

150 HERRING STREET, 197-I-4, 5, 6, 7, 8, 9.

200-D-1



Full cut # 920K • Half cut # 9202R • Third cut # 9203R • Fifth cut # 9205R



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date April 20, 19 78
 Receipt and Permit number A 10610

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 150 Hobart St.
 OWNER'S NAME: Frank Michaud ADDRESS: same

OUTLETS: (number of)
 Lights _____
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____ FEES _____

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 100 _____ FEES 3.00
 Temporary _____

METERS: (number of) 1 _____ FEES .50

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ hers (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b)
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9)
 TOTAL AMOUNT DUE: 3.50

INSPECTION:
 Will be ready on _____, 19____; or Will Call xx _____

CONTRACTOR'S NAME: William Johnson
 ADDRESS: RR # 2 So. Windham, Me.
 TEL.: 892-2669

MASTER LICENSE NO.: ~~xxxx~~ 3145 SIGNATURE OF CONTRACTOR: William W. Johnson
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION A-5 PORTLAND, MAINE, OCT. 2, 1975

OCT 3 1975 866

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION: 150 Hobart St. Fire District #1 [], #2 []
1. Owner's name and address Francis Michaud, same as above Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address OWNER Telephone 774-4815
4. Architect Specifications Plans YES No. of sheets 1
Proposed use of building addition to dwelling No. families 1
Last use dwelling No. families 1
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 700 Fee \$ 5.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Remodeling roof as per plan.
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [x] 2 [] 3 [] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO Is any electrical work involved in this work? NO
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: Will there be in charge of the above work a person competent
BUILDING CODE to see that the State and City requirements pertaining thereto
Fire Dept.: are observed? YES
Health Dept.:
Others:

Signature of Applicant Francis Michaud, Sr. Phone # same as above
Type Name of above Francis Michaud 1 [x] 2 [] 3 [] 4 []

FIELD INSPECTOR'S COPY Other and Address

NOTES

10-8-75 - permit to add floor addition not yet issued
 10-17-75 Addition ok - *Michael*
 11-20-75 finished

Permit No. 75/866 Howard
 Location 150 Hobart St.
 Owner Francis Richard
 Date of permit Oct 3, 1975
 Approved

~~Francis Richard~~

Maury

Large section of the page containing horizontal lines, mostly crossed out with a large 'X' on the left side.

ADDITION

11 1/2 x 19

MATERIALS:

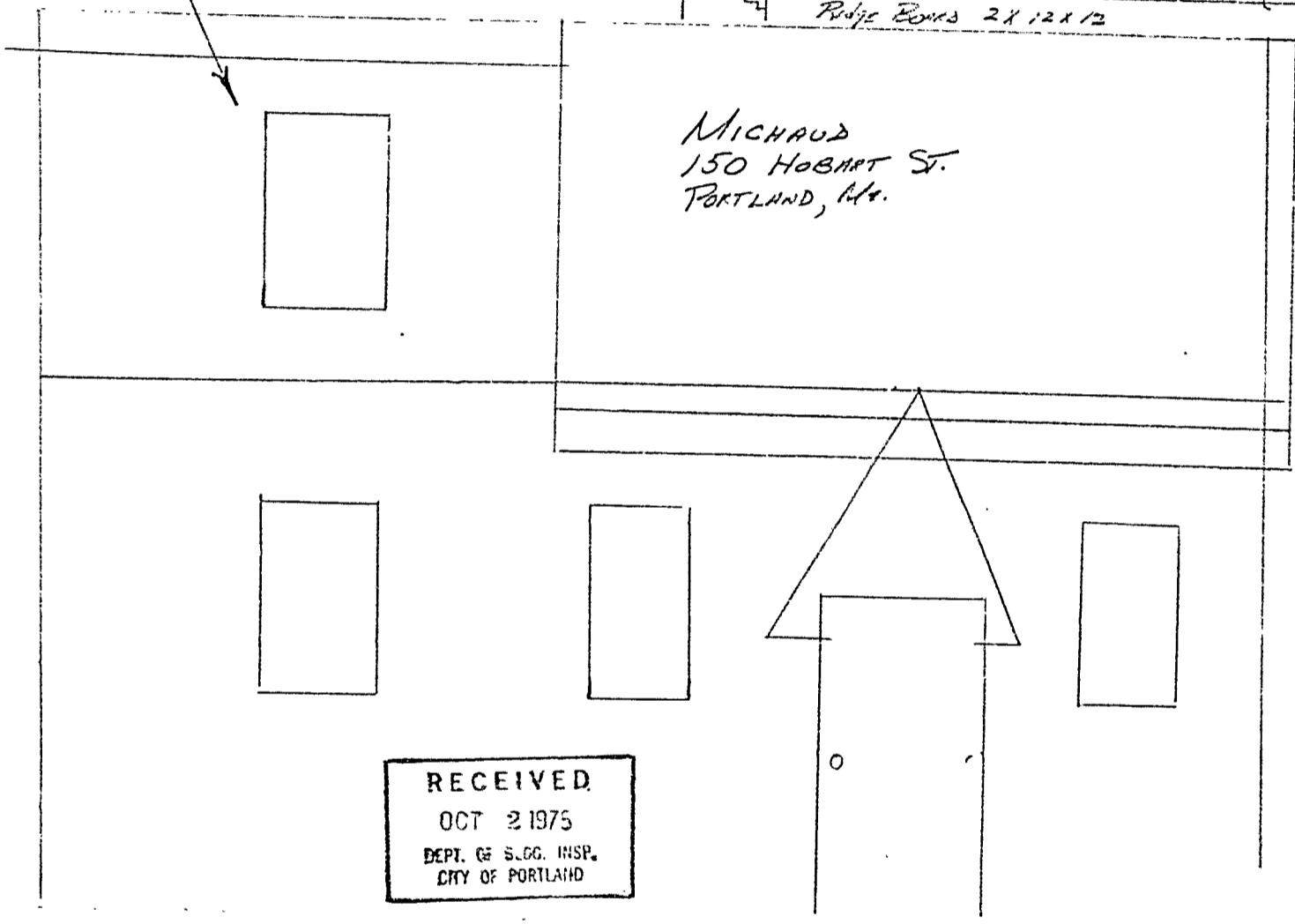
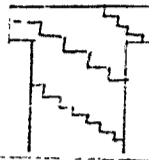
FLOOR JOIST - 2x8x12

ROOF RAFTERS 2x6x10 (EXISTING)

WALL SUPPORTS 2x4x6 1/2 TO 7

ROOF COVERING - 3/4 MATCH BOARDS (EXISTING)

RIDGE BOARDS 2x12x12



MICHAUD
150 HOBART ST.
PORTLAND, ME.

