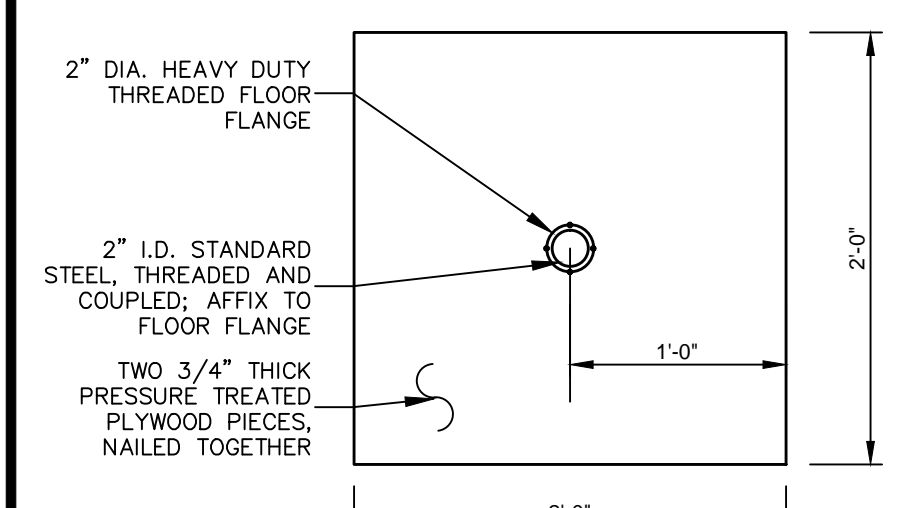
Attachments:

- "Draft" Performance Guarantee Cost Estimate
- Approved Construction Management Plan

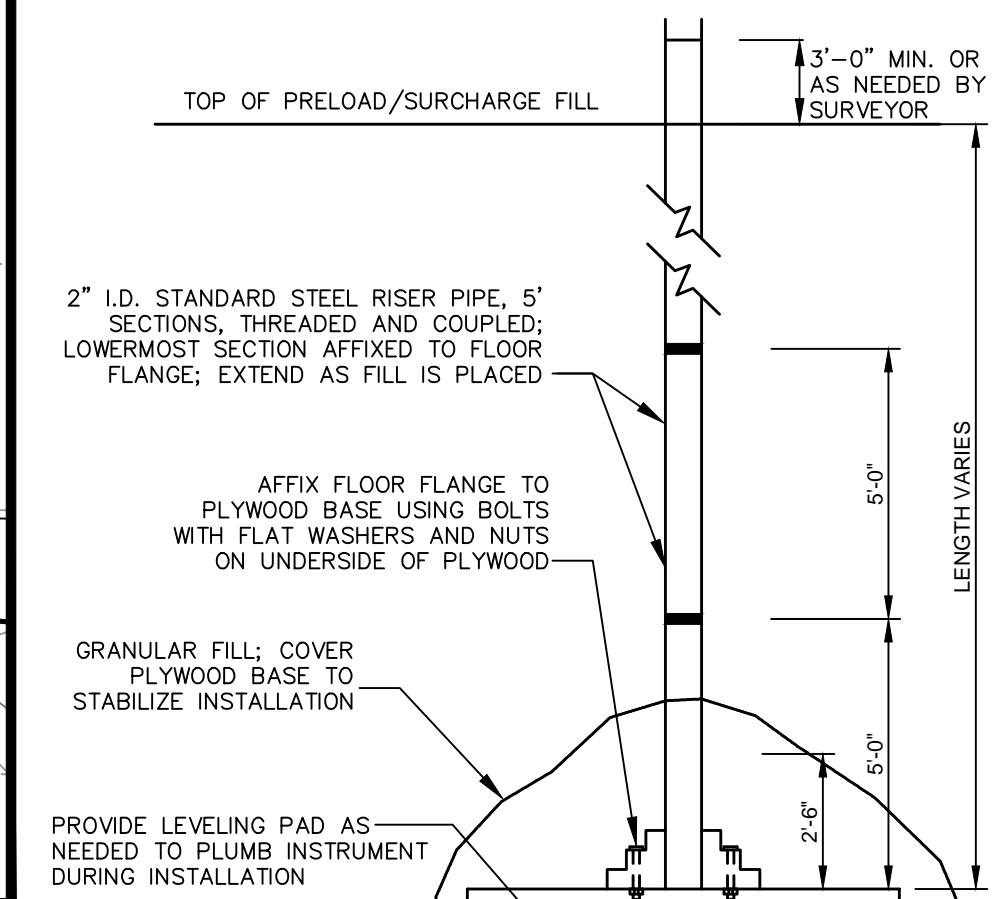
- Approved Phase I ESA
- Preload Surcharge Drawings
- Preload Package Specifications.



