



Planning & Urban Development Department

Planning & Urban Development Department Jeffrey Levine, Director

Planning Division Stuart "Tuck" O'Brien, Director

April 6, 2018

Alan Nichols, CMTM's Owner's Rep Development Services of New England Inc. 37 Pine Street Freeport, ME 04032

Project Name:	Children's Museum & Theatre of	Children's Museum & Theatre of Maine		
	Project ID: 2017-074			
Address:	1 Thompson's Point Road CBL:	201 A 005001		
Applicant:	Children's Museum & Theatre of Ma	aine and Forefront		
	Partners, LLC			
Planner:	Shukria Wiar			

Dear Mr. Nichols:

On April 6, 2018 the Planning Authority approved the **Children's Museum & Theatre of Maine** preload site work at 1 Thompson's Point Road. As provided in Section 14-532, this letter serves as the written permission from the Planning Authority to commence earth work associated with the required site preload, prior to issuance of the building permit. The commencement of site work is limited to the extent of work outlined below:

- 1. Removal of existing parking lot and storm drain lines
- 2. Installation of temporary erosion control measures
- 3. Placement of structural fill material over the building pad area
- 4. And active monitoring of the settlement on a regular basis during the preload period.

Please be advised that you must obtain any permits that may be required from Public Services for the temporary closing of any public sidewalks and any temporary loss of on-street public parking if relevant.

Prior to the start of any site or demolition work, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule, erosion and sedimentation controls, and other critical aspects of the site work. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

The approval to proceed with the demolition and site work is based on the submitted request of Alan Nichols, and the approved preload location plans. If you need to make any modifications to the approved preload location plan, you must submit a revised plan for staff review and approval.

Please contact Philip DiPierro, Development Review Coordinator at 874-8632 regarding the preconstruction meeting. If there are any further questions, please contact the Planning Office at 874-8719.

Sincerely,

Stuart "Tuck" O'Brien Planning Division Director

Attachments:

1. CMTM Preload Surcharge Drawings.

CC: Jeff Levine, AICP, Director of Planning and Urban Development Stuart "Tuck" O'Brien, Planning Division Director Barbara Barhydt, Development Review Services Manager Shukria Wiar, Planner Philip DiPierro, Development Review Coordinator, Planning Ann Machado, Zoning Administrator, Inspections Division Michael Russell, Inspection Division Director Chris Branch, Public Works Director Keith Gray, Engineering Services Manager, Public Works Bill Scott, Project Engineer, Public Works Doug Roncarati, Stormwater Coordinator, Public Works Greg Vining, Associate Engineer, Public Works Michelle Sweeney, Associate Engineer John Low, Associate Engineer, Public Works Rhonda Zazzara, Field Inspection Coordinator, Public Works Mike Farmer, Project Engineer, Public Works Jeff Tarling, City Arborist, Public Works Jeremiah Bartlett, Public Works Captain Chris Pirone, Fire Department Danielle West-Chuhta, Corporation Counsel Thomas Errico, P.E., TY Lin Associates Lauren Swett, P.E., Woodard and Curran Approval Letter File

Children's Museum and Theatre of Maine Lot 7, Thompson's Point Portland, Maine 04101 March 5, 2018

Mr. Philip Dipero Planning and Transportation Division City of Portland Maine

RE: Performance Guarantee – Cost Estimate

Attn: Mr. Phil Dipero,

On behalf of the Children's Museum and Theatre of Maine (CMTM) please accept this "Draft Cost Estimate" for the pre-loading work that will be performed on Lot 7, at Thompson Point this spring. The work will be performed by a sub- contractor that will be under contract to Zachau construction, CMTM's construction Manager.

The remainder of work described within the approved site plan that was approved in November of 2017 is tentatively scheduled to begin early to mid-summer, upon the successful conclusion of the pre-load period, that is will likely take three to four months.