RECEIVED
OCT 2 1975
DEPT. OF S.C.C. INSP.
CITY OF PORTLAND



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, February 20, 1961

PERMIT ISSUED
FEB 24 1961
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 150 Hobart St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Alvin B. Worcester, 150 Hobart St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone 2-5015
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Dwelling No. families 1
Last use _____ No. families 1
Material frame No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1100.00 Fee \$ 5.00

General Description of New Work

To construct 22' dormer on rear of dwelling to be used for bedroom.
Approx. 20' to rear lot line.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof flat Rise per foot 1" Roof covering asphalt Class C Urd. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Kind and thickness of outside sheathing of exterior walls? _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 9'6"
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

G. E. W. W/letter

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Alvin B Worcester

INSPECTION COPY

Signature of owner

by: Alvin B. Worcester

F.M.

NOTES

3/2/61: Left G.T. to class
dinner - Allen

X

Permit No. 11/158

Location 150 Hobart St.

Owner Alvin B. Monroes

Date of permit 3/24/61

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Sinking Out Notice

Form Check Notice

3-13

AP-150 Hobart Street

February 24, 1961

Mr. Alvin B. Worcester
150 Hobart Street

Dear Mr. Worcester:

Permit is being issued to construct a 22 foot dormer at the rear of the above dwelling subject to our discussion as follows:

1. Rear wall of dormer is to be tied through the plate or by other means to the cross partition.
2. Floor joists are to be doubled/cross ^{under} partitions.
3. Ridge board is to be a 2x12 inch member supported at not over an 11 foot span by a 4x4 inch post supported on the bearing partition below.
4. The house rafters are to be doubled at each end of the dormer.
5. We understand that you plan to use double 2x4 inch headers over windows which are to have rough openings of 3 feet or less. Should you desire to have larger windows, then the material and size of headers must be submitted to this office for approval.