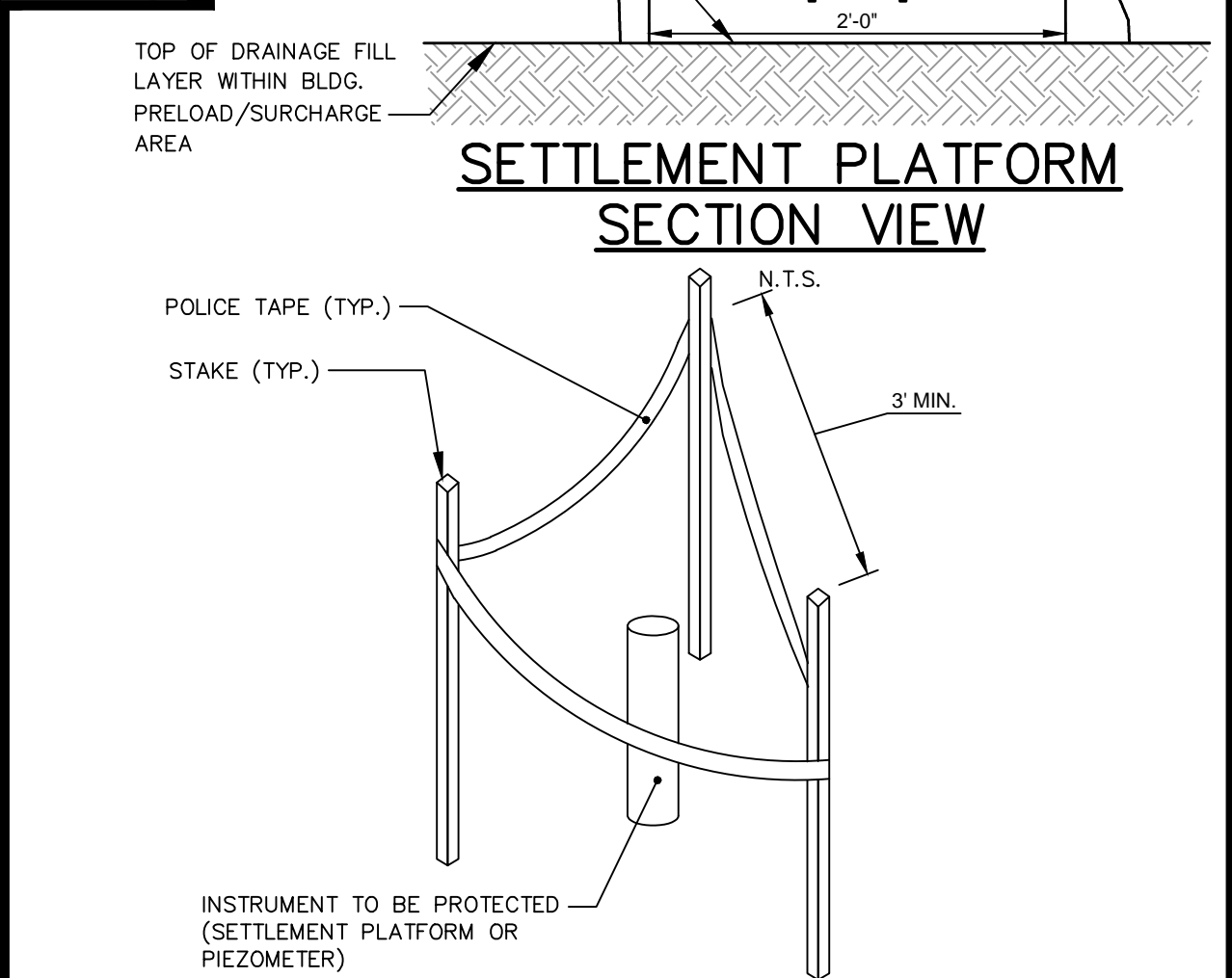
TYPICAL PREFABRICATED VERTICAL DRAIN SPACING
N.T.S.



SETTLEMENT PLATFORM PLAN VIEW
N.T.S.