Per our conversations, the scope items I have included are those that directly relate to the improvements that will be made during this initial phase of site prep (Pre-Loading). The remainder of the scope items associated with the approved site plan will be added, and this Performance Guarantee will be revised once the GMP has been finalized and the contract has been signed with Zachau Construction, which should occur in the next few weeks.

Along with the "draft" estimate I have also attached the approved Construction Management Plan, Phase I ESA, Preload Surcharge Drawings and specifications for your review and files.

Please let me know if you need any additional information to do your review.

Sincerely,

Alan Nichols CMTM's Owner's Rep Development Services of New England Inc. 37 Pine Street Freeport, Maine 04032

E: anichols@developmentsvcs.com.

Attachments:

- "Draft" Performance Guarantee Cost Estimate
- Approved Construction Management Plan

- Approved Phase I ESA
- Preload Surcharge Drawings
- Preload Package Specifications.





PRELOAD/SURCHARGE PLANS FOR **CHILDREN'S MUSEUM & THEATRE OF MAINE (LOT 7) AT THOMPSON'S POINT** PORTLAND, MAINE **CONSTRUCTION DOCUMENTS** FEBRUARY 2018



ATTN: ROBERT BARTELS PORTLAND WATER DISTRICT PORTLAND, MAINE 04104

PUBLIC SERVICES ENGINEERING DEPT. PORTLAND, MAINE 04102

CENTRAL MAINE POWER PORTLAND, MAINE 04103

FAIRPOINT COMMUNICATIONS ONE DAVIS FARM ROAD PORTLAND, MAINE 04103

ATTN: MARK PELLETIER PORTLAND, MAINE 04102

LEWISTON, MAINE 04240

ATTN: SCOTT CARPENTER **UNITIL / FORMERLY NORTHERN UTILITIES** PORTLAND, MAINE 04103 email: carpenters@unitil.com

CALL BEFORE YOU DIG: 1.888.DIGSAFE (1.888.344.7233)

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT

PERMITS / APPROVALS (APPLICABLE TO FULL DEVELOPMENT)

GOVERNING BODY

LOCAL

REVIEW

PERMITS

STATE

SITE LOCATION OF

NATURAL RESOURCES

MAINE CONSTRUCTION

GENERAL PERMIT

MAINE DOT TRAFFIC

MOVEMENT PERMIT

ACTION PLAN (VRAP)

MAINE VOLUNTARY RESPONSE

PROTECTION ACT (NRPA) /

DEVELOPMENT

SITE PLAN, SHORELAND

ZONING AND SUBDIVISION

BUILDING AND DEMOLITION

CITY OF PORTLAND PLANNING AUTHORITY CITY HALL 389 CONGRESS STREET PORTLAND, MAINE 04101 207.874.8722 CONTACT: SHUKRIA WIAR

CITY OF PORTLAND CODE ENFORCEMENT OFFICE CITY HALL 389 CONGRESS STREET PORTLAND, MAINE 04101 207.874.8703

GOVERNING BODY

CITY OF PORTLAND PLANNING AUTHORITY DELEGATED AUTHORITY CITY HALL, 389 CONGRESS STREET 207.874.8722 CONTACT: CHRISTINE GRIMANDO

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 312 CANCO ROAD PORTLAND, MAINE 04103 207.822.6300 CONTACT: MARY BETH RICHARDSON

MAINE DEPARTMENT OF TRANSPORTATION STATE HOUSE STATION 16 AUGUSTA, MAINE 04333 207.624.3620 CONTACT: STEVE LANDRY

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 312 CANCO ROAD PORTLAND, MAINE 04103 207.623.8367 CONTACT: NICK HODGKINS

PUBLIC RAIL CROSSING PETITION MAINE DEPARTMENT OF TRANSPORTATION STATE HOUSE STATION 16 AUGUSTA, MAINE 04333

STATUS

ORIGINAL APPROVED JUNE 5, 2012 AMENDED APPROVAL JUNE 19, 2013 MASTER PLAN APPROVAL 2015 SUBDIVISION APPROVAL 2016 PRELIMINARY SUBMISSION CMTM - 03.14.2017 **REVISED SUBMISSION CMTM - 08.01.2017** FINAL SUBMISSION CMTM - 10.10.2017 APPROVED - NOVEMBER 14, 2017

