



February 24, 2016

Chris Thompson  
Parallax Partners (dba Forefront Partners I, LP)  
501 Danforth Street  
Portland, ME 04102

Dear Mr. Thompson:

Following recent discussions about Brick North, below is a summary of site work required for Brick North before Certificates of Occupancy can be issued. The attached color-shaded plans delineate site plan improvements for Brick North. Completion of this work will be considered towards fulfillment of the Level III Site Plan approval The Forefront at Thompson's Point Amendment Phase 1A, PEZ.2014-120 (approved December 4, 2014). This summary applies exclusively to requirements for Brick North. Full execution of the recently approved Level III Site Plan and Subdivision approval, PEZ.2015-133 & 2015-159 (approved January 21, 2106), is required for occupancy of Brick South.

In regard to existing Brick North tenants, Big Room Studios shall apply for a Temporary Certificate of Occupancy, to be in effect through June 30<sup>th</sup>. Color Me Mine will be granted a Temporary Certificate of Occupancy through June 30<sup>th</sup> pending resolution of outstanding plumbing issue. The Circus Conservatory's Temporary Certificate of Occupancy shall be extended through June 30<sup>th</sup>. The Certificates of Occupancy will transition from temporary to final upon completion of the required site work, as shown on the attached plan set.

In regard to the areas called out with the notes: *Temporary Protected Designated Walkway* and *Improved Gravel Surface with Temporary Parking Demarcations* on the attached Sheet C-3.0, Site Layout Plan, final details shall be approved by the Planning Authority.

All work shown as shaded on the attached plans shall be completed before any Final Certificates of Occupancy will be issued for proposed new tenants. In the event that either plantings as shown on Sheet L-1.0, *Landscape Plan*, or the final paving course are not complete, yet all other requirements have been met, Temporary Certificates of Occupancy may be issued for new tenants through June 30<sup>th</sup>. The binder course should be appropriately striped to match the approved plans in the interim.



## Planning &amp; Urban Development Department

Lastly, consistent with the Brick North 1A approval from December 4, 2014, documentation that environmental remediation consistent with the approved VRAP plan, as well as copies of the two recorded easements required by subdivision condition of approval #2 shall be submitted prior to Certificates of Occupancy being issued.

This letter addresses site plan requirements. All building permits and any associated, required sign-offs must also be completed to the satisfaction of the Inspections Division. Please keep in mind that the Development Review Coordinator will have to inspect all site work for compliance with the attached plans, and he must be notified five working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy

If you have any questions, please don't hesitate to contact me at 874-8608 or [cdg@portlandmaine.gov](mailto:cdg@portlandmaine.gov).

Sincerely,

A handwritten signature in black ink, appearing to read "Christine Grimando".

Christine Grimando, AICP  
Senior Planner

**Attachments:**

1. 2016.02.11\_Plans for BN CofO.pdf

**Electronic Distribution:**

cc: Jeff Levine, AICP, Director of Planning and Urban Development  
Stuart G. O'Brien, City Planning Director  
Barbara Barhydt, Development Review Services Manager  
Philip DiPierro, Development Review Coordinator, Planning  
Tammy Munson, Inspections Division Director  
Jonathan Rioux, Inspections Division Deputy Director  
Jeanie Bourke, Plan Reviewer/CEO, Inspections Division

Portland, Maine



Yes. Life's good here.

Planning & Urban Development Department

Douglas Morin, CEO

David Margolis-Pineo, Deputy City Engineer, Public Works

Keith Gautreau, Fire Department

Jennifer Thompson, Corporation Counsel

Thomas Errico, P.E., TY Lin Associates



SITE LAYOUT NOTES

1. ALL BARRIER FREE PARKING SPACES ARE TO RECEIVE BARRIER FREE SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS.
2. ALL CURBING MATERIALS WILL BE SELECTED BY THE OWNER, THE DIMENSIONS PROVIDED ON THE PLAN ARE TO FACE OF CURB. ALL CURBING TYPES ARE DETAILED IN THE PROJECT DETAIL SHEETS.
3. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB. THE EDGE OF PAVEMENT OR THE FACE OF THE BUILDING.
4. EXCEPT WHERE INDICATED OTHERWISE, THE PAVEMENT IS TO BE STANDARD DUTY PAVEMENT.
5. ALL PAVEMENT MARKINGS SHOWN SHALL BE TEMPORARY PAINT PLACED ON BINDER PAVEMENT, UPON PLACEMENT OF FINAL SURFACE PAVEMENT TO BE CONSISTENT WITH THE APPROVED MARCH 2014 MASTER PLAN.

CURB LEGEND

- SLIP FORM CONCRETE CURB (VERTICAL, SLOPED OR CAPE COD BERM MOLD - SEE DETAILS)
- TYPE 1 VERTICAL GRANITE CURB
- TD TIP DOWN
- TS TRANSITION STONE (VERTICAL GRANITE TO SLIP FORM CONCRETE)

PAVEMENT MARKING LEGEND

- 4" DYCL 4" WIDTH DOUBLE YELLOW CENTERLINE
- 4" SYLL 4" WIDTH SOLID YELLOW LANE LINE
- 4" SWLL 4" WIDTH SOLID WHITE LANE LINE
- STOP 12" WIDTH SOLID WHITE STOP LINE
- ALL PARKING STALLS TO BE 4" WIDTH SINGLE SOLID WHITE LINE EXCEPT AS SHOWN ON SITE LAYOUT PLAN.
- ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION, COLOR, INSTALLATION AND REFLECTIVITY SET FORTH IN THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PAVEMENT LEGEND

- HEAVY DUTY PAVEMENT
- STANDARD DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- RECLAIM, FINE GRADE AND PAVE
- SPOT PAVEMENT REPAIR
- BITUMINOUS PAVEMENT SIDEWALK

SIGN LEGEND

- STOP
- RESERVED PARKING
- RESERVED PARKING
- WALK
- WALK
- SUBURBAN PROPANE CUSTOMERS ONLY
- R1-1 24"x24"
- R7-8 12"x18"
- R7-8 12"x18"
- W11-2 24"x24"
- W11-2 24"x24"
- R7-13M 12"x18"