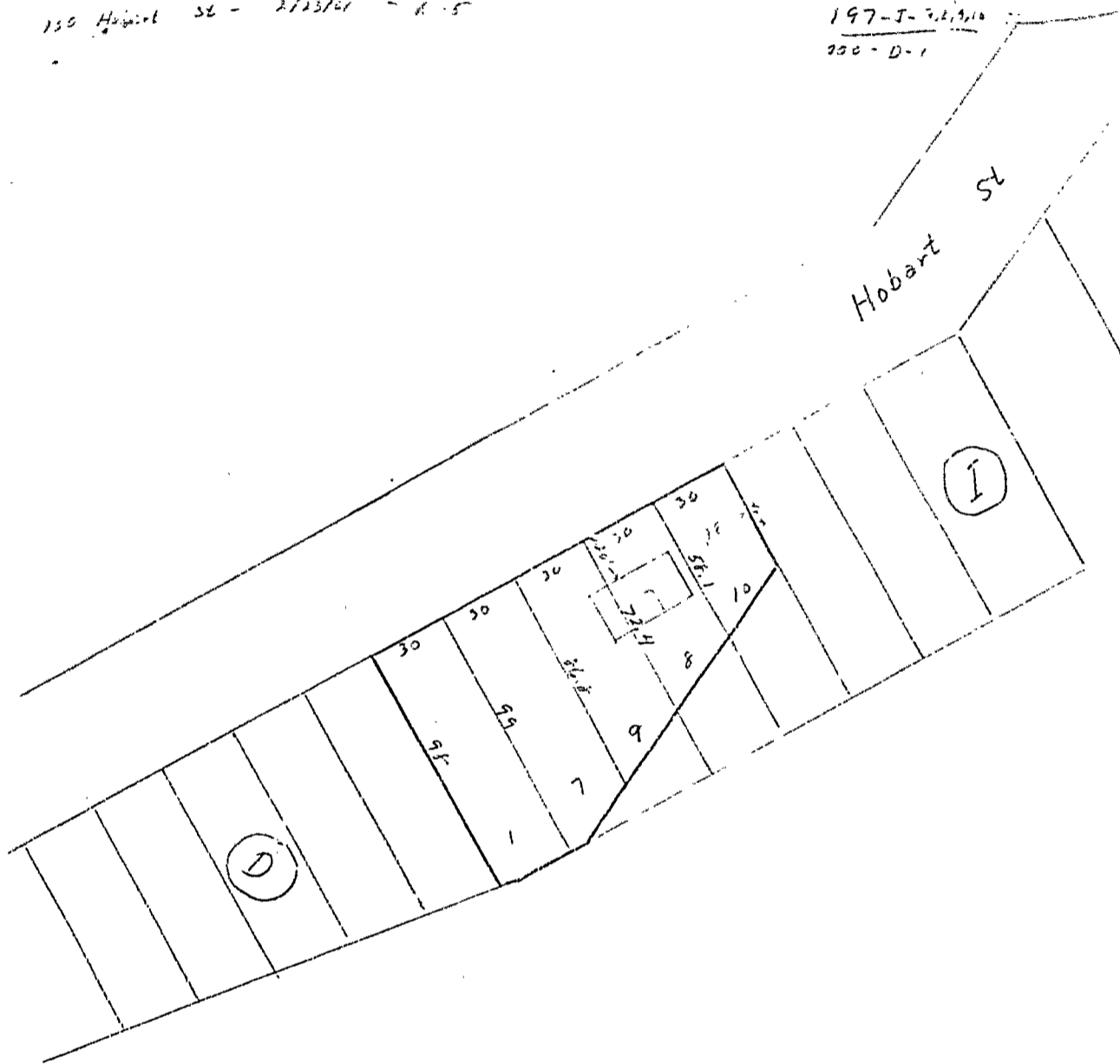
Very truly yours,

GEM/jg

Gerald E. Mayberry
Deputy Inspector of Buildings

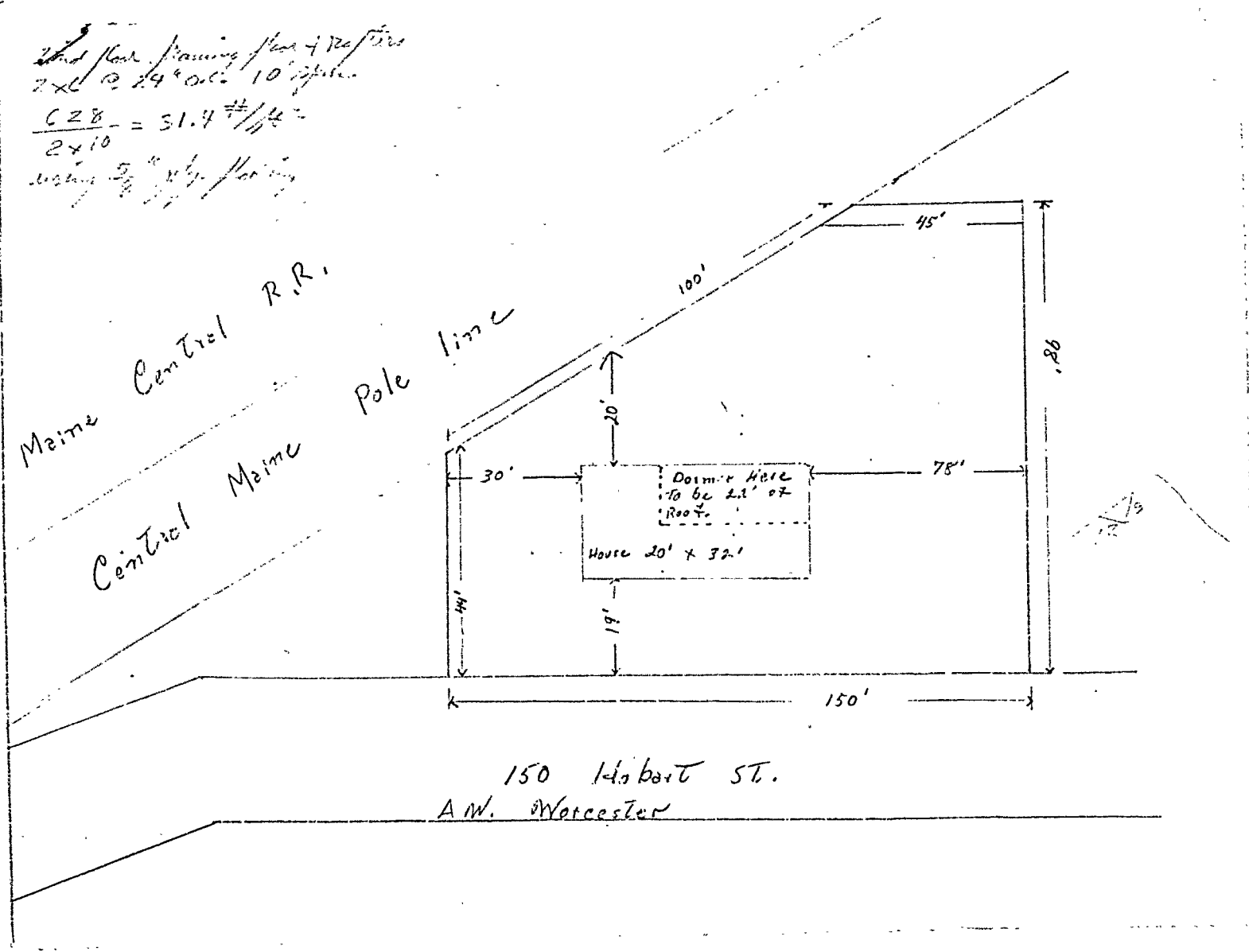
150 Hobart St - 2/23/61 - A-5

197-1-22, 1918
220-D-1



2nd floor, Planning floor + Roof
 2xL @ 24" o.c. 10' depth
 $\frac{C28}{2 \times 10} = 31.4 \frac{\#}{ft^2}$
 using 5/8" x 1/2" joists

Maine Central R.R.
 Central Maine
 Pole line



150 Hobart St.
 A.W. Worcester



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING COOKING OR POWER EQUIPMENT

Portland, Maine, July 1, 1958

PERMIT ISSUED JUL 1 1958 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 150 Hobart St. Use of Building Dwelling No. Stories 1 Building Existing
Name and address of owner of appliance Alvin Worcester, 150 Hobart St.
Installer's name and address Dixon Bros. Gorham Maine Telephone VE-4-2821

General Description of Work

To install Oil burning unit with forced hot air heat (in place of stove heat)

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 15"
From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 8x8 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Delco-gun type Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/2"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED 7-1-58 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Dixon Bros.

INSPECTION COPY

Signature of Installer by:

7-10-58 43

Permit No. 58/123

Location 100 Federal St.

Owner *Alvan Hancock*

Date of permit 7/1/58

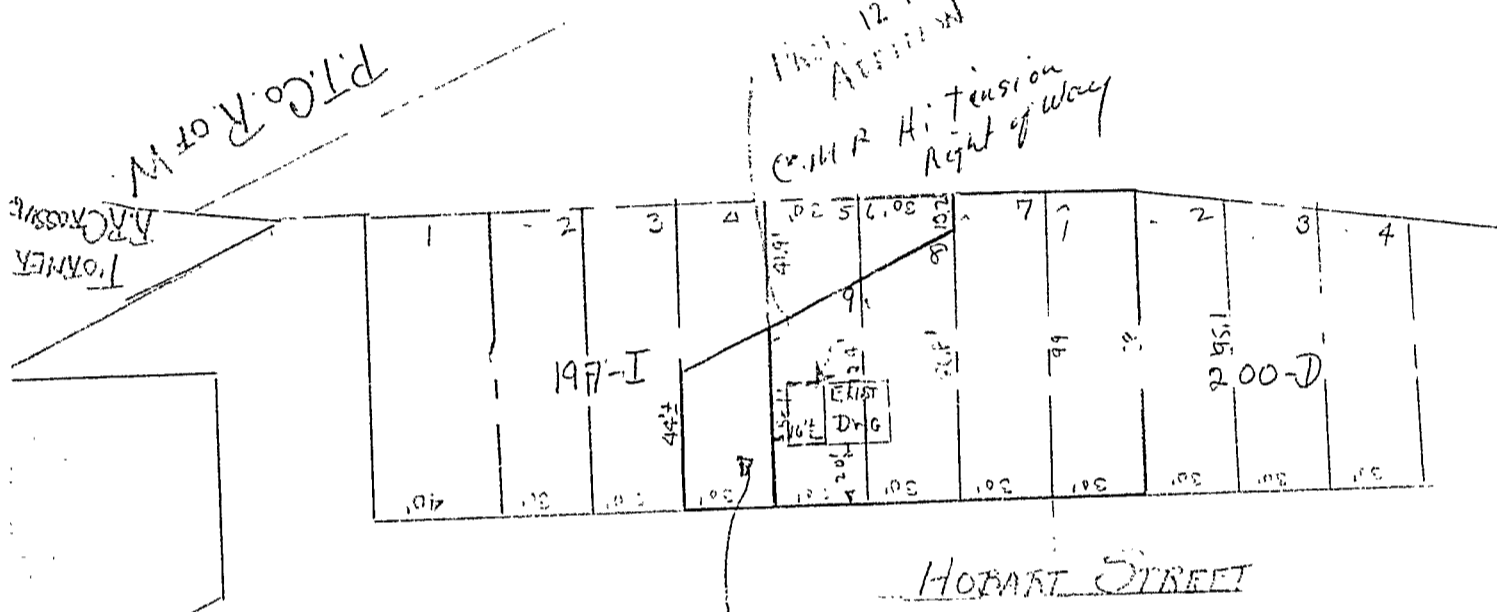
Approved *[Signature]*

NOTES

1	Will inspect	
2	Visual inspection	
3	Check of Boat	11.00
4	Barriers at all 200 ft	
5	Check of L. 100 ft	
6	Check of Control	
7	High Liquid Control	
8	Leakage Control	
9	Typing support & Protection	
10	Valves & Supply Lines	
11	Capacity of Tanks	
12	Tank Integrity & Supports	
13	Tank Inspection	
14	Oil Storage	
15	Insulation, Vent	
16	Over-Shot	

7.8.58 7.24 at home
7.25.58

[Large empty lined area for notes]



THIS LOT RECENTLY PURCHASED FROM CENTRAL ME. POWER CO.