CMTM BUILDING PERMIT TO BE FILED PRIOR TO CONSTRUCTION BY CONTRACTOR FOR THIS PROJECT

STATUS

APPROVED JUNE 5, 2012 UNDER CITY'S DELEGATED AUTHORITY

APPROVED #L-25672-FS-B-N DATED JULY 27, 2012 AND SUBSEQUENT ORDERS

APPROVED JUNE 13, 2012 REG. 01-00155-A-N

NO ACTION ASSURANCE LETTER ISSUED MARCH 6, 2013

DECISION #364 - APRIL 3, 2012

LOCATION MAP N.T.S.

CONSULTANT LIST

CIVIL ENGINEER:

PHASE 1 (COMMON AREA) PLACEMAKER PARTNERS, LLC

501 DANFORTH STREET PORTLAND, MAINE 04102 207.747.5288 ATTN: BO KENNEDY BO@PLACEMAKERPARTNERS.COM

PHASE 2 (LOT 7)

Stantec 482 PAYNE ROAD, SCARBOROUGH COURT SCARBOROUGH, MAINE 04074 207.887.3478 ATTN: STEVE BUSHEY STEPHEN.BUSHEY@STANTEC.COM

ARCHITECT: Bruner/Cott & Associates, Inc. 130 PROSPECT STREET CAMBRIDGE, MASSACHUSETTS 02139 617.492.8400 ATTN: GREG RUSSELL WWW.BRUNERCOTT.COM

GEOTECHNICAL ENGINEER: Haley & Aldrich, Inc. 75 WASHINGTON AVENUE, SUITE 203 PORTLAND, MAINE 04101 207.482.4600 ATTN: WAYNE CHADBOURNE/BRYAN STEINERT WWW.HALEYALDRICH.COM

LANDSCAPE ARCHITECT Lemon Brooke 31 OXBOW ROAD CONCORD, MA 01742 978.222.3700 ATTN: JENNIFER BROOKE JENNIFER@LEMONBROOKE.COM

LIGHTING CONSULTANT (OVERALL PROJECT):

Bartlett Design 942 WASHINGTON STREET BATH, MAINE 04530 207.522.9789 ATTN: LARRY BARTLETT

ENVIRONMENTAL ENGINEER Credere Associates, LLC 776 MAIN STREET WESTBROOK, MAINE 04092 207.828.1272 ATTN: RIP PATTEN WWW.CREDERELLC.COM

SURVEYOR: Sebago Technics, Inc. **1 CHABOT STREET** WESTBROOK, MAINE 04092 207.856.0277 WWW.SEBAGOTECHNICS.COM



482 Payne Road Scarborough Court Scarborough, Maine 04074-8929 Tel. 207.883.3355 www.stantec.com

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Consultants

Notes

ALL PERMITS ARE ANTICIPATED TO HAVE CONDITIONS ATTENDAN WITH THEIR APPROVAL. THE CONTRACTOR SHALL REVIEW ALI PERMITS AND THE CONDITIONS ATTENDANT WITH APPROVALS PR TO THE START OF THE WORK, UNLESS OTHERWISE STIPULATED B THE CONTRACT DOCUMENTS, THE CONTRACTOR IS REQUIRED TO COMPLY AND FULFILL ALL CONDITIONS OF APPROVAL

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12. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18 INCH OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS.

13. THE CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION AND PROVIDE TEMPORARY SERVICES AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO THE JOB SITE, SUBURBAN PROPANE AND NNEPRA TEMPORARY SERVICES SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. COORDINATE ALL TEMPORARY SERVICES WITH UTILITY COMPANY, OWNER AND AFFECTED BUSINESSES.