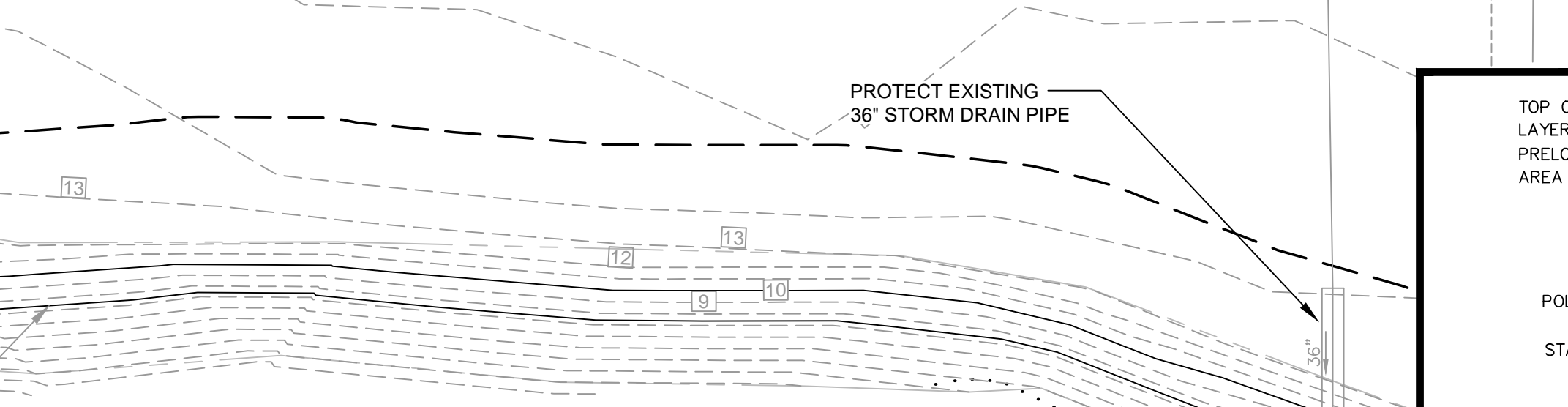
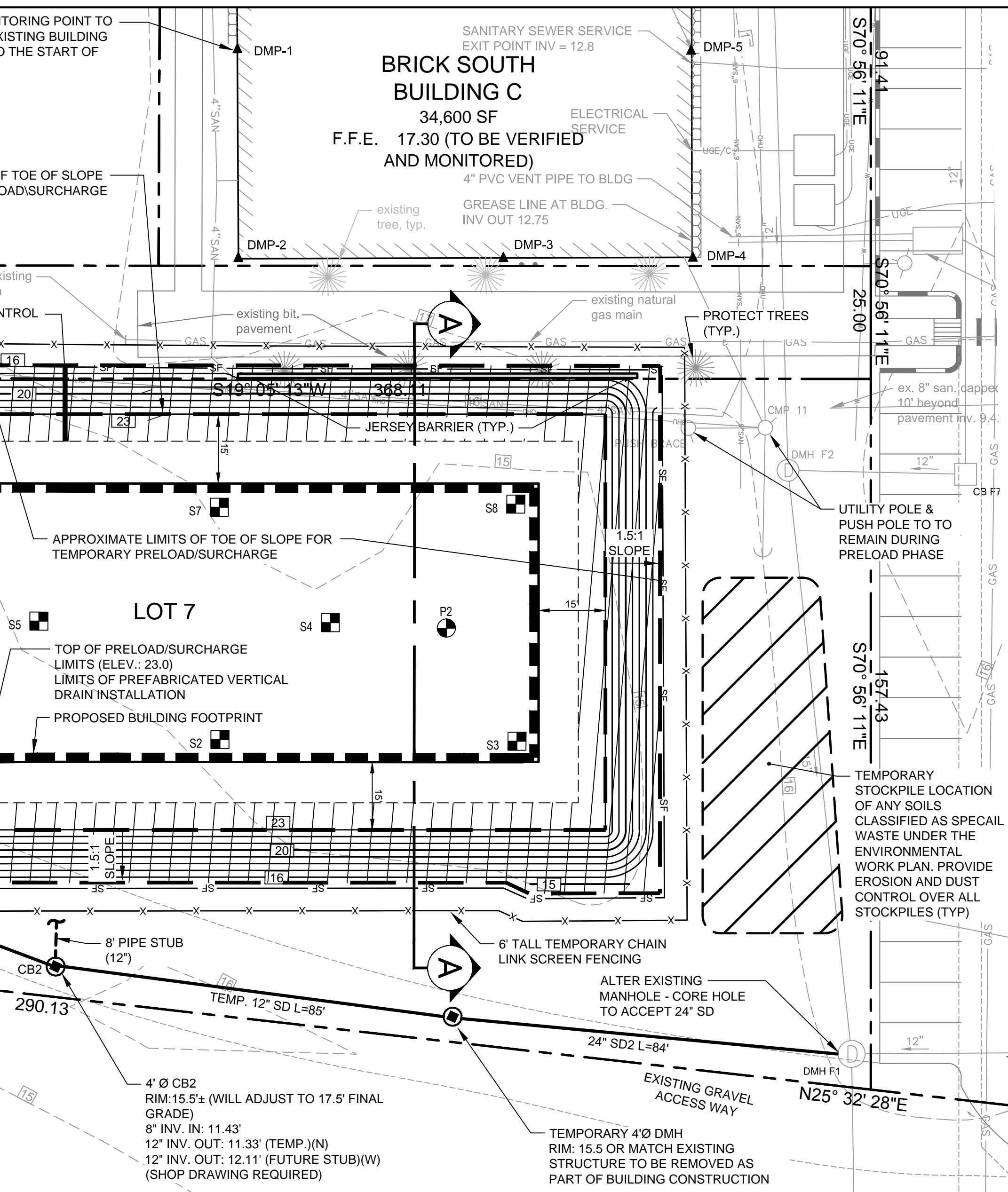