100 / 16 / 8 PARKING SPACE - STANDARD / COMPACT / ACCESSIBLE

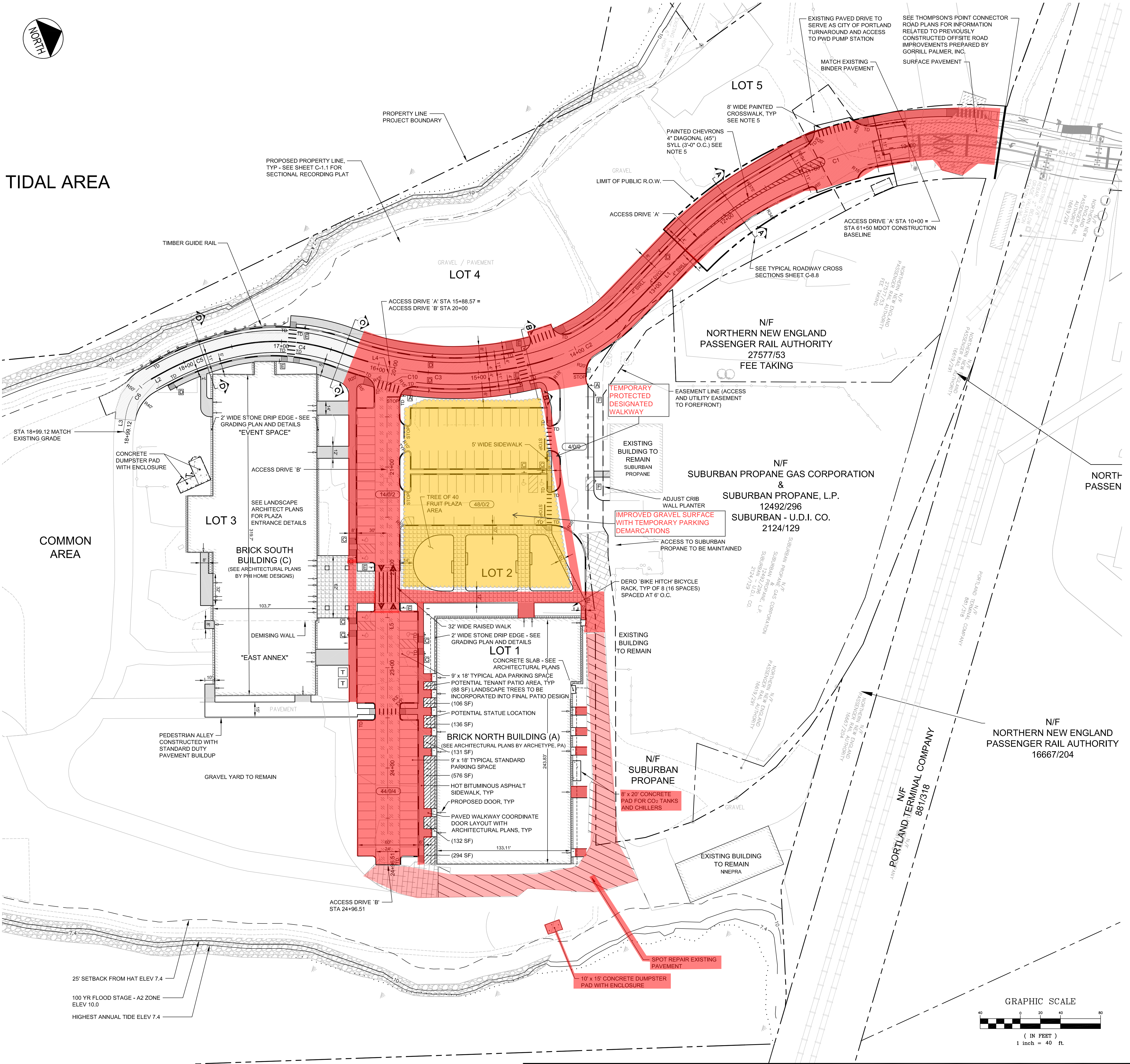
BASELINE LINE TABLE

ID	LENGTH	DIRECTION
L1	79.72	S27° 00' 14.12"E
L2	11.42	S09° 45' 59.99"E
L3	16.81	S61° 47' 25.34"E
L4	9.86	S59° 11' 41.40"E
L5	476.41	S70° 56' 10.77"E

BASELINE CURVE TABLE

ID	RADIUS	ARC LENGTH	DELTA	TANGENT	PC STATION	PT STATION
C1	360.00	252.05	040° 07'	131.44	10+00	12+52.05
C2	200.00	110.10	031° 33'	56.48	13+31.77	14+41.87
C3	320.00	195.80	035° 04'	101.08	14+41.87	16+37.67
C4	190.00	106.38	032° 05'	54.63	16+37.67	17+44.06
C5	270.00	81.44	017° 17'	41.03	17+44.06	18+25.50
C6	50.00	45.40	052° 01'	24.40	18+36.92	18+82.31
C10	50.00	10.25	011° 44'	5.14	20+09.86	20+20.11

TIDAL AREA



PRELIMINARY - NOT FOR CONSTRUCTION

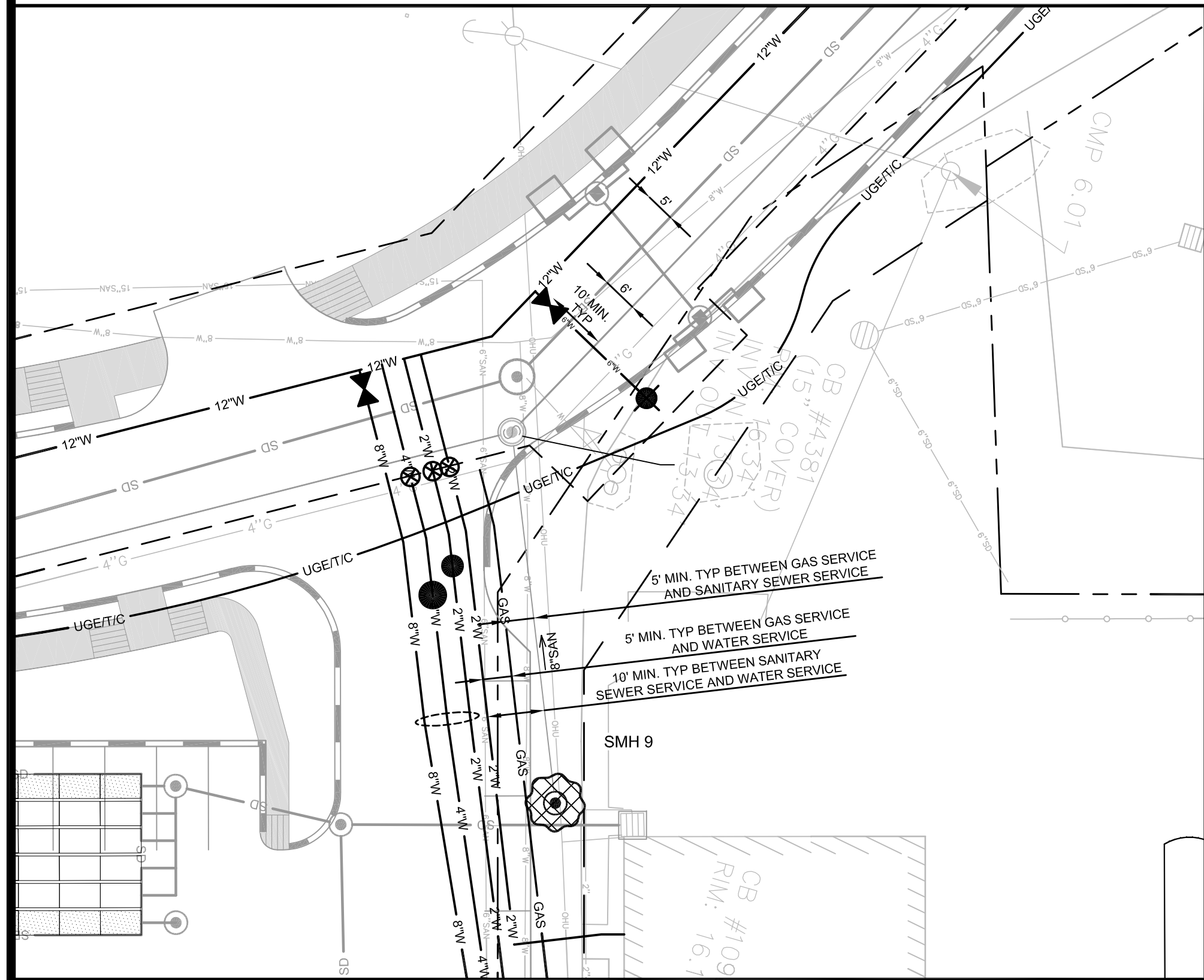
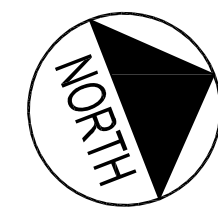
REV	DATE	DESCRIPTION	REVISIONS
4	01.06.16	ADDED CONCRETE PAD FOR BRICK NORTH	
3	12.17.15	REVISED FOR THOMPSON'S POINT CONNECTOR ROAD PUBLIC R.O.W. EXTENSION	
2	12.16.15	REVISED BRICK NORTH ENTRANCE DOORS AND ADDED POTENTIAL PATIO AREAS	
1	09.01.15	FINAL BRICK SOUTH LEVEL III SITE PLAN APPLICATION	