14. EXISTING OVERHEAD ELECTRICAL LINES ARE PRESENT ADJACENT TO AND WITHIN THE LIMITS OF THE PRELOAD/SURCHARGE AREA. THE CONTRACTOR SHALL PLAN INSTALLATION OF PV DRAINS, AND EARTHWORK ACTIVITIES KNOWING THAT THESE LINES WILL REMAIN IN PLACE. THE CONTRACTOR SHALL PROTECT THE LINES AT ALL TIMES AND SHALL JACKET SHIELD LINES AS NEEDED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.

EROSION CONTROL NOTES:

PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES, CLEARING AND GRADING LIMITS SHALL BE STAKED BY THE CONTRACTOR BASED ON THE LIMITS OF GRADING SHOWN ON THE DRAWINGS AND ACCEPTED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. AFTER THE CLEARING AND GRADING LIMITS HAVE BEEN ACCEPTED, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES, SEDIMENT BARRIERS AND THE CONSTRUCTION ENTRANCES ASSOCIATED WITH THE PROJECT.

2. ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED, SEEDED AND MULCHED AS SOON AS POSSIBLE. TEMPRORARY/PERMANENT SEED MIXTURES SHALL CONFORM TO THE SEEDING PLAN CONTAINED IN THE EROSION CONTROL PROJECT PREPARED FOR THIS PROJECT.

CONSTRUCTION.

6. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO ENSURE THAT IT FUNCTIONS TO CAPTURE MUD FROM THE TIRES OF CONSTRUCTION VEHICLES DURING CONSTRUCTION. THE PURPOSE OF THE CONSTRUCTION ENTRANCE IS TO KEEP ADJACENT STREETS CLEAR OF DIRT AND MUD. SWEEPING OF THE ROADWAYS SHALL BE PERFORMED BY THE CONTRACTOR ON AN AS NEEDED BASIS, BUT AT A MINIMUM ONCE A WEEK.

7. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO TOPSOIL FOR USE IN LANDSCAPING OPERATIONS.

SPECIFICATIONS.

HEIGHT.

GENERAL NOTES

1. IN ADDITION TO THESE PLANS AND NOTES, THE CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR CONSTRUCTION SPECIFICATIONS AND BIDDING PROCEDURES.

2. THIS PROJECT WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF ALL PERMITS ISSUED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, THE U.S DEPARTMENT OF THE ARMY CORPS OF ENGINEERS, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.

 THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCE, PAVING, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS. ENTRANCES IN MOST LOCATIONS REQUIRE STRUCTURAL SLABS. REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR INFORMATION ON THE STRUCTURAL SLAB ENTRANCES.

4. ALL REQUIRED AND NECESSARY INSPECTIONS AND OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSIONS AND THE FINAL SERVICE CONNECTIONS.

5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS, AT ITS SOLE COST.

6. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE APPLICANT AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR THE CITY, AT NO ADDITIONAL COST TO THE OWNER.

7. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.

8. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE PROJECT SPECIFICATIONS, THE CITY OF PORTLAND AND SERVICING UTILITY REQUIREMENTS, IN CASES WHERE THESE CONFLICT THE MOST STRINGENT SHALL APPLY AT NO EXTRA COST TO THE OWNER.

9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS THROUGHOUT THE PROJECT AND PROVIDING THE OWNER WITH A SET OF ELECTRONIC FINAL RECORD DRAWINGS WHEN THE PROJECT IS COMPLETE.

10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCESS TO THOMPSON'S POINT AND ALL ADJACENT PROPERTIES INCLUDING THE RAILROAD R.O.W. AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY MARKINGS, SIGNAGE AND INCIDENTALS TO MAINTAIN SAFE VEHICLE AND PEDESTRIAN ACCESS THROUGH OUT THE LIFE OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE PORTLAND PUBLIC SAFETY DIVISION ROUTINELY REGARDING TEMPORARY IMPACT OR CHANGES TO EMERGENCY SITE ACCESS CONDITIONS.