SETTLEMENT PLATFORM SECTION VIEW



TYPICAL INSTRUMENT PROTECTION DETAIL
N.T.S.

NO.	REVISION	DATE	BY	APP'D.
1	REVISED PRELOAD/SURCHARGE PLAN PER GEOTECHNICAL ENGINEER COMMENT	18.02.18	SRB	Y.M.M/D.D
2	PRELOAD/SURCHARGE PLAN RELEASED TO OWNER	18.02.18	SRB	
3	FINAL UTILITY LINE PLAN APPLICATION	17.10.17	SRB	
4	REVISED SUBMISSION - LETTER OF RESPONSE I	17.05.17	SRB	
5	REVISED SUBMISSION - LETTER OF RESPONSE II	17.02.17	SRB	
6	REVISED SUBMISSION TO CITY	17.02.17	SRB	
7	REVISED FOR CLIENT REVIEW	17.02.17	SRB	



SECTION A-A
TYPICAL SECTION OF BUILDING PRELOAD / SURCHARGE
N.T.S.

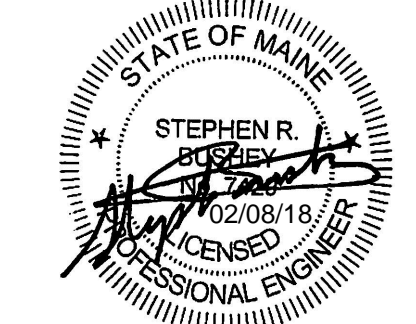
NOTES ON BUILDING PRELOAD / SURCHARGE PLAN