R-5 RESIDENCE ZONE

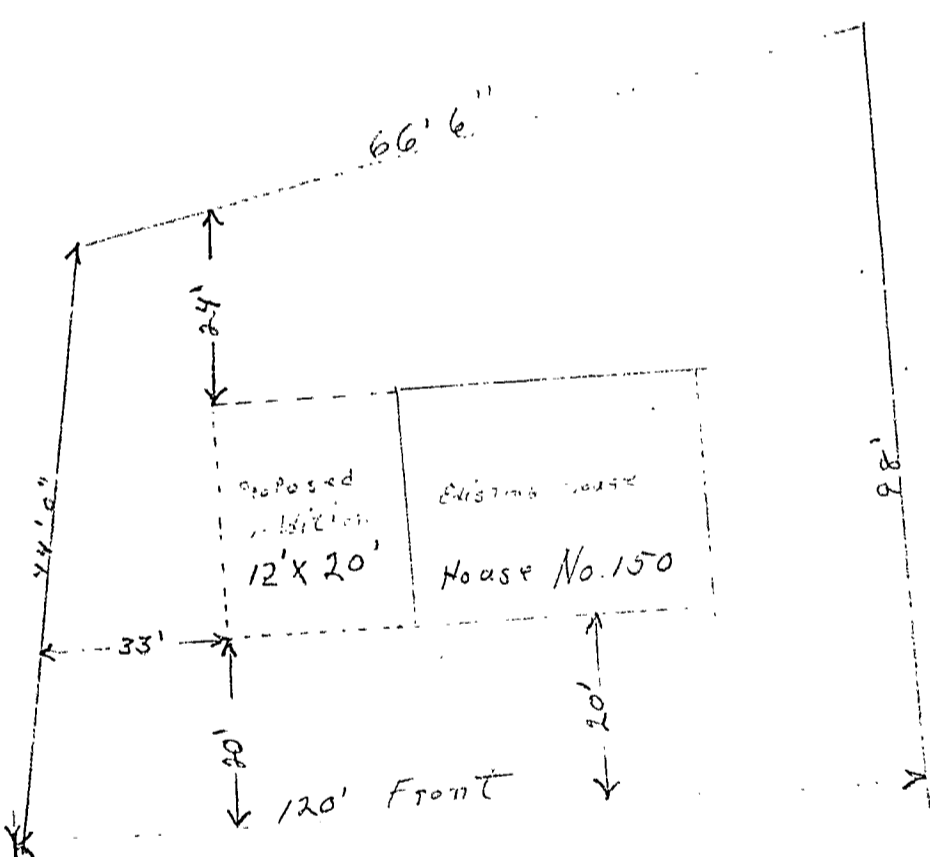
Plot Plan For

MR. + MRS. ALVIN WORCESTER

150 HOBART, ST.

Portland, Me.

RECEIVED
JUL 26 1957
DEPT OF BLD'G INSP.
CITY OF PORTLAND



Hobart Street

Memorandum from Department of Building Inspection, Portland, Maine
150 Hobart Street (197-I-4,5,6-7 and 200-D-1) Construction of 1-story addition

July 30, 1957

Building permit for construction of a one-story addition 12 feet by 20 feet on left hand side of dwelling at the above named location is issued here-with based on plan filed with application for permit, but subject to condition that girder shall be 6x8 instead of the 6x6 indicated.

(Signed) Warren McDonald ✓
Inspector of Buildings

CS-27



RS RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure... Third Class
Portland, Maine, July 26, 1957

PERMIT ISSUED

JUL 30 1957

01059
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 150 Hobart St. Within Fire Limits? Dist. No.
Owner's name and address Alvin Worcester, 150 Hobart St. Telephone
Lessee's name and address Telephone
Contractor's name and address Raymond Swasey, 67 Tucker Ave. Telephone 2-4522
Architect Specifications Plans Yes No. of sheets 1
Proposed use of building 1-family dwelling No. families
Last use " " " " No. families
Material No. stories Heat Style of roof Roofing
Other building on same lot garage
Estimated cost \$ 1800 Fee \$ 5.00

General Description of New Work

To construct 1-story addition on side of dwelling 12' x 20'

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? YES
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 10' Height average grade to highest point of roof 11' 6"
Size, front 12' depth 20' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete wall at least 4' below grade Thickness, top 10" bottom 10" cellar yes
Material of underpinning Height Thickness
Kind of roof pitch Rise per foot 4" Roof covering asphalt Class C Und. Lab.
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills 2x6 box sill
Size Girder 6x6 Columns under girders Lally Size 3 1/2" Max. on centers 6' 4"
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof space over 8 feet.
Joists and rafters: 1st floor 2x8 2nd 2x6 3rd roof 2x6
On centers: 1st floor 16" 2nd 16" 3rd roof 16"
Maximum span: 1st floor 10' 12" 2nd 12" 3rd roof
If one story building with masonry walls, thickness of walls? height:

If a Garage

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:
with memo by agj

Alvin Worcester
Raymond Swasey
Raymond Swasey

INSPECTION COPY

Signature of owner By:

NOTES

7-29-57 Owners have just added 30 ft lot. No house can be built on addition side of street as C.M.P.C. high tension right of way tapers in to ward st.

8-7-57 Forms OK as to size & location

8-15-57 - Still in drawing OK to run basement culvert under 12' way and this basement need for water in long bas to make tie to present but pipe line to prevent spreading of walls in street.

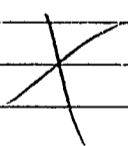
Needs to triple under wall & roof load.

8-12-57 Done

8-21-57 Framed except door thru house wall.

8-22-57 Left Green tag to close in

8-29-57 Completed



8-29 8-21 8-30

Permit No.	57/1059
Location	150 Hedden St
Owner	Alvin Worcester
Date of permit	7/30/57
Notif. closing-in	8/22/57
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	



(RC) RESIDENCE ZONE - C
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, December 6, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~any and all buildings~~ the following building ~~structures~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: 197-I-4,5,6,7

150 Location Lots 316-317 Hobart St., Pt Lots 314-315 Within Fire Limits? no Dist. No. _____
Owner's name and address John A. Glendenning, 310 Hobart Street Telephone _____
171 Pearl Street
Lessee's name and address _____ Telephone _____
Contractor's name and address John Lyden, Mitchell Road, Cape Elizabeth Telephone 3-7803
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building 1-car garage No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot dwelling house
Estimated cost \$ 500. Fee \$ 2.00

General Description of New Work

To construct 1-car frame garage 12' x 20' 5".