P.E. BO KENNEDY  
LIC. #11994

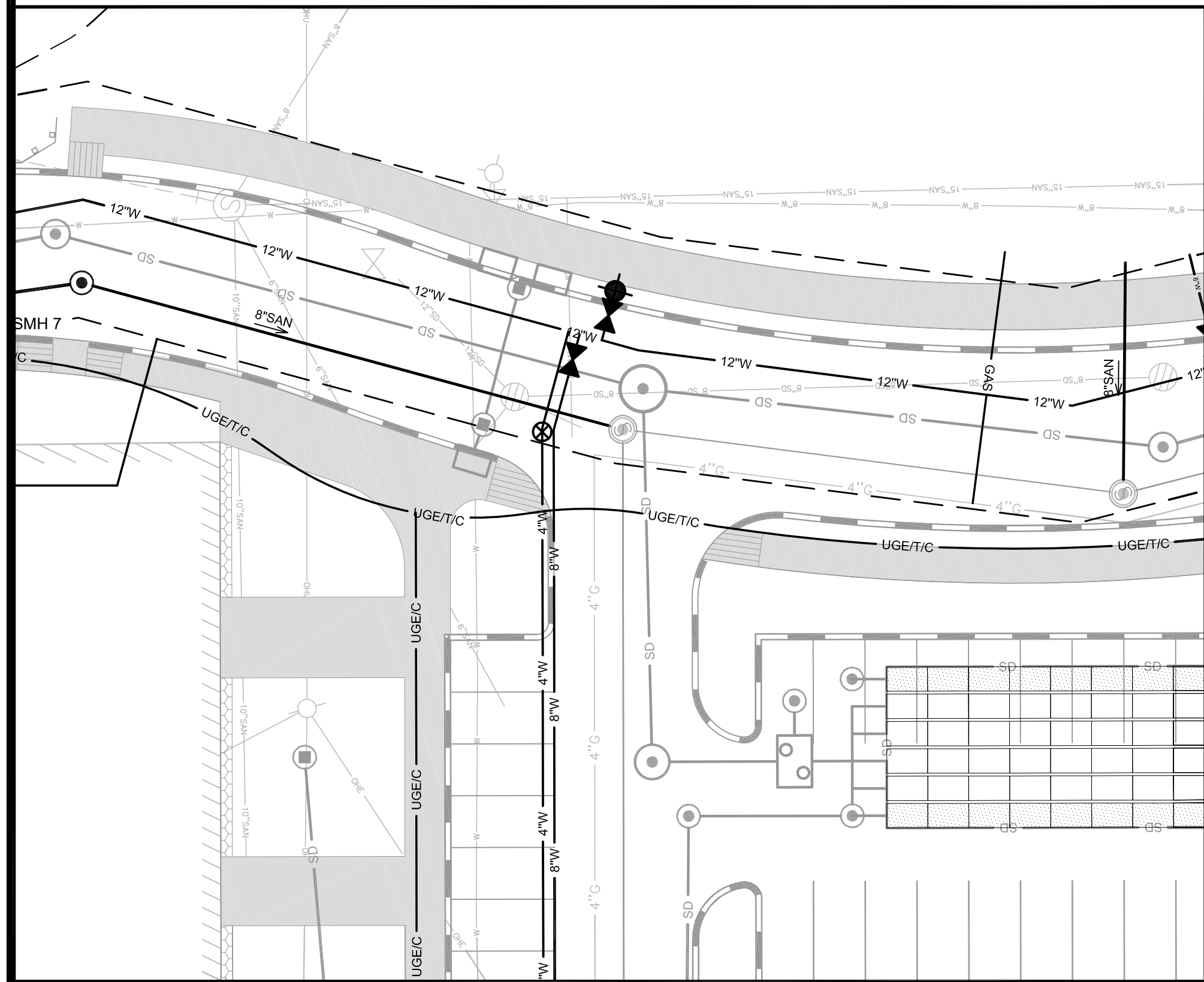
PROJECT  
BRICK NORTH AND SOUTH BUILDINGS AT THE FOREFRONT AT THOMPSON'S POINT  
SHEET TITLE  
SITE LAYOUT PLAN  
CLIENT  
FOREFRONT PARTNERS | LP

FST  
FAY, SPOFFORD & THORNDIKE  
ENGINEERS - PLANNERS - SCIENTISTS  
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106  
DRAWN: DED  
DESIGNED: BEK  
CHECKED: SRB  
FILE NAME: 2982.05-B3 SITE LAYOUT  
DATE: APRIL 2015  
SCALE: 1" = 40'  
JOB NO. 2982.05  
SHEET C-3.0

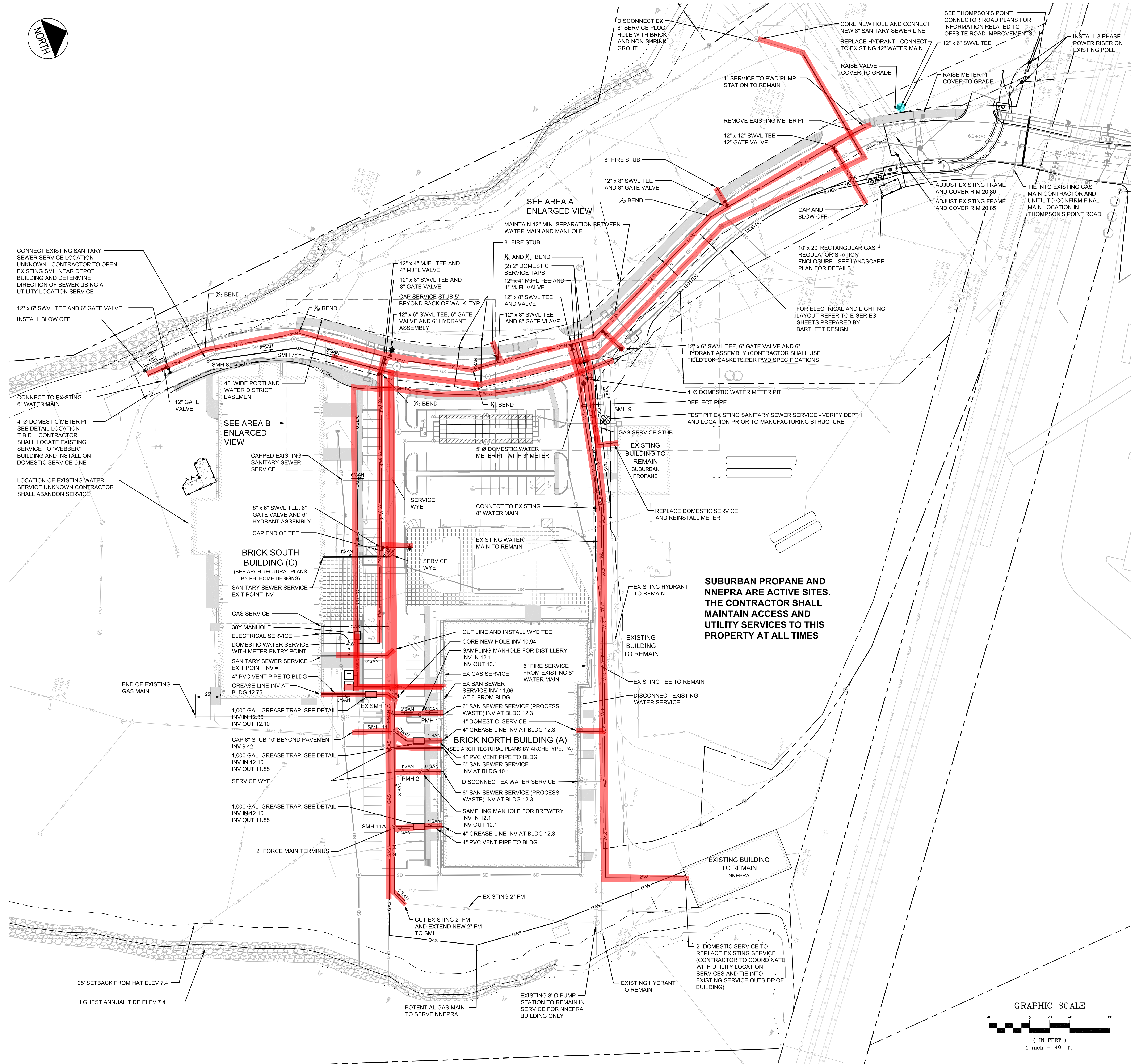




AREA A ENLARGED VIEW  
1" = 20'



AREA B ENLARGED VIEW  
1" = 20'



**NOTES:**

1. ALL UTILITY SERVICE LOCATIONS ARE SUBJECT TO COORDINATION AND ADJUSTMENT AS PART OF CONSTRUCTION DOCUMENT PREPARATION
2. SEE SITE LIGHTING PLANS BY BARTLETT DESIGN FOR PROPOSED LIGHT POLE LOCATIONS
3. EXISTING UTILITY SERVICE LOCATIONS ARE UNKNOWN. THE CONTRACTOR SHALL CONDUCT TEST PITS TO VERIFY LOCATIONS OF ALL EXISTING SERVICES. EXISTING SERVICE STUBS ARE TO BE CONNECTED TO NEW LEADS PROVIDE AS PART OF THIS CONTRACT.