- A PERIMETER BARRIER (SILT FENCE OR ECM) SHALL BE INSTALLED AT THE TOE OF THE PRELOAD / SURCHARGE SLOPE PRIOR TO PLACEMENT OF FILL.
- THE CONTRACTOR SHALL ALLOW APPROXIMATELY ONE WEEK FOR THE GEOTECHNICAL ENGINEER TO INSTALL PIEZOMETERS AT TWO LOCATIONS PRIOR TO PRELOAD / SURCHARGE FILL PLACEMENT.
- EIGHT SETTLEMENT PLATFORMS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS SHOWN ON THE PLAN.
- PLACEMENT OF PRELOAD / SURCHARGE FILL SHALL NOT BEGIN UNTIL ALL SETTLEMENT PLATFORMS AND PIEZOMETERS HAVE BEEN INSTALLED AND INITIALIZED.
- THE SETTLEMENT PLATFORMS AND PIEZOMETERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. DAMAGED SETTLEMENT PLATFORMS SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL ALLOW THE OWNER AND GEOTECHNICAL ENGINEER ACCESS TO SURVEY THE SETTLEMENT PLATFORMS & DEFORMATION MONITORING POINTS AND COLLECT DATA FROM THE PIEZOMETERS.
- UPON COMPLETION OF THE PRELOAD / SURCHARGE FILL PLACEMENT, THE ENTIRE PRELOAD / SURCHARGE AREA SHALL BE COVERED WITH BARK MULCH. (SEE SECTION 31 20 00 FOR DETAILS)
- REFER TO SECTION 31 23 27 FOR PREFABRICATED VERTICAL DRAIN REQUIREMENTS.
- REFER TO SECTION 31 20 00 FOR GRADATION AND COMPACTION REQUIREMENTS FOR PRELOAD / SURCHARGE FILL AND DRAINAGE FILL. THE PRELOAD / SURCHARGE FILL SHALL HAVE A MINIMUM, IN-PLACE, DRY DENSITY OF 125 PCF.
- THE PRELOAD / SURCHARGE FILL SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE GEOTECHNICAL ENGINEER. THE ANTICIPATED DURATION FROM THE TIME THE PRELOAD / SURCHARGE FILL IS COMPLETELY PLACED TO REMOVAL OF THE SURCHARGE FILL IS APPROXIMATELY 4 MONTHS.
- UNDERGROUND UTILITIES SHALL NOT BE INSTALLED WITHIN THE FOOTPRINT OF THE BUILDING AND PRELOAD / SURCHARGE AREA UNTIL AFTER THE SURCHARGE FILL MATERIAL IS APPROVED TO BE REMOVED BY THE GEOTECHNICAL ENGINEER.
- ALL EXISTING BELOW-GRADE UTILITY LINES WITHIN THE FOOTPRINT OF THE PRELOAD / SURCHARGE AREA SHALL EITHER BE REMOVED AND BACKFILLED WITH COMPACTED GRANULAR FILL OR ABANDONED AND FILLED WITH CONCRETE FLOW FILL. IF CONTRACTOR DECIDES TO ABANDON & FLOW FILL UTILITY LINES, CONTRACTOR SHALL COORDINATE PV DRAIN INSTALLATION WITH UTILITY LINES THAT ARE ABANDONED.
- INFORMATION ON THIS PLAN WAS OBTAINED FROM A SURVEY NAMED 'ALTAIACSM LAND TITLE SURVEY OF 1 THOMPSON'S POINT, PORTLAND, MAINE, DATED MAY 27, 2011 BY SEBAGO TECHNICS OF WESTBROOK, MAINE AND FIELD OBSERVATIONS BY CREDERE ASSOCIATES, LLC PERSONNEL ON AUGUST 23, 2011, AUGUST 30, 2011 AND SEPTEMBER 2, 2011.

NOTE TO CONTRACTOR:

- THE SITE IS AN ACTIVE SITE WITH EXISTING ABUTTERS AND ON SITE TENANTS WITH RIGHTS TO ACCESS AND OPERATE THEIR FACILITIES. THE CONTRACTOR SHALL MAINTAIN REASONABLE VEHICULAR ACCESS TO, BUT NOT LIMITED TO THE FOLLOWING:
ALL EXISTING BUILDINGS, HYDRANTS / FIRE PROTECTION APPURTANCES, PARKING LOTS & SUBURBAN PROPANE GATED ENTRANCE
- THIS PRELOAD PLAN MAY REQUIRE THAT OVERHEAD WIRES FOR POWER AND COMMUNICATIONS REMAIN AND THE REMOVAL OF EXISTING UTILITY SERVICES (SANITARY SEWER, WATER AND DRAINAGE). ALL EXISTING USERS SHALL BE PROVIDED WITH TEMPORARY OR PERMANENT UTILITY CONNECTIONS PRIOR TO REMOVAL OR DISCONNECTION OF ANY UTILITY LINE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE ALL SHUT DOWNS WITH CHILDREN'S MUSEUM AND THEATRE OF MAINE AND THE DEVELOPMENT OWNER AND USER 72 HOURS IN ADVANCE WITH A PLAN TO PROVIDE A REPLACEMENT SERVICE.
- CONTRACTOR SHALL COORDINATE PRECAUTION SURVEY OF ADJACENT BUILDINGS AND MONITOR FINISH FLOOR ELEVATIONS OF THESE BUILDINGS THROUGHOUT THE COURSE OF THE PRELOAD PLACEMENT.