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Permit to be issued to John Lyden

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate 8' Height average grade to highest point of roof 14'
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation concrete piers at least 4" below grade Thickness top 9" bottom 9" cellar _____
Material of underpinning _____ " _____ to sill _____ Height _____ with footing _____ Thickness _____
Kind of roof pitch-gable Rise per foot 6 12" Roof covering Asphalt Class C Und Lab
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock _____ Dressed or full size? dressed
Corner posts 4x6 Sills 6x8 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 1 number commercial cars to be accommodated 0
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

By AJS - Tets

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

John A. Glendenning

Signature of owner by: _____

INSPECTION COPY

Permit No. 52/2275
Location Hobart St.
Owner John A. Gledening
Date of permit 12/8/52
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 1-13-53 WJM
Cert. of Occupancy issued _____

NOTES

12-8-52 Foundation ok
Location OK WJM
10-11-52 Foundation ok WJM
12-29-52 Work on alignment
completed jack stands needed
under hoodlams at windows
tie rafters ends to the rafters WJM
12/30/52. Better WJM
1-13-53 Work completed WJM

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for garage
at 310 Hobart Street Date 12/6/52

1. In whose name is the title of the property now recorded? John A. Glendenning
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

John A. Glendenning



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2
Portland, Maine, Dec. 6, 1952

PERMIT ISSUED
DEC 12 1952
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 52/1090 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 316-317 Hobart St., Pt. Lots 314-315 Within Fire Limits? No Dist. No.
Owner's name and address John A. Glendenning, 310 Hobart Street Telephone
Lessee's name and address Telephone
Contractor's name and address John Lyden, Mitchell Road, Cape Elizabeth Telephone 3-7803
Architect Plans filed Yes No. of sheets 3
Proposed use of building dwelling house No. families 1
Last use " " No. families 1
Increased cost of work Additional fee 50

Description of Proposed Work

To change contractor to above.
To change size of rear piazza to 6' 9" x 13'.
To change 7" piers to 9" Sonotubes, at least 4' below grade, with footing.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved:
OK-12/11/52-ags

Signature of Owner by: John A. Glendenning
Approved: 12/12/52 WMS
Inspector of Buildings



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, Sept. 22, 1952

PERMIT ISSUED
SEP 23 1952
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 52/1090 ... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 316-137 Hobart St. & Pts. Lots 314-115 Within Fire Limits? no Dist. No. _____
Owner's name and address John A. Glendenning, 310 Hobart Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Lester Marston, Brook Road, W. Falmouth Telephone _____
Architect _____ Plans filed no No. of sheets _____
Proposed use of building dwelling No. families 1
Last use _____ No. families 1
Increased cost of work 250. Additional fee 1.00

Description of Proposed Work

To construct 1-story open piazza on front of building 4' x 5'. $3.5 \times 9 \times 45 = 1418^k$
To construct 1-story open piazza on rear of building 7' x 19'. $4 \times 6 - 9 \times 11 = 1557$

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate 7' Height average grade to highest point of roof 8'
Size, front _____ depth _____ at least 4' below grade _____ solid or filled land? _____ earth or rock? _____
Material of foundation concrete piers Thickness, top 8" bottom 8" cellar _____
Material of underpinning " to sill _____ Height _____ with footing _____ Thickness _____
Kind of roof shed Rise per foot _____ Roof covering Asphalt Class C Und Lab
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind hemlock Dressed or full size? _____
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor 12", 2nd _____, 3rd _____, roof 12"
Maximum span: 1st floor 7' & 4', 2nd _____, 3rd _____, roof 7' & 4'

Approved: with letter by AGJ

Permit Issued with Letter John A. Glendenning

Signature of Owner by John A. Glendenning

Approved: 9/23/52 Inspector of Buildings

INSPECTION COPY



(RC) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 15, 1952

PERMIT ISSUED 01030 JUL 17 1952

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect or repair or to install the following building structure or structure in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lots 316-317 Hobart St. & Pt Lots 314-315 197-I-4, 5, 6, 7 Within Fire Limits? no Dist. No. Owner's name and address John A. Glendenning, 310 Hobart Street Telephone Lessee's name and address Contractor's name and address Lester Marston, Brook Road, W. Falmouth Telephone Architect Specifications Plans yes No. of sheets 1 Proposed use of building dwelling house No. families 1 Last use " " No. families 1 Material wood No. stories 1 1/2 Heat Style of roof Roofing Other buildings on same lot none Estimated cost \$ Fee \$ 1.00

General Description of New Work

To move 1 1/2-story frame dwelling house 20' x 22' from Lots 310-311 Hobart Street to the above lots.

Health notice sent 7/15/52 Important notice sent Permit issued with letter COURSEMENT IS WAIVED It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO John A. Glendenning, 171 Pearl Street Minnie P.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? Is connection to be made to public sewer? no If not, what is proposed for sewage? septic tank Height average grade to top of plate Height average grade to highest point of roof Size, front 22' depth 20' No. stories 1 1/2 solid or filled land? solid earth or rock? earth Material of foundation concrete at least 4' below grade Thickness top 10" bottom 12" cellar yes Material of underpinning " to sill Height Thickness Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat stove fuel Framing lumber—Kind Dressed or full size? Corner posts Sills Girt or ledger board? Size Girders Size Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor, 2nd, 3rd, roof On centers: 1st floor, 2nd, 3rd, roof Maximum span: 1st floor, 2nd, 3rd, roof If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED: with letter by [Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

John A. Glendenning

INSPECTION COPY

Signature of owner by: Minnie P. Glendenning

NOTES

7/16/52 - Walls are 2x2 full size
and under the ground. Floor
joint 2x2. Circumference all
round. Location O.K. - O.K.
2-25-52 Same as above WJm
8-6-52 - Foundation plot 119 PM
9-15-52 - Walls to be set in building
not needed. No steel under sill
WJm
11-24-52 Same as above

with a narrow diameter
and joint. Told Mr. [unclear]
in [unclear] in law to
show [unclear] to him that
to permit [unclear] [unclear]
Some [unclear] [unclear] [unclear]
Some [unclear] [unclear] [unclear] and
then to [unclear] the same
[unclear] [unclear] [unclear]
concrete WJm

11/29/52 - B. [unclear] - WJm
12-3-52 - Two [unclear] 7"
are left to be replaced. Told
Mrs. [unclear] is was
necessary to apply for
amendment to permit to
cover the change in size of
now for [unclear] to apply for
permit to build [unclear] which
already have [unclear]
just [unclear] [unclear] [unclear]
are filled WJm

12-24-52 Front plot from [unclear]
Line 2x6 on [unclear] on both
sides instead of 1-2x6 WJm

1/31/52 - [unclear] - WJm
1-13-53 - Front platform [unclear]
was [unclear] [unclear] [unclear] believe
that it is worth holding on
to this job because of this [unclear]
sill [unclear] spoke to Mr.
Seas & he said I should close
it off WJm

1-13-53 [unclear] [unclear] [unclear]
Permit No. 52/1090
Location [unclear] St.
Owner [unclear]
Date of Permit 7/17/52
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 1-13-53 - WJm
Cert. of Occupancy issued

[Blank lined area for notes]

83 Hobart St.
(Assessors' Lot Nos.
19-1-4,5,6,7)

December 30, 1952

Mr. John Lyden
Mitchell Road
Capo Elizabeth, Me.