PRELIMINARY - NOT  
FOR CONSTRUCTION

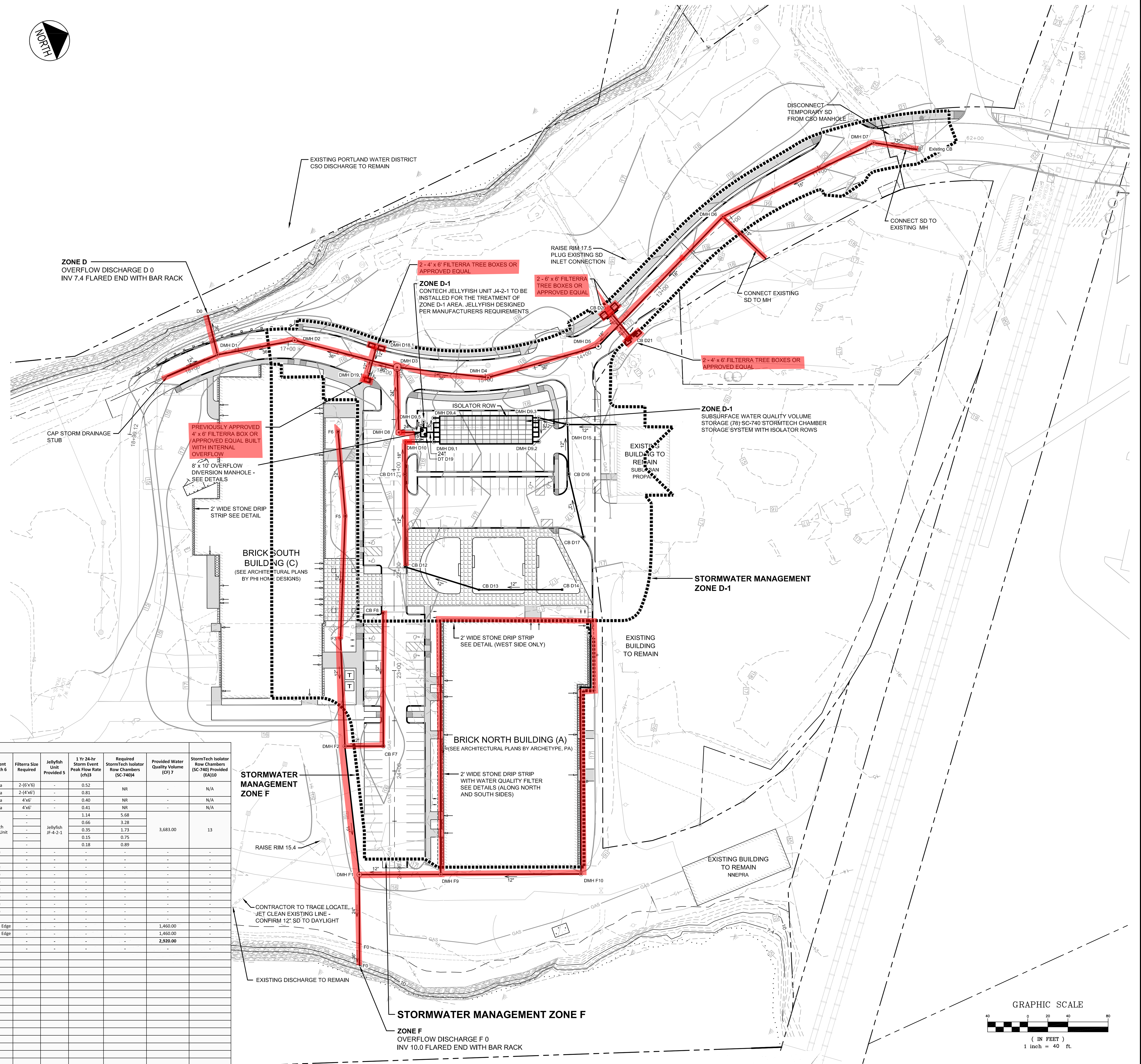
REV	DATE	DESCRIPTION	REVISIONS
4	11.16.15	ADDED GREASE TRAPS PER BN TENANT FIT UP	
3	11.09.15	AND WATER MAIN CHANGES PER PWD	
2	10.26.15	ELIMINATED SEPTIC TANK AND SMH PER PWD COMMENTS	
1	09.01.15	REVISED PER PWD COMMENTS	
0	08.01.15	FINAL BRICK SOUTH LEVEL III SITE PLAN APPLICATION	

P.E. BO KENNEDY
LIC. #11994

PROJECT	BRICK NORTH AND SOUTH BUILDINGS AT THE FOREFRONT AT THOMPSON'S POINT
SHEET TITLE	UTILITY PLAN
CLIENT	FOREFRONT PARTNERS I, LP

FSI	FAY, SPOFFORD & THORNDIKE
ENGINEERS - PLANNERS - SCIENTISTS	778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
DRAWN: DED	DATE: APRIL 2015
DESIGNED: BEK	SCALE: 1" = 40'
CHECKED: SRB	JOB NO. 2982.05
FILE NAME: 2982.05-B5 UTILITY	
SHEET	C-4.0





1. All work was based on the "PSP Permit" drawings dated June 2010	
2. The required water quality volume has been computed based on Sections 7.4, 7.5 and 7.6 of the Master DPW Volume BMPMP Technical Design Manual. The volume is computed for 1" times the subcatchment impervious area and 0.4" times the subcatchment impervious area. Existing buildings to remain are not required to be included	
3. The 1 year peak flow rates have been computed using the rational method. The rainfall intensities are derived from the California Coastal City OFCM	
4. A Subcatchment SW-2000 has been identified. All water volume from this subcatchment is computed as 0.5 times the impervious area under the Master DPW Volume BMPMP Technical Design Manual. One condition is required for the use of this 0.5 of the computed SW-2000 1 year peak flow rate.	
5. The required water quality BMP treatment will be based on the California Coastal City BMPMP Technical Design Manual. The water quality criteria and the amount of treatment cartridge to be computed based on water quality modeling	
6. The owner reserves the right to use an alternate tree but that must be provided in their approval by the Master DPW Chapter 100 integrated water quality of the City of Berkeley	
7. Provide Water Quality Volume to stormwater drainage system computed using 0.18 CF of storage per chamber based on Storm Water Characterization Manual	
8. The Storm Water Quality Volume to stormwater drainage system computed using 0.18 CF of storage per chamber based on Storm Water Characterization Manual	
9. The Storm Water Quality Volume to stormwater drainage system computed using 0.18 CF of storage per chamber based on Storm Water Characterization Manual	
10. The MASTER will not require a permit for the flow as a storm drain treatment unit and does not require an outlet to a water body. The project must be designed to ensure the outflow is not a storm drain discharge. The project must be designed to ensure the outflow is not a storm drain discharge. The project must be designed to ensure the outflow is not a storm drain discharge.	

PRELIMINARY - NOT  
FOR CONSTRUCTION

P.E. BO KENNEDY  
LIC. #11994



QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	NATIVE
6	AC	AMELANCHIER CANADENSIS	SERVICEBERRY	8-10' HT.	B&B, MULTI-STEM	X
11	AR	ACER RUBRUM	RED MAPLE	2.5' CAL.	B&B	X
11	BP	BETULA PAPYRIFERA 'RENAISSANCE REFLECTION'	PAPER BIRCH	10-12' HT.	B&B, MULTI-STEM	X
17	GB	GINKGO BILBOA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2-2.5' CAL.	B&B	
6	MP	MALUS 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE	2-2.5' CAL.	B&B	
7	PS	PRUNUS SARGENTII	SARGENT CHERRY	2.5' CAL.	B&B	
16	UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2.5' CAL.	B&B	X
5	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5' CAL.	B&B	X
4	TOFF	TREE OF FORTY FRUITS			EXISTING- PLANTED IN 2014	

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	NATIVE
132	AU	<i>ARCTOSTAPHYLOS UVA-URSI</i>	BEARBERRY	#3	CONT	X
40	CP	<i>COMPTONIA PEREGRINA</i>	SWEETFERN	#2	CONT	X

SEED - SEE PLANS

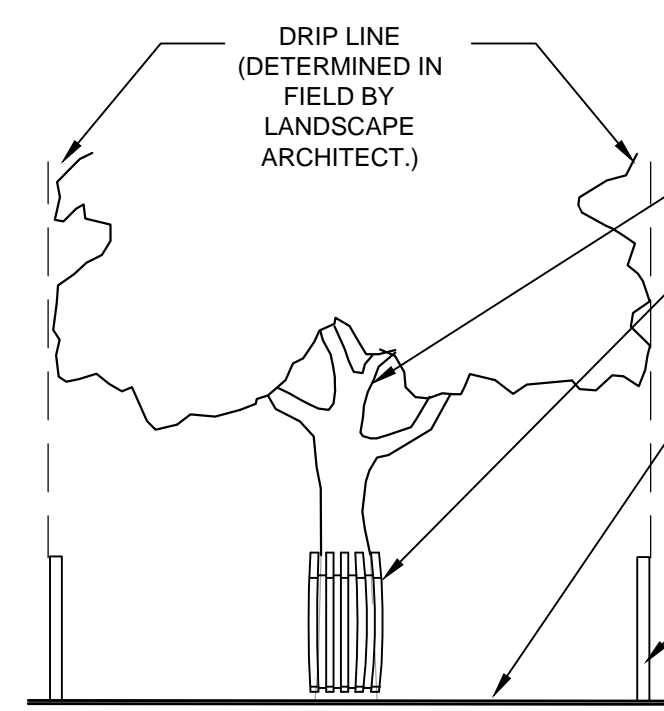
6" MIN. PREPARED TOPSOIL - NO STONES OVER 3/4" DIA.