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SITE LAYOUT NOTES

1. INFORMATION ON THIS PLAN WAS OBTAINED FROM A SURVEY NAMED 'ALTA/CMS LAND TITLE SURVEY OF 1 THOMPSON'S POINT, PORTLAND, MAINE' DATED MAY 27, 2011 BY SEBAGO TECHNICS OF WESTBROOK, MAINE AND FIELD OBSERVATIONS BY CREDERE ASSOCIATES, LLC PERSONNEL ON AUGUST 23, 2011, AUGUST 30, 2011 AND SEPTEMBER 2, 2011.
2. ALL BARRIER FREE PARKING SPACES ARE TO RECEIVE BARRIER FREE SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS.
3. ALL CURBING MATERIALS WILL BE SELECTED BY THE OWNER. THE DIMENSIONS PROVIDED ON THE PLAN ARE TO FACE OF CURB. ALL CURBING TYPES ARE DETAILED IN THE PROJECT DETAIL SHEETS.
4. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB, THE EDGE OF PAVEMENT OR THE FACE OF THE BUILDING.
5. EXCEPT WHERE INDICATED OTHERWISE, THE PAVEMENT IS TO BE STANDARD DUTY PAVEMENT.
6. ALL PAVEMENT MARKINGS SHOWN SHALL BE TEMPORARY PAINT PLACED ON BINDER PAVEMENT. UPON PLACEMENT OF FINAL SURFACE PAVEMENT TO BE CONSISTENT WITH THE APPROVED MARCH 2014 MASTER PLAN.
7. THE APPLICANT RESERVES THE RIGHT TO INSTALL A REMOVABLE BARRIER ALONG THE PARKING LOT EDGE AS NEEDED.

CURB LEGEND

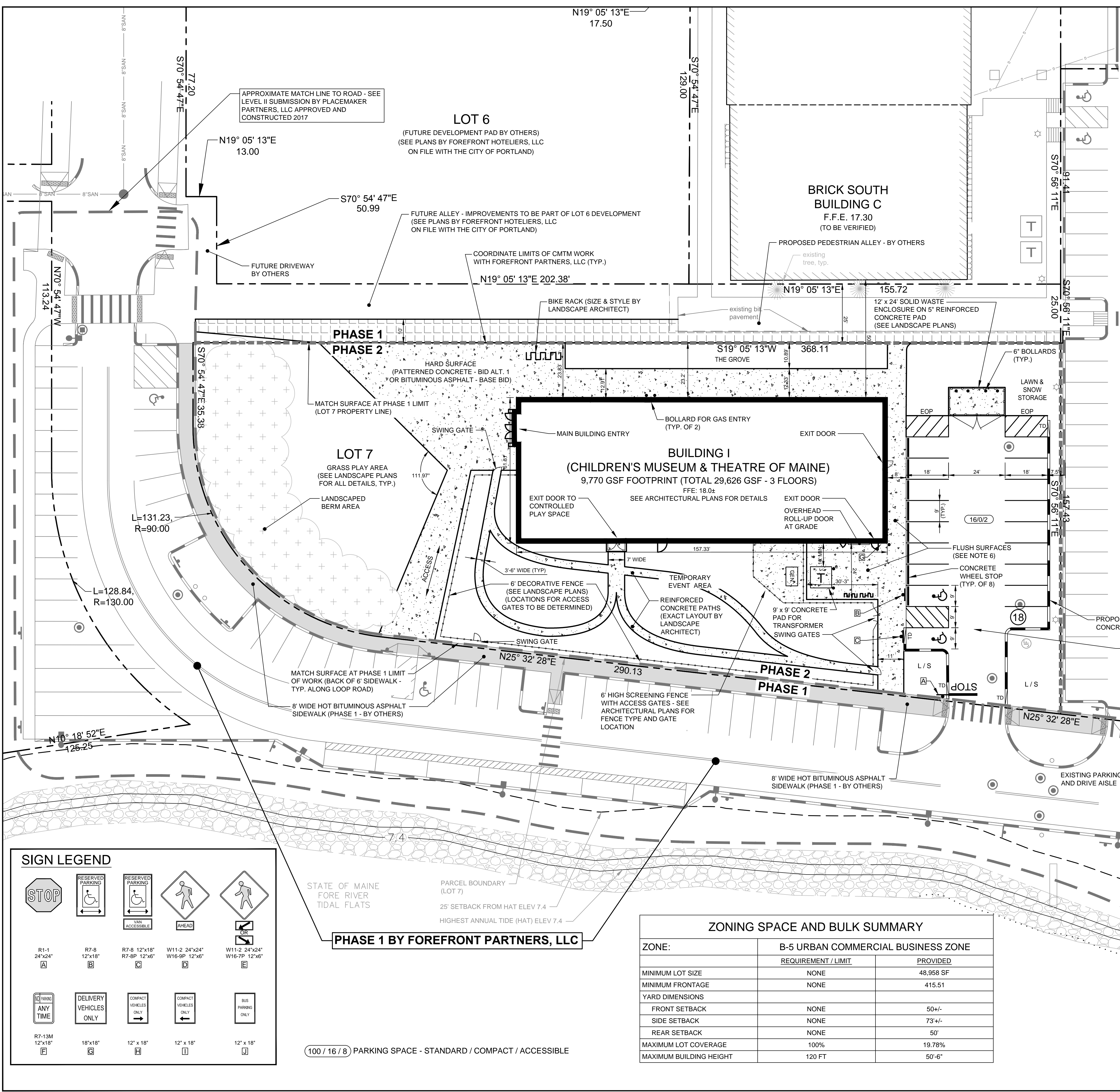
- SLIP FORM CONCRETE CURB (VERTICAL, SLOPED OR CAPE COD BERM MOLD - SEE DETAILS)
- TD TIP DOWN
- TS TRANSITION STONE (VERTICAL GRANITE TO SLIP FORM CONCRETE)