Location - Hobart St.

Owner - John A. Glendenning

Mr. John A. Glendenning
310 Hobart St.
Portland, Me.,

Job - New Garage & Addition

Gentlemen:-

Upon inspection of the above job on December 29, 1952, our inspector reports the following omissions or defects:

1. Front platform must have 4x6 one piece on both sides of platform, instead of single 2x6.
2. Jack studs are required under headers over windows in garage.
3. Tie rafter should be placed every 4th rafter about halfway between plate and ridge.

It is important that correction of these conditions be made before January 12, 1953, and notify this office of readiness for another inspection.

If additional information relative to the above is desired, please phone Inspector William J. Keenan at 4-1431, extension 234, any week day but Saturday between 8:30 and 9 A. M.

Very truly yours,

Warren McDonald
Inspector of Buildings

Inspector

WJM/G

BP Hobart St.
(Assessors' Lot Nos.
19-I-4,5,6,7)

November 29, 1952

Mr. John A. Glendinning
310 Hobart St.
Portland, Maine

c.c. for Mr. Glendinning for
his Contractor

Dear Mr. Glendinning

It is most unfortunate that you or your contractor (Mr. Marston) departed so far from the requirements of the Building Code and so far from Mrs. Glendinning's application for amendment to your original building permit (copy of which you have) to the extent of constructing the foundation piers for the rear piazza of your house on Hobart St. (Assessors' Lot Nos. 19-I-4,5,6,7) only 7 in. in diameter instead of the 8 in. indicated on the application, and using such coarse stone or gravel in the concrete that the piers are not sound.

Inspector Mehan reports that he found this condition on November 24th and explained the trouble to your wife's mother. Subsequently a new contractor came into the office and talked with Mr. Mehan about the proposition.

It is important that you do no further work on this piazza or the front piazza, except as follows. The defective piers are to be removed temporarily shoring-up the platform. Excavation is then to be made for the piers so as to provide a concrete footing at the bottom of each pier, the bottom of the footing to be no less than 4 ft. below the surface of the ground, so that the footing will be at least 8 in. in depth and at least 12 in. square, each footing to have wooden forms all around, so that the concrete of the footing need not be poured directly into the trench.

When these footings have been formed up notify this office for inspection before any concrete is put in the forms.

Since the application for amendment indicated that you were to provide footings under the piers, it may be that you have already done that and that these footings are of good concrete, and of proper depth and size. If that is the case excavate enough to remove the present 7-in. piers and to expose the size and depth of the footings. Then notify this office of readiness for inspection.

Very truly yours,

Inspector of Buildings

WMCB/G

P. S. Please advise also without delay who your new contractor is and give him a copy of this letter so that he will know the full story. If you intend to use "Sonotube" forms in the new piers, it will be necessary to get at least 9-in. in diameter forms.

AP Lots 316-317 Hobart Street
& Pt Lots 314-315

September 23, 1952

Mr. John A. Glendenning
310 Hobart Street
Portland, Maine

Copy to: Mr. Lester Marston
Brook Road
West Falmouth, Maine

Dear Mr. Glendenning:

Amendment #1 to Permit 52/1090 covering construction of open piazzas on the front and rear of your dwelling on Lots 314-315 Hobart Street is issued herewith subject to the following conditions:

1. The 4x6 sills of both platforms are to be all one piece in cross section, not made up of two pieces of 2x6, and are to be set with the 6-inch dimension upright.
2. A pier will be needed at the center of the span on the long side of the rear piazza, besides those at the corners. A post supporting the roof will be needed directly over this center pier and the plate supporting the roof and resting on top of the three posts will need to be no less than 4x6 set on edge.
3. The 2x6 floor timbers in the case of both platforms are either to rest on top of the 4x6 sills or to be notched over no less than 2x3 nailing strips spiked to the sides of the sills.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B

AP Lots 316-317 Hobart Street
& Pt Lots 314-315

July 17, 1952

Mr. John A. Glendenning
310 Hobart Street
Portland, Maine

Dear Mr. Glendenning:

Building permit for moving existing dwelling house 20' x 22' from Lots 310-311 Hobart Street to Lots 314-315 (Assessor's Lot Nos. 197-I-5 & 6) on that street is issued herewith subject to the conditions listed below, since not enough information has been furnished with the application for permit for us to determine if full compliance with all requirements of the Building Code is to be provided. If you are unable or unwilling to provide the construction indicated or if you do not understand what is meant, no work is to be started and the permit is to be returned to this office for adjustment. Conditions under which the permit is issued are as follows:

1. This permit is to cover only the work of moving the building to the new location and providing a concrete foundation wall for its support. It does not include the construction of any platforms, porches, or additions of any kind, no matter how small. If anything of this nature is desired, an application for an amendment to this permit, together with full framing and foundation details, is to be filed and issued before any such work is started.
2. No information has been furnished as to the nature of the supports of the center girder. Therefore the permit is issued on the basis that two pipe columns having an outside diameter of not less than four inches, with adequate concrete footings and with the columns adequately fastened at top and bottom, are to be provided. If other construction than this is desired, approval is to be secured from this department before permanent supports for the girder are provided.
3. The existing chimney is to be extended down to a new concrete foundation. Tile flue lining is to be provided for this extension and a cast iron cleanout door is to be provided at the bottom of the chimney flue.
4. As indicated in the application form, the new foundation wall is to be at least 10" thick at the top and 12" thick at the bottom.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B

s-317 Hobart St.

July 15, 1952

Mr. John A. Glendennings,
310 Hobart Street
Portland, Maine

Mr. Lester Karston,
Brook Road,
West Falmouth, Maine

Gentlemen:

Application today by Mrs. Glendennings to have a dwelling onto the lots on Hobart Street indicates that no connection is possible to a public sewer, and that sewage disposal is proposed by septic tank.

Recent amendment of the Building Code directs, where connection to a public sewer is not possible, that the proposed method of sewage disposal must be approved by the Health Officer before any building permit is issued.

That the Health Department may be aware of the proposed method of sewage disposal, you should explain, by plan or otherwise, the details and location of the septic tank system, including nature of the soil where overflow lines will be located, to Sanitary Engineer Norman Birch.

Very truly yours,

Inspector of Buildings

WHD/H

CC: Health Officer

*Recd
2/16/52*

SEPTIC TANKS
Request for approval of:

CITY OF PORTLAND, MAINE
Department of Building Inspection

July 15, 1952

Location - Lots 316-317 Hobart Street
Owner - John A. Glendenning
Contractor - Lester Marston
Type Bldg. - Move dwelling

To the Health Officer:

Application for building permit identified as above has been filed in this office; indicating that a septic tank installation is proposed, as a means of sewage disposal. Applicant represents that connection to a public sewer is not feasible. Copy to owner and contractor is attached.