6" CLEAN COMMON BORROW, REFER TO WRAP WORK PLAN PREPARED BY CREDEE ASSOCIATES DATED 9/11/12

GEOTEXTILE MARKING LAYER, REFER TO WRAP WORK PLAN PREPARED BY CREDEE ASSOCIATES DATED 9/11/12

COMPACTED SUBGRADE, IN SITU MATERIAL

## SCALE: N.T.S.

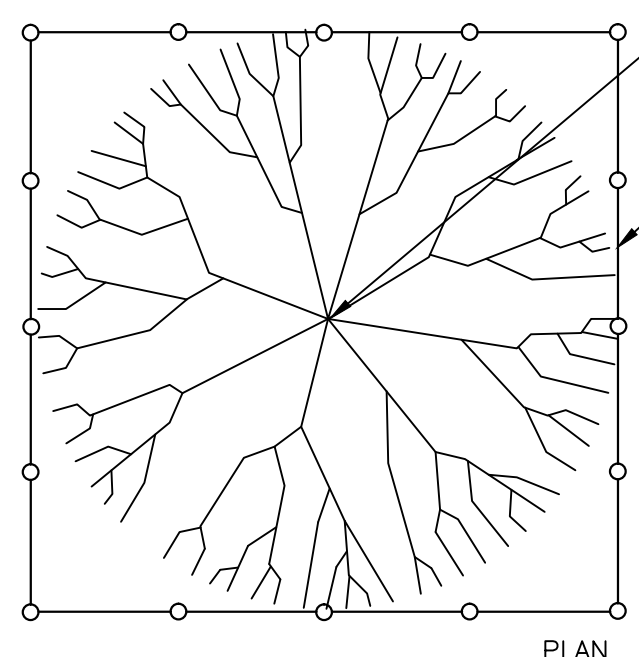


- EXISTING TREE TO REMAIN

6" TALL WOOD SLAT  
FENCING, SLATS TO BE  
SPACED 2" O.C. MAX.

PLACE 1.5" THICK LEAF BASED COMPOST LAYER THROUGHOUT TREE ZONE. DO NOT STORE ANY MACHINERY OR MATERIALS WITHIN THE PROTECTION AREA OF THE PROTECTION FE

- TREE PROTECTION FENCE:  
6'-0" SNOW FENCE.  
METAL POSTS SHALL BE 6'  
O.C. MAXIMUM.

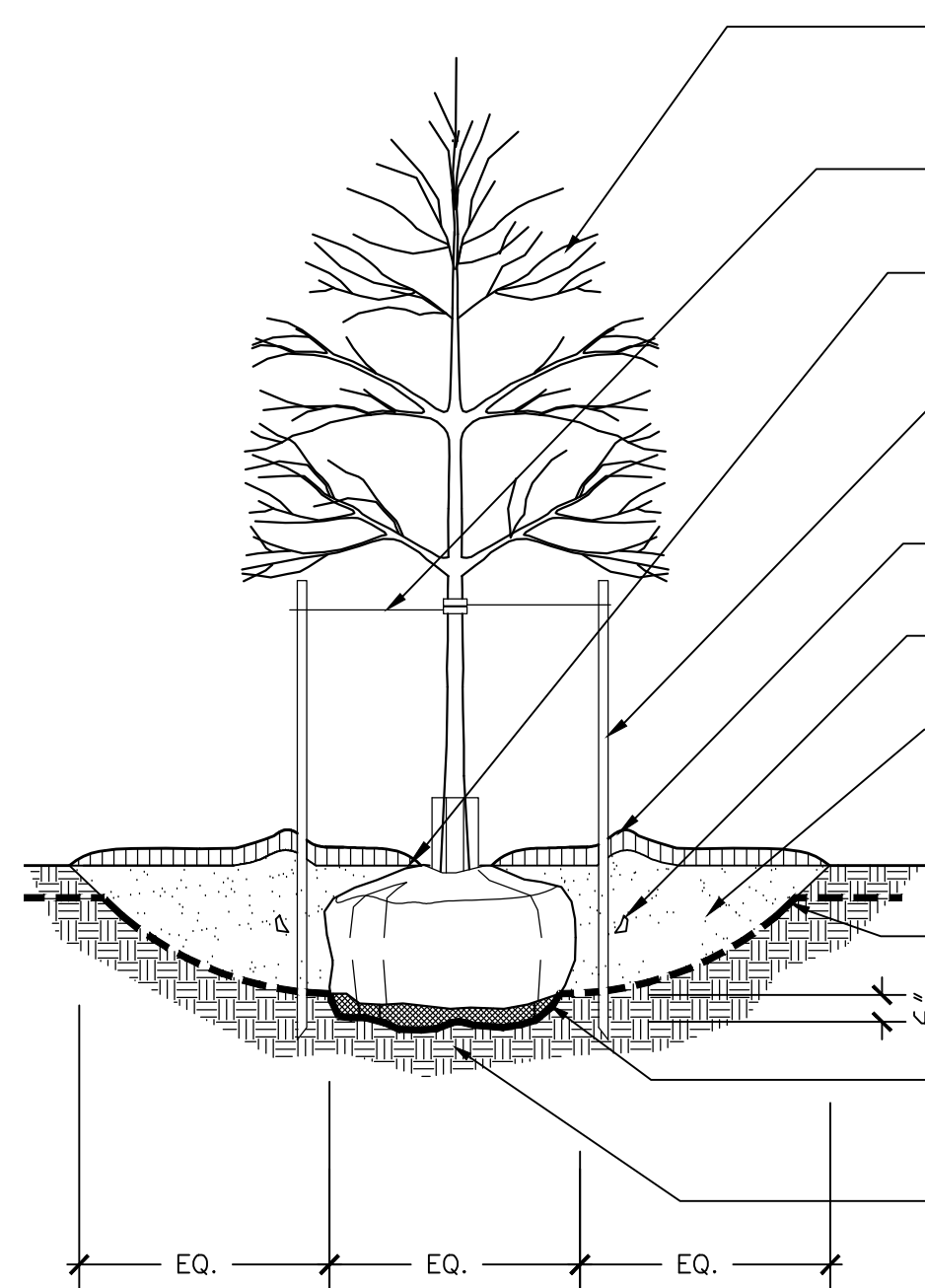
ELEVATION

EXISTING TREE TO REMAIN

— 6" SNOW FENCE AT  
DRIPLINE OF TREE.

NOTE:  
TREE PROTECTION FENCING TO  
REMAIN FOR DURATION OF PROJECT  
UNLESS OTHERWISE DIRECTED BY  
LANDSCAPE ARCHITECT

### PLAN



—INSTALL TREE PLUMB PRUNE TO REMOVE DAMAGED BRANCHES FOLLOWING ISA GUIDELINES DO NOT PRUNE LEADER ARBOR GUARD TREE GUARD OR APPROVED EQUAL IN MOWN LAWN AREAS

1 1/2" NYLON WEBBING TIE OR APPROVED  
EQUAL

- SPREAD 3" MULCH LAYER TO FULL EXTENT OF CIRCULAR PIT LEAVING 3" BETWEEN MULCH AND ROOT FLARE

- 2" x 3" x 10' PINE STAKES. 2 PER TREE ORIENTED IN EAST/WEST DIRECTION. DO NOT OVERTIGHTEN.

- FORM A 6" DEEP SAUCER AROUND THE TREE FOR WATERING

- PLACE MINIMUM OF 2 FERTILIZER PACKETS NEAR BUT NOT TOUCHING ROOTS

- 6" TO 8" DEEP PLANTING SOIL MIX

- GEOTEXTILE MARKING LAYER, REFER TO VRAP WORK PLAN PREPARED BY CREDERE ASSOCIATES DATED 9/11/12

- PLACE ROOTBALL ON UNDISTURBED SUBSOIL. CUT AND REMOVE ALL STRINGS, ROPE, BURLAP AND WIRE.