PAVEMENT MARKING LEGEND

- 4" DYCL 4" WIDTH DOUBLE YELLOW CENTERLINE
 - 4" SYLL 4" WIDTH SOLID YELLOW LANE LINE
 - 4" SWLL 4" WIDTH SOLID WHITE LANE LINE
 - STOP 12" WIDTH SOLID WHITE STOP LINE
- ALL PARKING STALLS TO BE 4" WIDTH SINGLE SOLID WHITE LINE EXCEPT AS SHOWN ON SITE LAYOUT PLAN.
- ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION, COLOR, INSTALLATION AND REFLECTIVITY SET FORTH IN THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

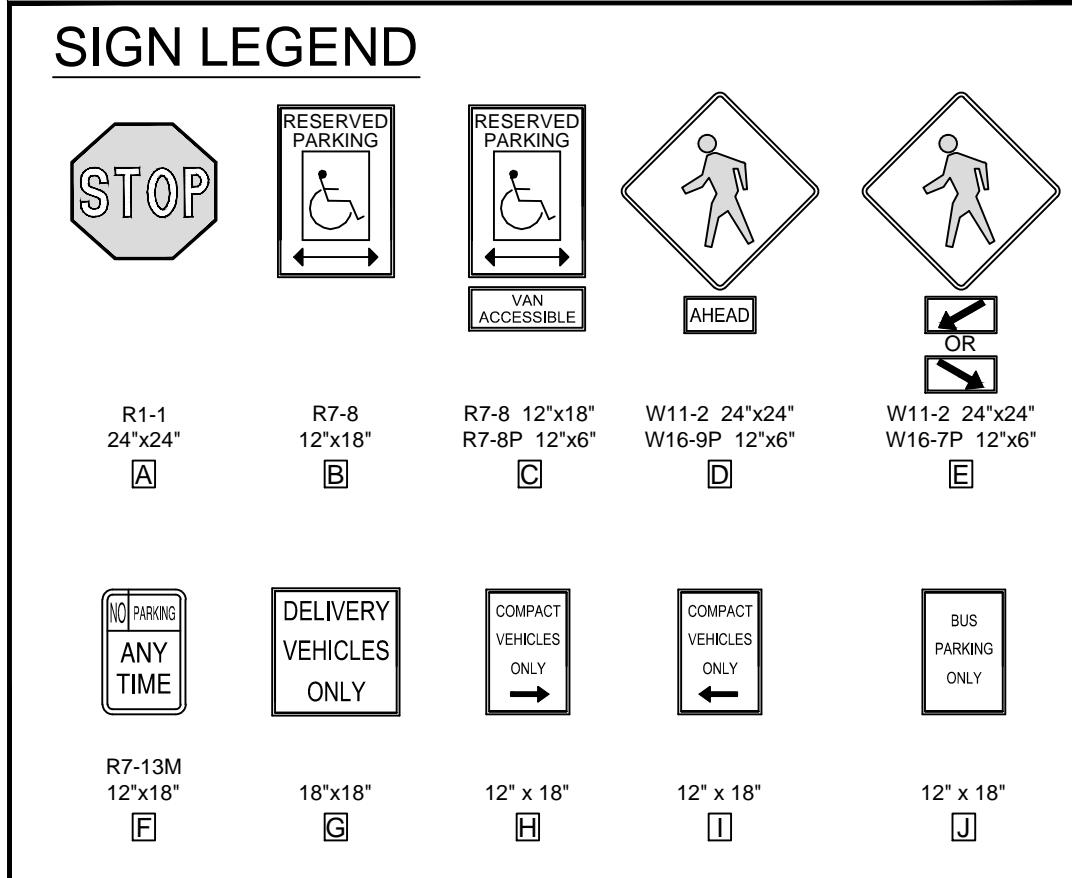
PAVEMENT LEGEND

- STANDARD DUTY PAVEMENT (ALL BIT. PARKING LOT PAVEMENT ON LOT 7)
 - BITUMINOUS PAVEMENT SIDEWALK (BY OTHERS)
 - BITUMINOUS CONCRETE (C) (BASE BID)
 - OR PAVERS OR PATTERNED CONCRETE (BID ALT. 1) *
 - PAVERS OR OTHER HARD SURFACE (BY OTHERS)
 - LANDSCAPE AREA
- *OR SIMILAR HARD SURFACE TREATMENT - COORDINATE WITH FOREFRONT PARTNERS, LLC



PARKING LOT CONSTRUCTION MAY NOT OCCUR UNTIL FOREFRONT PARTNERS HAS COMPLETED ALL DRAINAGE INFRASTRUCTURE INSTALLATION ON LOT 7. THE CMTM CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH FOREFRONT'S FORCES, AT NO EXTRA COST TO THE OWNER.