SITE LAYOUT NOTES

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR THE FACE OF THE BUILDING.

2. ALL TRAFFIC CONTROL SIGNS INDICATED ON THE SITE LAYOUT PLAN ARE TO MEET ALL REQUIREMENTS & STANDARDS OF THE MAINE DEPARTMENT OF TRANSPORTATION, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITIONS AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.

GRADING & DRAINAGE NOTES:

1. ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNINGS ROUGHNESS COEFFICIENT OF N = 0.012 OR LESS.

PROVIDE TURF REINFORCEMENT IN AREAS INDICATED ON THE PLANS.

3. "AS-BUILT" CERTIFICATION AND PLANS OF THE STORMWATER DRAINAGE SYSTEM IS REQUIRED PRIOR TO THE OWNER ACCEPTING ANY BUILDINGS AND PROPERTY. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ANY DEVIATION FROM THE PLANS MAY DELAY THE ACCEPTANCE OF THE PROJECT, WITH CONTRACTOR RESPONSIBLE FOR ANY ASSOCIATED COSTS.

4. A DETAILED O&M MANUAL FOR STORMWATER MANAGEMENT SYSTEMS IS (WILL BE) FILED WITH THE CITY OF PORTLAND DURING THE PERMIT REVIEW PROCESS. A SPECIFIC MANUAL HAS BEEN PREPARED FOR O&M OF THE DRAINAGE SYSTEM.

- 5. SEE SITE LAYOUT PLAN C3.0 FOR PROJECT CONTROL/BENCHMARK INFORMATION.
- 6. SEE GRADING, DRAINAGE AND EROSION/SEDIMENT CONTROL FOR PROPOSED GRADING AND EROSION CONTROL MEASURES. COMPACTION REQUIREMENTS

LOCATION	MINIMUM COMPACTION*
SUBBASE AND BASE GRAVEL BELOW PAVED OR CONCRETE AREAS	95%
SUBGRADE FILL BELOW PAVED AREAS	92%
TRENCH BEDDING AND DEMOLISHED UTILITY BACKFILL MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%
COMPACTED GRANULAR FILL, DRAINAGE FILL WITHIN PROPOSED BUILDING AND PRELOAD/SURCHARGE	AREA 95%
BACKFILL ADJACENT BUILDING FOUNDATIONS, EXTERIOR FOUNDATIONS	95%
AND WITHIN 12 INCHES OF THE SLAB-ON-GRADE	

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM-D-1557.

8. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.

9. PROVIDE STABILIZATION OR SEPARATION GEOTEXTILE FABRIC OVER UNSTABLE SOILS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

10. NATIVE SOILS RANGE FROM GRANULAR TO CLAYEY AND SILTY. CARE MUST BE EXERCISED TO LIMIT DISTURBANCE OF THE BEARING SOILS. THE NATIVE CLAYEY OR SILTY SOILS SHOULD NOT BE PROOF-ROLLED. SHOULD THE SUBGRADE BECOME YIELDING OR DIFFICULT TO WORK, DISTURBED AREAS SHOULD BE EXCAVATED AND BACKFILLED WITH COMPACTED SELECT FILL OR CRUSHED STONE AT NO EXTRA EXPENSE TO THE OWNER. ALL SUBGRADE PREPARATION IS SUBJECT TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.

LOCAL APPROVALS, WAIVERS AND VARIANCES

THE CONSTRUCTION PLANS ARE TO BE SUBMITTED TO THE CITY OF PORTLAND FOR THEIR REVIEW, APPROVAL AND RECORDS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

UTILITY NOTES

1. ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED AND CONSTRUCTED BY THE DIVISION SITE CONTRACTOR TO WITHIN 5 FEET OF THE BUILDINGS, AT A LOCATION COORDINATED WITH THE MEP CONTRACTOR(S) AND THE BUILDING PLANS. SITE WORK WITHIN 5 FEET OF UNDERSLAB UTILITIES SHALL CONSIST OF TRENCHING AND BACKFILLING. ACTUAL UTILITY INSTALLATION SHALL BE BY THE MEP CONTRACTOR. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE GENERAL CONTRACTOR.