UNDISTURBED SUBGRADE, IN SITU

MATERIAL

NOTE: SET ROOT FLARE 2" ABOVE FINISHED GRADE

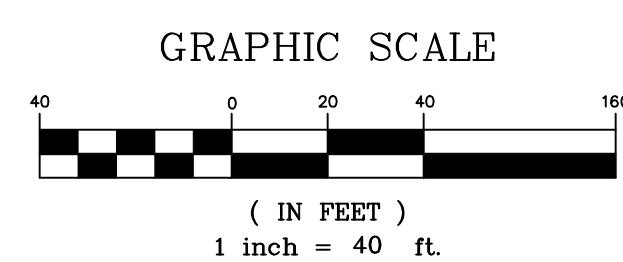
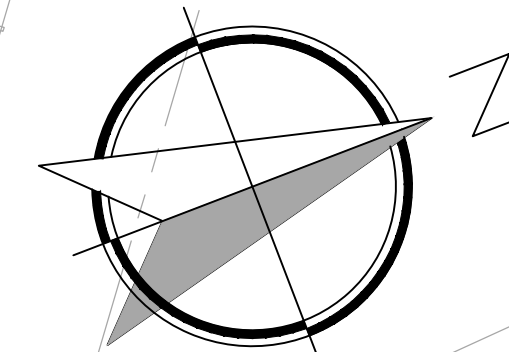
## SCALE: N.T.S.

SCALE: N.T.S

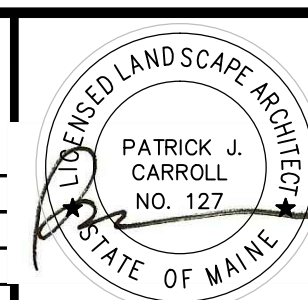
<p>1. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.</p> <p>2. CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THE PLAN. ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED ON THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.</p> <p>3. ALL MATERIALS SHALL CONFORM TO SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.</p> <p>4. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THE ORIGINAL GRADES BEFORE DIGGING.</p> <p>5. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.</p> <p>6. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AT THE NURSERY AND AT THE SITE.</p> <p>7. ALL PLANT BEDS SHALL MEET MINIMUM TOPSOIL REQUIREMENTS (SEE SPECIFICATIONS).</p> <p>8. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRUBBING, BED PREPARATION, AND FINISH GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.</p> <p>9. ALL PLANT BEDS AND TREE WELLS SHALL BE SPADE EDGED, AND SHALL HAVE A MINIMUM OF 3" OF UNIFORMLY DISTRIBUTED, DARK, SHREDDED BARK MULCH. CONTRACTOR SHALL SUBMIT MULCH SAMPLE TO L.A. PRIOR TO INSTALLATION.</p>	<p>10. CONTRACTOR SHALL SUBMIT SOIL SAMPLE AND TEST OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SOIL ADMIXTURE SHALL BE ADDED TO EXISTING SOIL (BY CONTRACTOR) IF DEEMED NECESSARY BY SOIL TEST RESULTS.</p> <p>11. ROUGH GRADING AND BED PREPARATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 24 HOURS PRIOR TO REQUIRED SITE VISIT.</p> <p>12. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. ALL ROOT WRAPPING, WIRE BASKETS, AND CONTAINER MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.</p> <p>13. ALL BROAD LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH AN ANTI-DESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.</p> <p>14. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.</p> <p>15. CONTRACTOR SHALL STAKE TREES, IF DEEMED NECESSARY BY PROJECT L.A.</p> <p>16. THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM BACKFILL AS PER THE CONTRACT SPECIFICATIONS.</p> <p>17. ALL PLANTS SHALL BE WATERED BY THE CONTRACTOR, AS NECESSARY, TO INSURE HEALTH UNTIL FINAL ACCEPTANCE.</p> <p>18. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME AND SEASON OF PLANTING.</p> <p>19. IN GENERAL, STREET &amp; PARKING LOT TREES ARE SPACED APPROXIMATELY 45' O.C. - SEE PLAN FOR EXCEPTIONS.</p> <p>20. TREES SHALL BE PLANTED 6' OFF EDGE OF PAVEMENT WHERE POSSIBLE. TREES IN ESPLANADE SHALL BE CENTERED IN ESPLANADE.</p> <p>21. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED UNLESS OTHERWISE SPECIFIED.</p>
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- EXISTING VEGETATION  
BELOW TRAIL SHALL REMAIN;  
PRESERVE & PROTECT



217 COMMERCIAL STREET, STE 203  
PORTLAND, MAINE 04101  
207.772.1552 V. F. 207.772.0711

[illegible]

PROJECT  
BRICK NORTH AND SOUTH BUILDINGS AT  
THE FOREFRONT AT THOMPSON'S POINT

LANDSCAPE PLAN

CLIENT \_\_\_\_\_

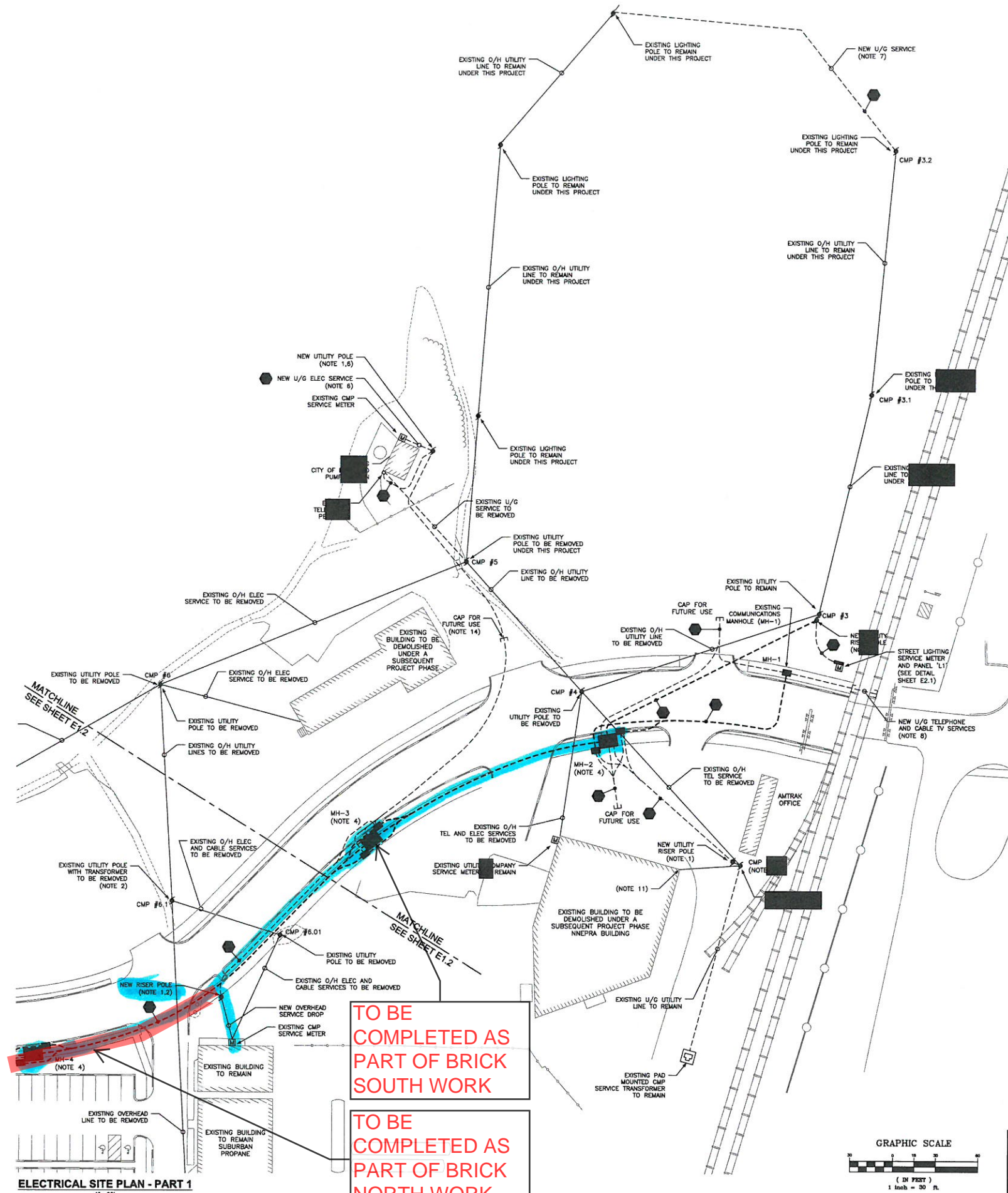
**FAY, SPOFFORD & THORNDIKE**  
ENGINEERS • PLANNERS • SCIENTISTS  
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106  
TEL: 855-222-2222 FAX: 855-222-2222  
WWW.FSTENGINEERS.COM