SEE PHASE 1 PLANS BY FOREFRONT PARTNERS, LLC FOR CONTINUATION

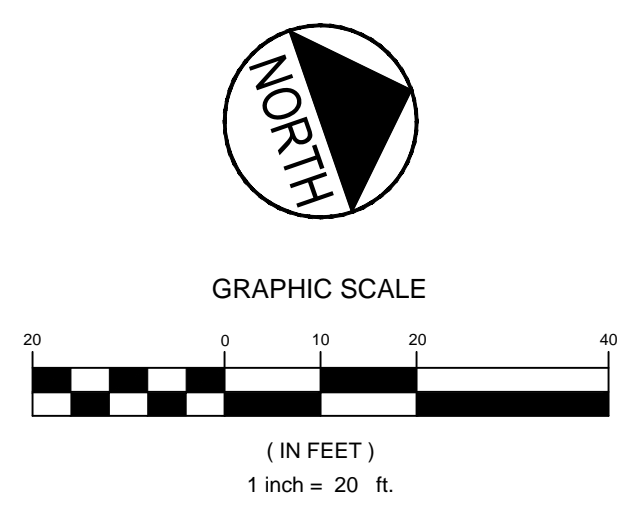


STATE OF MAINE FORE RIVER TIDAL FLATS
PARCEL BOUNDARY (LOT 7)
25' SETBACK FROM HAT ELEV 7.4
HIGHEST ANNUAL TIDE (HAT) ELEV 7.4

PHASE 1 BY FOREFRONT PARTNERS, LLC

ZONING SPACE AND BULK SUMMARY

ZONE:	B-5 URBAN COMMERCIAL BUSINESS ZONE	
	REQUIREMENT / LIMIT	PROVIDED
MINIMUM LOT SIZE	NONE	48,958 SF
MINIMUM FRONTAGE	NONE	415.51
YARD DIMENSIONS		
FRONT SETBACK	NONE	50'+
SIDE SETBACK	NONE	73'+
REAR SETBACK	NONE	50'
MAXIMUM LOT COVERAGE	100%	19.78%
MAXIMUM BUILDING HEIGHT	120 FT	50'-6"



Revision	By	Appr.	Date
5	SRB	SRB	16.11.29
4	SRB	SRB	17.03.10
3	SRB	SRB	17.08.01
2	SRB	SRB	17.07.26
1	SRB	SRB	17.05.09

File Name: 195350337_site_layout CDD SRB SRB 16.11.29
DWN. CHKO. DSGN. DATE

Client/Project
BRUNER/COTT & ASSOCIATES, INC.

CHILDREN'S MUSEUM & THEATRE OF MAINE
THOMPSON'S POINT - PORTLAND, MAINE

Title
SITE LAYOUT PLAN - (PART OF PRELOAD PLAN - FOR INFORMATION ONLY)

Project No. Scale
195350337 1" = 20'

Sheet