2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AND/OR RELOCATION OF OVERHEAD AND UNDERGROUND TELEPHONE WITH FAIRPOINT COMMUNICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS, PULL WIRES, TRENCHING AND BACKFILLING NECESSARY TO COMPLETE THE WORK.

3. ALL SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE MAINE STATE PLUMBING CODE AND CITY OF PORTLAND PUBLIC SERVICES DIVISION.

4. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OR MAINTENANCE OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER.

COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL CONFORM TO THE STANDARDS OF THE UTILITY COMPANY AND PROJECT SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

6. THE LOCATIONS OF THE NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE SERVING UTILITY COMPANY, PROJECT ARCHITECTS AND MEP DESIGNERS.

7. UNDERGROUND ELECTRICAL, CONDUIT MATERIAL AND INSTALLATION SHALL CONFORM TO UTILITY COMPANY STANDARDS AND PROJECT SPECIFICATIONS, WHICH EVER IS MORE STRINGENT.

8. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OR WORK TO FINISH GRADE.

9. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.

10. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT.

11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.

3. PRIOR TO PAVING, THE CONTRACTOR SHALL REMOVE SILT FROM ALL STORM LINES AND APPURTANCES.

4. ALL STORM DRAIN INLETS AND OUTLETS NOT IN PAVED AREAS ARE TO RECEIVE RIPRAP PROTECTION APRONS DURING

5. SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES SHOWN ON THE EROSION CONTROL DETAIL SHEET.

8. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE WHICH CAUSE THE LEAST PRACTICAL UNPROTECTED DENUDED AREAS ON THE SITE DURING CONSTRUCTION.

9. THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES AS ENFORCED BY THE MEDEP OR LOCAL AGENCIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.

10. A FULL EROSION/SEDIMENTATION CONTROL PLAN ACCOMPANIES THIS DRAWING SET AND IS ALSO CONTAINED IN THE DIV 312513

11. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS AS SHOWN AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.

12. INSPECT EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAIN STORM OF 0.25 INCHES OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 OF THE STRUCTURE

13. INSTALL CURLEX EROSION CONTROL MAT OR EQUAL ON ALL SLOPES STEEPER THAN 3:1.

14. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES, CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003".

LEGEND

EXISTING

DEED LINE/ROW

BOUNDARY LINE/R.O.W.

ABUTTER LINE/R.O.W.

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FLOODPLAIN CENTERLINE IRON PIPE/ROD

TIE LINE

EASEMENT

BENCHMARK

BUILDING WETLANDS • EDGE WETLAND ROCK OUTCROP SIGN EDGE PAVEMENT GRAVEL ROAD EDGE WATER CONTOURS SPOT GRADE CHAIN LINK FENCE DECIDUOUS TREE

CONIFEROUS TREE

GUARDRAIL WATER GATE VALVE HYDRANT SEWER MH CATCH BASIN DRAINAGE MH UNIDENTIFIED MH OVERHEAD UTILITY ELECTRIC METER BOX LIGHT POLE UTILITY POLE GUY RIPRAP BOULDER SCHEDULE B -SECTION 2 EXCEPTIONS TEST BORING (SEE SECTION 02 01 00)



482 Payne Road Scarborough Court Scarborough, Maine 04074-8929 Tel. 207.883.3355 www.stantec.com

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Consultants

Notes	

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	CDD	PBF	CDD	PBF	PBF	PBF	By
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CHILDREN'S MUSE THEATRE OF MAIN THOMPSON'S POINT - PORTLAND, MAINE

Title GENERAL NOTES AND LEGEND PRELOAD/SURCHARGE PHASE

Project No. 195350337

Scale

Sheet

File Name: 195350337 GEN NOTES

Permit-Seal

Client/Project

BRUNER/COTT

N.T.S.