DRAWN: -	DATE: SEPTEMBER 1, 201
DESIGNED:	SCALE:

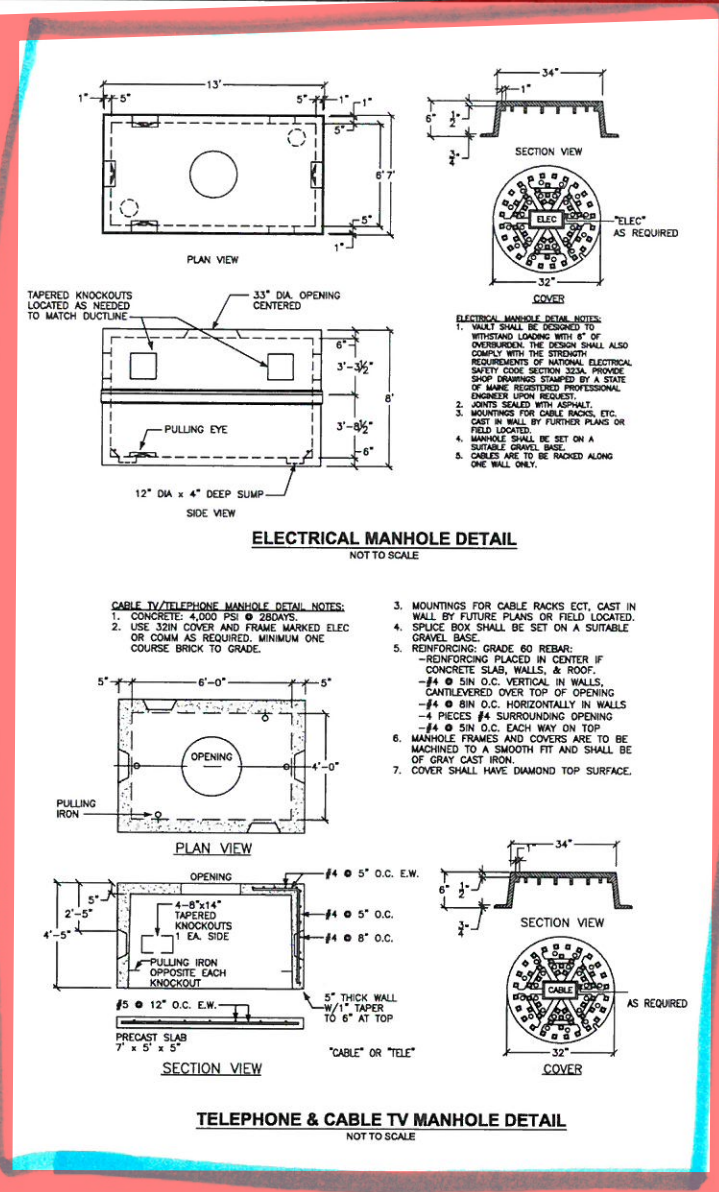
DESIGNED: -	SCALE: -
CHECKED: -	JOB NO. -

FILE NAME: CA-LANDSCAPE-PLAN.DWG  
SHEET 1-10





ELECTRICAL SITE PLAN - PART 1  
1" = 30'



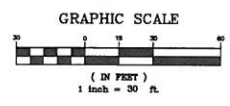
DUCT SECTIONS

A. - (4) 4" CONDUITS	ELECTRICAL SECONDARY
B. - (1) 4" CONDUIT	TELEPHONE
C. - (1) 4" CONDUIT	CABLE TV
* D. - (3) 5" CONDUITS	ELECTRICAL PRIMARY
E. - (1) 4" CONDUIT	TELEPHONE
F. - (1) 4" CONDUIT	CABLE TV
G. - (1) 5" CONDUIT	ELECTRICAL PRIMARY
* H. - (1) 4" CONDUIT	TELEPHONE
I. - (1) 4" CONDUIT	CABLE TV
J. - (1) 1-1/2" CDT	LIGHTING CIRCUIT
K. - (2) 5" CONDUITS	ELECTRICAL SECONDARY
L. - (1) 2" CONDUIT	ELECTRICAL SECONDARY
M. - (1) 2" CONDUIT	TELEPHONE

\* ENCASE DUCT BANK IN 3-INCH CONCRETE ENVELOPE WHERE CROSSING BENEATH ROADWAYS.

MAINTAIN 6" BETWEEN ELECTRICAL PRIMARY CONDUITS. MAINTAIN 12" BETWEEN ELECTRICAL CONDUITS AND TELEPHONE OR CABLE TV.

- NOTES:
- WHERE INDICATED, ARRANGE WITH CMP TO PROVIDE A NEW SERVICE RISER POLE.
  - WHERE INDICATED, ARRANGE WITH CMP TO RELOCATE THE EXISTING POLE MOUNTED SERVICE TRANSFORMER FROM POLE #6.1 TO THE NEW RISER POLE.
  - SERVICE EQUIPMENT AND SERVICE METERING SHALL BE AS DESIGNED AND SPECIFIED UNDER THE BRICK NORTH INTERIOR RENOVATION PROJECT. VERIFY THE EXACT LOCATION OF SERVICE ENTRANCE AT BUILDING EXTERIOR.
  - WHERE INDICATED, PROVIDE A NEW MANHOLE STRUCTURE FOR CMP ELECTRICAL PRIMARY, FAIRPOINT SERVICE AND TIME-EARLY SERVICE CABLES. SEE DETAIL THIS SHEET.
  - WHERE INDICATED, ARRANGE WITH CMP TO PROVIDE A NEW PAD MOUNT SERVICE TRANSFORMER.
  - ARRANGE WITH CMP TO RELOCATE THE EXISTING SERVICE TRANSFORMER THAT SERVES THE CITY PUMP STATION FROM POLE #4 TO THE NEW UTILITY POLE TO BE LOCATED ADJACENT TO THE PUMPS STATION. EXTEND A NEW SECONDARY UNDERGROUND SERVICE FROM THE RELOCATED TRANSFORMER TO THE EXISTING SERVICE METER ON THE OUTSIDE OF THE PUMP STATION. MATCH EXISTING SERVICE CONDUCTOR SIZE AND QUANTITY.
  - WHERE INDICATED, PROVIDE AN EXTENSION OF THE EXISTING FLOODLIGHT CIRCUIT BETWEEN EXISTING POLE #3.2 AND THE EXISTING FLOODLIGHT POLE TO THE SOUTH. PROVIDE 2 #6 CONDUCTOR IN A 1-1/2" CONDUIT. CONNECT THE CIRCUIT TO THE EXISTING CMP LIGHTING CIRCUIT AT POLE #3.2.
  - WHERE INDICATED, ARRANGE WITH CMP TO PROVIDE A NEW 120/240V, 1PH SERVICE TRANSFORMER TO BE INSTALLED ON CMP POLE #3.01 TO SERVICE THE EXISTING NNPR BUILDING.
  - CIRCUIT PARKING LOT LIGHTING POLES AT BRICK NORTH WITH 2 #6, 1 #8 GND, IN A 1-1/2" CDT. CIRCUIT BRICK NORTH BUILDING MOUNTED LIGHTING WITH 2 #10, 1 #12GND, IN 3" CDT.
  - WHERE INDICATED, ARRANGE WITH CMP TO PROVIDE A NEW 120/240V, 1PH SERVICE TRANSFORMER TO BE INSTALLED ON NNPR BUILDING. ROUTE THE SERVICE CONDUCTORS ALONG THE FACE OF THE BUILDING AND CONNECT TO THE EXISTING SERVICE METER. ALSO ARRANGE WITH FAIRPOINT TO PROVIDE AN OVERHEAD TELEPHONE SERVICE DROP.
  - EXTEND (3) 5" CONDUITS FOR ELECTRICAL PRIMARY, (3) 4" CONDUITS FOR TELEPHONE, AND (1) 4" CONDUIT FOR CABLE TV FROM MANHOLE MH-9. CAP (2) OF THE 5" CONDUITS BELOW GRADE FOR FUTURE USE. EXTEND THE REMAINING 5" CONDUIT, AS WELL AS THE 4" CONDUITS FOR TELEPHONE AND CABLE TV SERVICES TO CMP POLE #6.5.
  - PROVIDE RISER CONDUITS FOR ELECTRICAL PRIMARY, TELEPHONE, AND CABLE TV SERVICES AT EXISTING CMP POLE #6.5. ARRANGE WITH UTILITY SERVICE COMPANIES TO BACKFEED THE EXISTING OVERHEAD UTILITY LINES EXTENDING TO EXISTING CMP POLE #6.4.
  - EXTEND (3) 5" CONDUITS FOR ELECTRICAL PRIMARY, (3) 4" CONDUITS FOR TELEPHONE, AND (1) 4" CONDUIT FOR CABLE TV FROM MANHOLE MH-3. CAP (2) OF THE 5" CONDUITS BELOW GRADE FOR FUTURE USE. EXTEND THE REMAINING 5" CONDUIT, AS WELL AS THE 4" CONDUIT FOR TELEPHONE SERVICE TO THE NEW UTILITY POLE TO BE LOCATED ADJACENT TO THE PUMP STATION.