Your approval as to the method of sewage disposal is requested before a building permit is issued, therefore will you complete and return the appended report as expeditiously as possible.

Waverly
Inspector of Buildings

Attachment:
Copy of this notice
Copy of letter to owner

Proposed sewage disposal method is ~~is not~~ approved.

Remarks: Percolation test made 13 June was o.k. JMW.

Edmund Tobey
Health Officer

Date 7/16/52

WARNING !!!

THIS BUILDING PERMIT IS ISSUED
SUBJECT TO SEPCIAL CONDITION:

THAT NO CONCRETE SHALL BE POURED IN FOUNDATION FORMS AND NO
LAYING OF UNIT MASONRY IN FOUNDATION WALLS SHALL BE STARTED UNTIL
NOTICE HAS BEEN GIVEN AT THE DEPARTMENT OF BUILDING INSPECTION OF
READINESS TO START ACTUAL MASONRY WORK, AND UNTIL RE-CHECK OF
LOCATION HAS BEEN MADE BY INSPECTOR.

* * *

Original markings of corners of lot and especially stakes on
street line set by Dept. of Public Works must be kept intact and
easily accessible for re-check-- not covered by excavated earth
or building materials. Otherwise the "go-ahead" cannot be given.
Dept. of Public Works cannot re-set their stakes.

Obviously the notice for re-check must be given at such a time
as to allow reasonable opportunity to make re-check.

Warren McDonald
Inspector of Buildings

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for two piazzas
at Hobart Street Date 9/22/52

1. In whose name is the title of the property now recorded? John A. Glendinning
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

John A. Glendinning

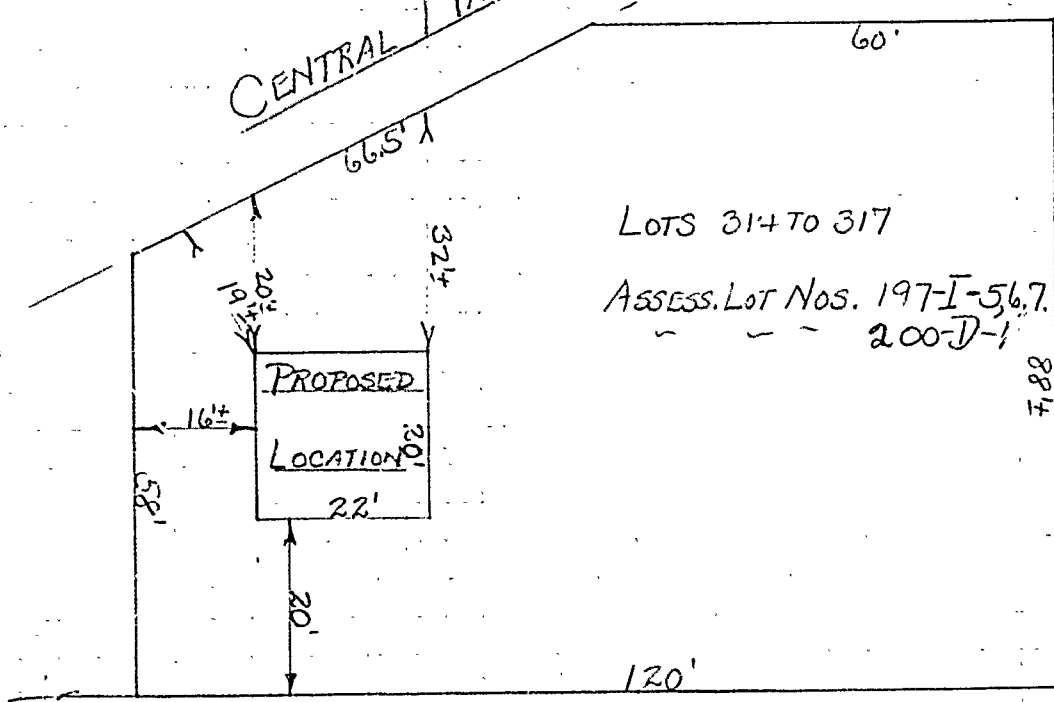
STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for newly dwelling Date 7/15/62
at Hobart Street

1. In whose name is the title of the property now recorded? John A. Glendinning
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Thomas P. Glendinning