6 _ _ _ _ _ _ _ _ -**O O O O** -0---0---0-----100 1 2:1 ∕8.33 TC 8.50 [^]BC 8.00 _____ 10"UD _____ SD9 \sim SAN9 ______ 6"W ______ _____ 2"G _____ ----- UGE ------------ OHE ------DMP-

PROPOSED

FROFUSED
BARRIER FREE SYMBOL
SIGN
SIGN LABEL
GUIDERAIL - METAL
GUIDERAIL - TIMBER
FENCE - CHAINLINK
FENCE - WOOD
BUILDING / BUILDING ACCESS
PROPERTY LINE
RETAINING WALL
PEDESTRIAN CROSSWALK
TRAFFIC ARROWS
BOLLARD
VERTICAL GRANITE CURB
SLOPED GRANITE CURB
CATCH BASIN
CONTOUR LABEL
DRAIN MANHOLE
RIPRAP INLET APRON
RIPRAP OUTLET APRON
SLOPE DESIGNATION
SPOT GRADE
SPOT GRADE AT CURB (TC=TOP /BC=BOTTOM
WATER MARK
UNDERDRAIN
STORM DRAIN
TREE LINE OR LIMIT OF CLEARING
CURB STOP
HYDRANT
LIGHT POLE WITH FIXTURE(S)
WALL MOUNT LIGHT
SANITARY SEWER MANHOLE
TEST PIT
TRANSFORMER PAD
UTILITY POLE
VALVE
SANITARY SEWER
WATER MAIN
GAS MAIN
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC
PEDESTRIAN FLASHER
(INSTALLED BY OWNER)
SETTLEMENT PLATFORM (INSTALLED BY CONTRACTOR)
PIEZOMETER
(INSTALLED BI UWINEK)







SITE LAYOUT NOTES

- INFORMATION ON THIS PLAN WAS OBTAINED FROM A SURVEY NAMED `ALTA/ACSM LAND TITLE SURVEY OF 1 THOMPSON'S POINT, PORTLAND, MAINE' DATED MAY 27, 2011 BY SEBAGO TECHNICS OF WESTBROOK, MAINE AND FIELD OBSERVATIONS BY CREDERE ASSOCIATES, LLC PERSONNEL ON AUGUST 23, 2011, AUGUST 30, 2011 AND SEPTEMBER 2, 2011.
- ALL BARRIER FREE PARKING SPACES ARE TO RECEIVE BARRIER FREE SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS. ALL CURBING MATERIALS WILL BE SELECTED BY THE OWNER. THE
- DIMENSIONS PROVIDED ON THE PLAN ARE TO FACE OF CURB. ALL CURBING TYPES ARE DETAILED IN THE PROJECT DETAIL SHEETS.
- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB. THE EDGE OF PAVEMENT OR THE FACE OF THE BUILDING.
- 5. EXCEPT WHERE INDICATED OTHERWISE, THE PAVEMENT IS TO BE STANDARD DUTY PAVEMENT.
- 6. ALL PAVEMENT MARKINGS SHOWN SHALL BE TEMPORARY PAINT PLACED ON BINDER PAVEMENT. UPON PLACEMENT OF FINAL SURFACE PAVEMENT TO BE CONSISTENT WITH THE APPROVED MARCH 2014 MASTER PLAN. THE APPLICANT RESERVES THE RIGHT TO INSTALL A REMOVABLE BARRIER ALONG THE PARKING LOT EDGE AS NEEDED.