PRELIMINARY

Bartlett Design  
LIGHTING & ELECTRICAL ENGINEERING  
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TEL (207) 443-5467 FAX (207) 443-5500

PROJECT: BRICK NORTH BUILDING AT THE FOREFRONT AT THOMPSON'S POINT  
SHEET TITLE: ELECTRICAL SITE PLAN PART 1

FST  
FAY, SPOFFORD & THORNDIKE  
ENGINEERS - PLANNERS - SCIENTISTS  
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106

REV	DATE	DESCRIPTION	REVISIONS
2	07.24.14	SUBMITTED FOR UTILITY COMPANY REVIEW	
1	07.01.14	SUBMITTED FOR CLIENT REVIEW	
REV	DATE	DESCRIPTION	REVISIONS

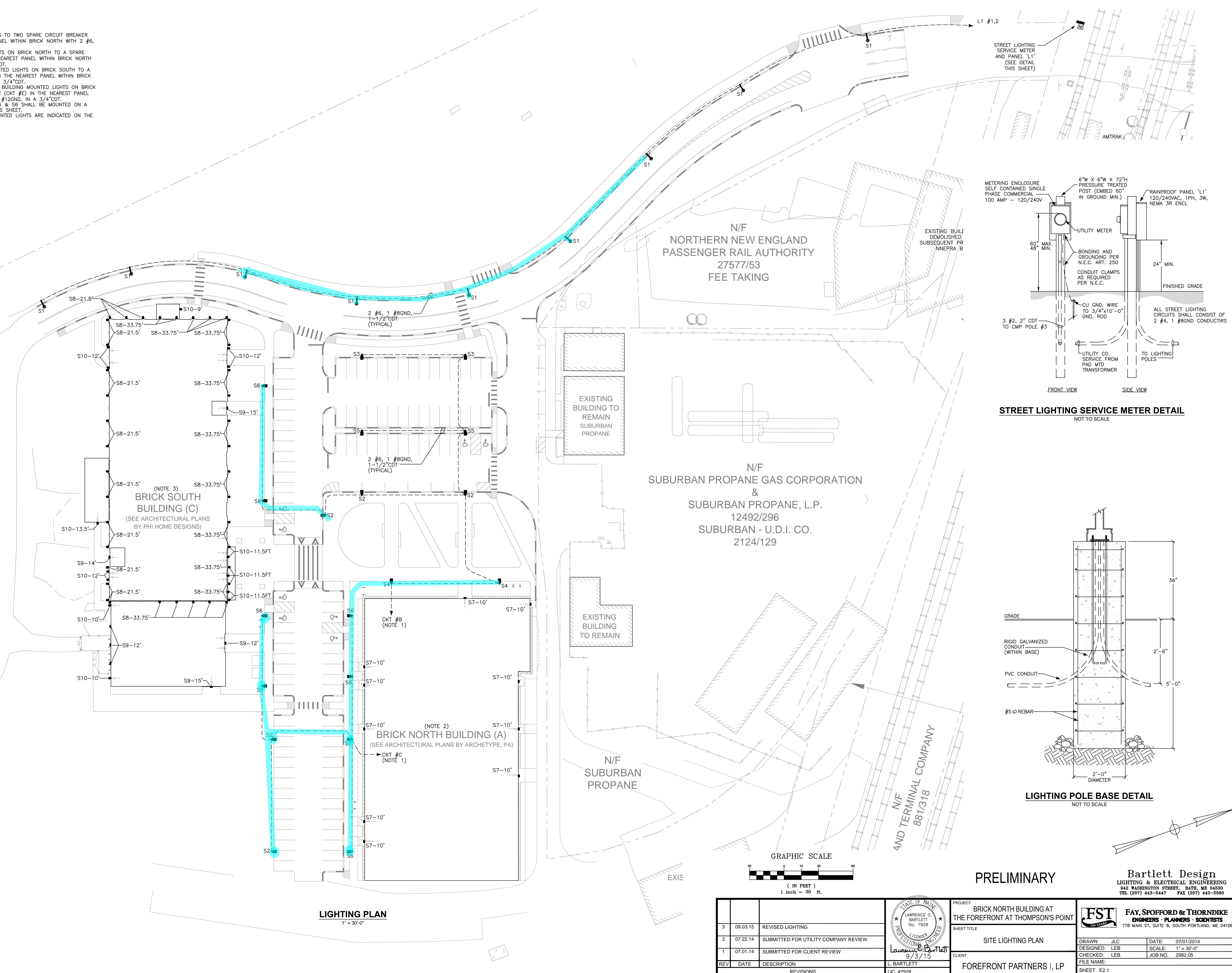
CLIENT: FOREFRONT PARTNERS I, LP  
DRAWN: JLC  
DESIGNED: LEB  
CHECKED: LEB  
FILE NAME: SHEET E1.1

DATE: 07/01/2014  
SCALE: 1" = 30'-0"  
JOB NO. 2982.05  
SHEET E1.1

C.O. FOR BRICK NORTH SCOPE OF WORK



1. PHOTOMOUNT LIGHTING PLAN NOTES:
  - a. LIGHTING POLES TO TWO SPARE CIRCUIT BREAKER (CCT #B & #C) IN THE NEAREST PANEL WITHIN BRICK NORTH WITH 2 #6, 1 #8RD, IN A 1-1/2" COT.
  - b. CIRCUIT ALL BUILDING MOUNTED LIGHTS ON BRICK NORTH TO A SPARE CIRCUIT BREAKER (CCT #D) IN THE NEAREST PANEL WITHIN BRICK NORTH WITH 2 #10, 1 #12GND, IN A 3/4" COT.
  - c. CIRCUIT ALL TYPE 58 BUILDING MOUNTED LIGHTS ON BRICK SOUTH TO A SPARE BIRTH BREAKER (CCT #E) IN THE NEAREST PANEL WITHIN BRICK SOUTH WITH 2 #10, 1 #12GND, IN A 3/4" COT.
  - d. CIRCUIT ALL TYPE 59 AND TYPE 510 BUILDING MOUNTED LIGHTS ON BRICK SOUTH TO A SPARE CIRCUIT BREAKER (CCT #F) IN THE NEAREST PANEL WITHIN BRICK SOUTH WITH 2 #10, 1 #12GND, IN A 3/4" COT.
2. LIGHTING POLE TYPES S2, S3, S4, S5, S6 SHALL BE MOUNTED ON A 3" CONCRETE BASE, SEE DETAIL THIS SHEET.
3. MOUNTING HEIGHTS OF BUILDING MOUNTED LIGHTS ARE INDICATED ON THE DRAWING.



## LIGHTING PLAN



**STREET LIGHTING SERVICE METER DETAIL**  
NOT TO SCALE

### LIGHTING POLE BASE DETAIL

NOT TO SCALE

# PRELIMINARY

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				PROJECT <b>BRICK NORTH BUILDING AT          THE FOREFRONT AT THOMPSON'S POINT</b>	 <b>FAY, SPOFFORD &amp; THORNDIKE</b> <b>ENGINEERS - PLANNERS - SCIENTISTS</b> 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
3	09.03.15	REVISED LIGHTING		SHEET TITLE	
2	07.22.14	SUBMITTED FOR UTILITY COMPANY REVIEW		<b>SITE LIGHTING PLAN</b>	
1	07.01.14	SUBMITTED FOR CLIENT REVIEW			
REV	DATE	DESCRIPTION	L. BARTLETT LIC. #7928	CLIENT	DRAWN: JLC DESIGNED: LEB CHECKED: LEB FILE NAME: SHEET E2.1
		REVISIONS		<b>FOREFRONT PARTNERS I, LP</b>	DATE: 07/01/2014 SCALE: 1" = 30'-0" JOB NO. 2982.05