CURB LEGEND

	SLIP FORM CONCRETE CURB (VERTICAL, SLOPED OR CAPE COD BERM MOLD - SEE DETAILS)
TD	TIP DOWN
TS	TRANSITION STONE (VERTICAL GRA

ONE (VERTICAL GRANITE CONCRETE)

PAVEMENT MARKING LEGEND

4" DYCL 4" WIDTH DOUBLE YELLOW CENTERLINE 4" SYLL 4" WIDTH SOLID YELLOW LANE LINE 4" SWLL 4" WIDTH SOLID WHITE LANE LINE STOP 12" WIDTH SOLID WHITE STOP LINE

ALL PARKING STALLS TO BE 4" WIDTH SINGLE SOLID WHITE LINE EXCEPT AS SHOWN ON SITE LAYOUT PLAN.

ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION, COLOR, INSTALLATION AND REFLECTIVITY SET FORTH IN THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT (ALL BIT. PARKING LOT PAVEMENT ON LOT 7)
	BITUMINOUS PAVEMENT SIDEWALK (BY OTHERS)
<u> </u>	BITUMINOUS CONCRETE (BASE BID) OR PAVERS OR PATTERNED CONCRETE (BID ALT. 1) *
	PAVERS OR OTHER HARD SURFACE (BY OTHERS)
+ + L ⁺ /S + +	LANDSCAPE AREA

OR SIMILAR HARD SURFACE TREATMENT - COORDINATE WITH

– PROPOSED SLIPFORM CONCRETE CURB (TYP.) FOREFRONT PARTNERS, LLC PARKING LOT CONSTRUCTION MAY NOT OCCUR UNTIL FOREFRONT PARTNERS HAS COMPLETED ALL DRAINAGE INFRASTRUCTURE INSTALLATION ON LOT 7. THE CMTM CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH FOREFRONT'S FORCES, AT NO EXTRA COST TO THE OWNER. 四() TNER SEE PARI GRAPHIC SCALE (IN FEET) 1 inch = 20 ft.



Stantec

482 Payne Road Scarborough Court Scarborough, Maine 04074-8929 Tel. 207.883.3355 www.stantec.com

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Consultants Bruner/Cott

Bruner/Cott & Associates, Inc. 130 Prospect Street Cambridge, Massachusetts 02139 $617 \ 492 \ 8400$ www.brunercott.com

Architecture/Urban Design Preservation/Landscape Architecture Space Planning/Interior Design

Notes

5 RELEASED FOR BIDDING PBF 5 RELEASED FOR BIDDING PBF 6 FINAL LEVEL III SITE PLAN APPLICATION CDD 7 REVISED SUBMISSION 1- LETTER OF RESPONSE 1 PBF 7 REVISED SUBMISSION 1- ETTER OF RESPONSE 1 PBF 7 REVISED FOR CLEINT REVIEW PBF 8 ReVISION PBF		SRB 18.01.26	SRB 17.10.10	SRB 17.08.01	SRB 17.07.28	SRB 17.05.09	Appd. YY.MM.DD
5 RELEASED FOR BIDDING 5 RELEASED FOR BIDDING 3 REVISED SUBMISSION - LETTER OF RESPONSE 1 2 REVISED SUBMISSION - LETTER OF RESPONSE 1 1 REVISED FOR CLIENT REVIEW		PBF	CDD	PBF	PBF	PBF	Ву
FILE NAME: 175350337 SITE LAYOUT CDD SKB SKB 16.11.29	File Name: 195350337 site layout CDD SRB	5 RELEASED FOR BIDDING	4 FINAL LEVEL III SITE PLAN APPLICATION	3 REVISED SUBMISSION - LETTER OF RESPONSE 1	2 REVISED RESUBMISSION TO CITY	1 REVISED FOR CLIENT REVIEW	Revision

Permit-Seal

Client/Project BRUNER/COTT & ASSOCIATES, INC.

CHILDREN'S MUSEUM & THEATRE OF MAINE THOMPSON'S POINT - PORTLAND, MAINE

Title							
SITE LAYO	SITE LAYOUT PLAN -						
(PART OF F	PRELOAD PLAN - FOR						
INFORMA	ION ONLY)						
Project No.	Scale						
195350337	1'' = 20'						
Sheet							

C-3.0P