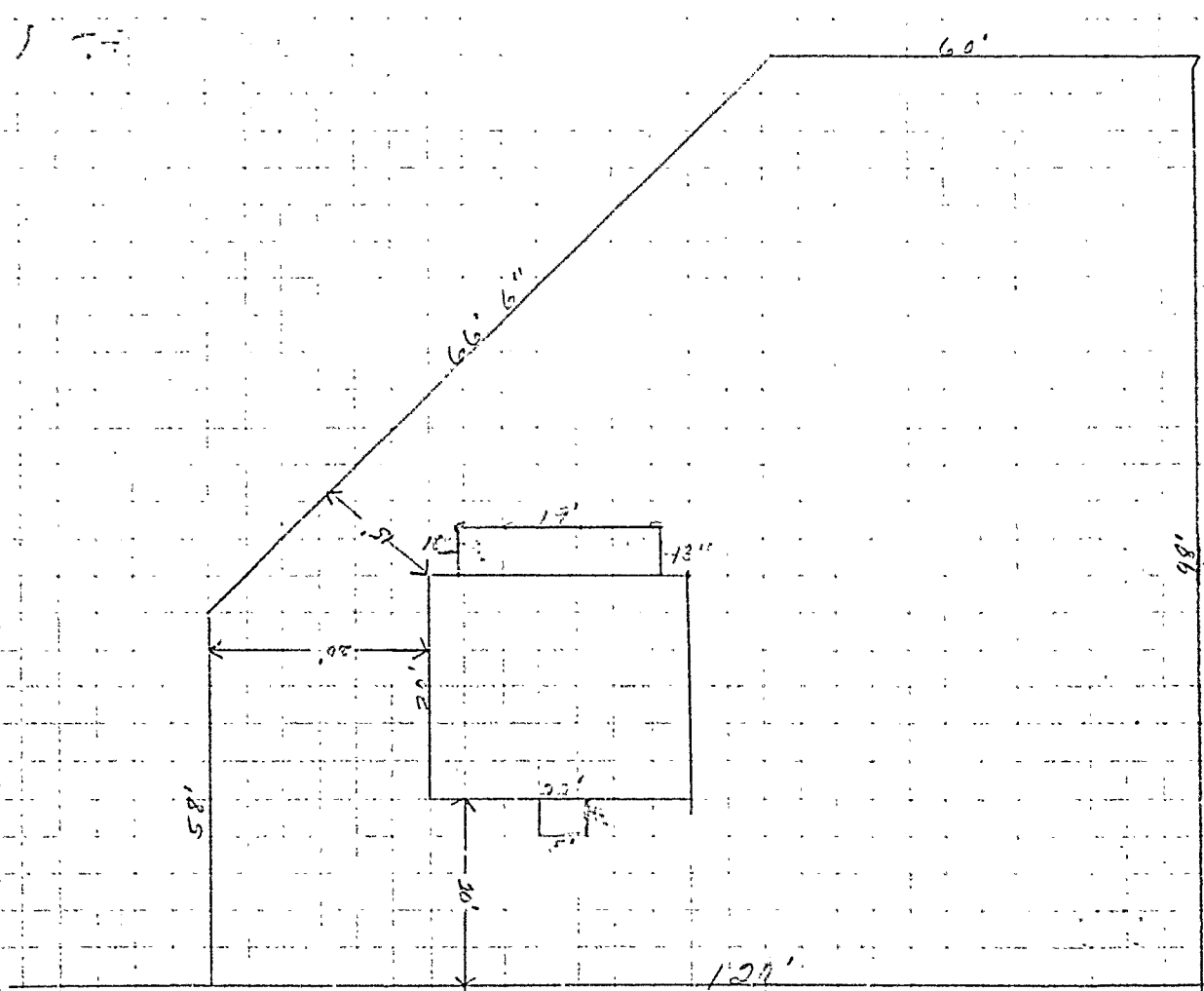
CENTRAL MAINE POWER CO. RIGHT OF WAY



LOTS 314 TO 317
ASSESS. LOT NOS. 197-I-567
- - - 200-D-1

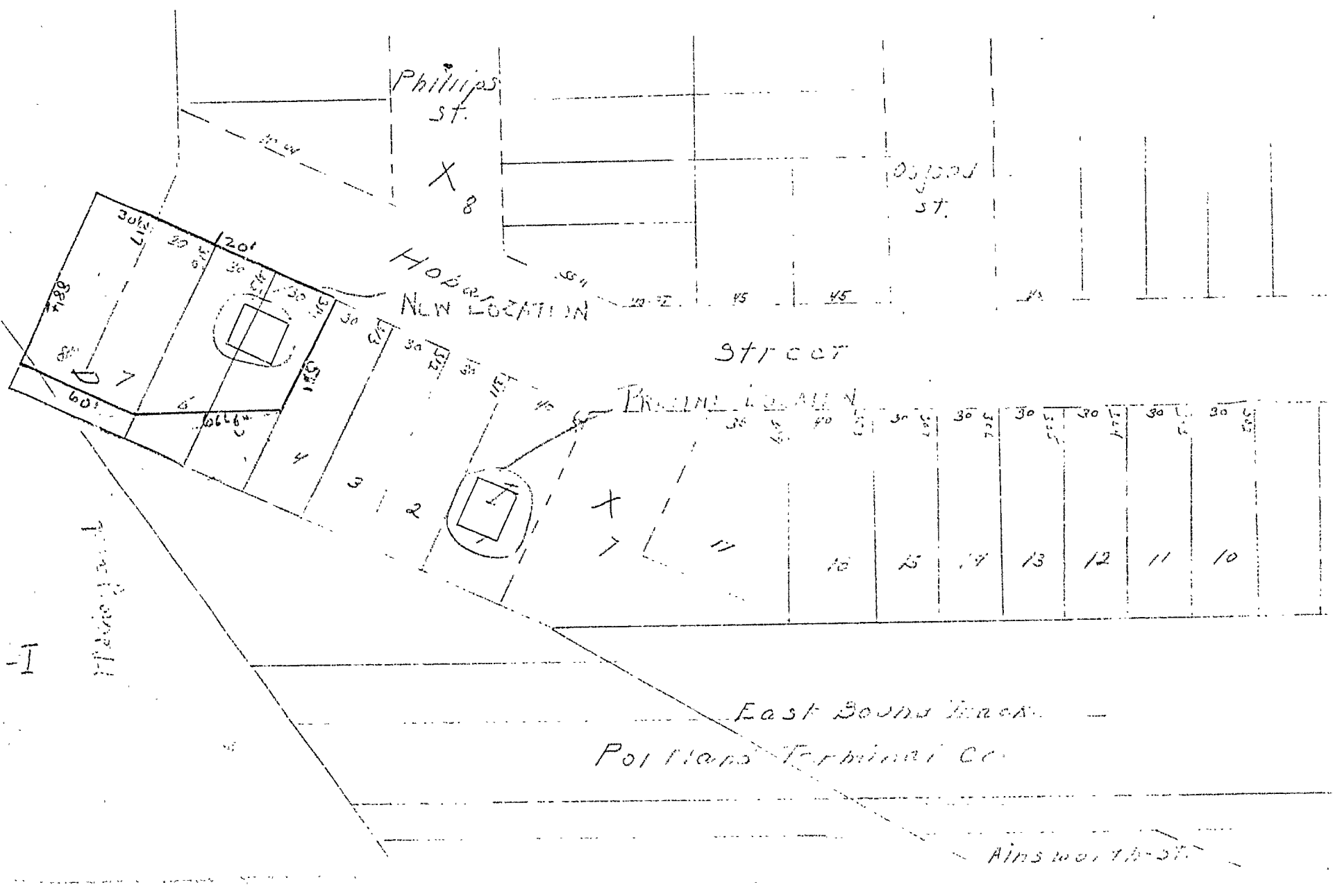
HOBART STREET

$6 \times 7 \times 10 = 4200'$
 $10 \times 7 \times 50 = 3500'$
 $2 \times 7 \times 10 = 140'$
 $10 \times 7 \times 20 = 1400'$
 $5460' - O.K.$



Pl. Lots 314-15
 Lots 316-17 - 197-I-4567
 Jubark St.

Building is now over Lots 310-311 - 197-I-1
 200-D-1





W.C.M. (RC) RESIDENCE ZONE - C
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Sept. 19, 1951

PERMIT ISSUED
SEP 25 1951
CITY OF PORTLAND

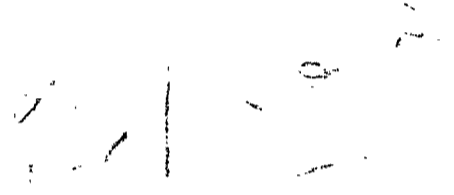
To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ^{move} ~~the following building structure~~ ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location Hobart Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Gliddie A. Chandler, 268a Middle Street Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Charles Dennison, 182 Oxford Street Telephone 5-1906
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building dwelling house No. families 1
 Last use _____ No. families _____
 Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To move 1 1/2-story frame dwelling house 20' x 22' from Westland Avenue to E Hobart Street.



It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Charles Dennison

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories 1 1/2 solid or filled land? _____ earth or rock? _____
 Material of foundation cedar posts at least 4' below grade Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys 1 Material of chimneys brick of lining _____ Kind of heat stove fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills 6x6 Girt or ledger board? _____ Size _____
 Girders yes Size 6x6 Columns under girders cedar posts Size _____ Max. on centers 6' 6"
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x6 2nd _____ 3rd _____ roof _____
 On centers: 1st floor 16" 2nd _____ 3rd _____ roof _____
 Maximum span: 1st floor 10' 2nd _____ 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Gliddie A. Chandler

Signature of owner by: Charles L. Dennison

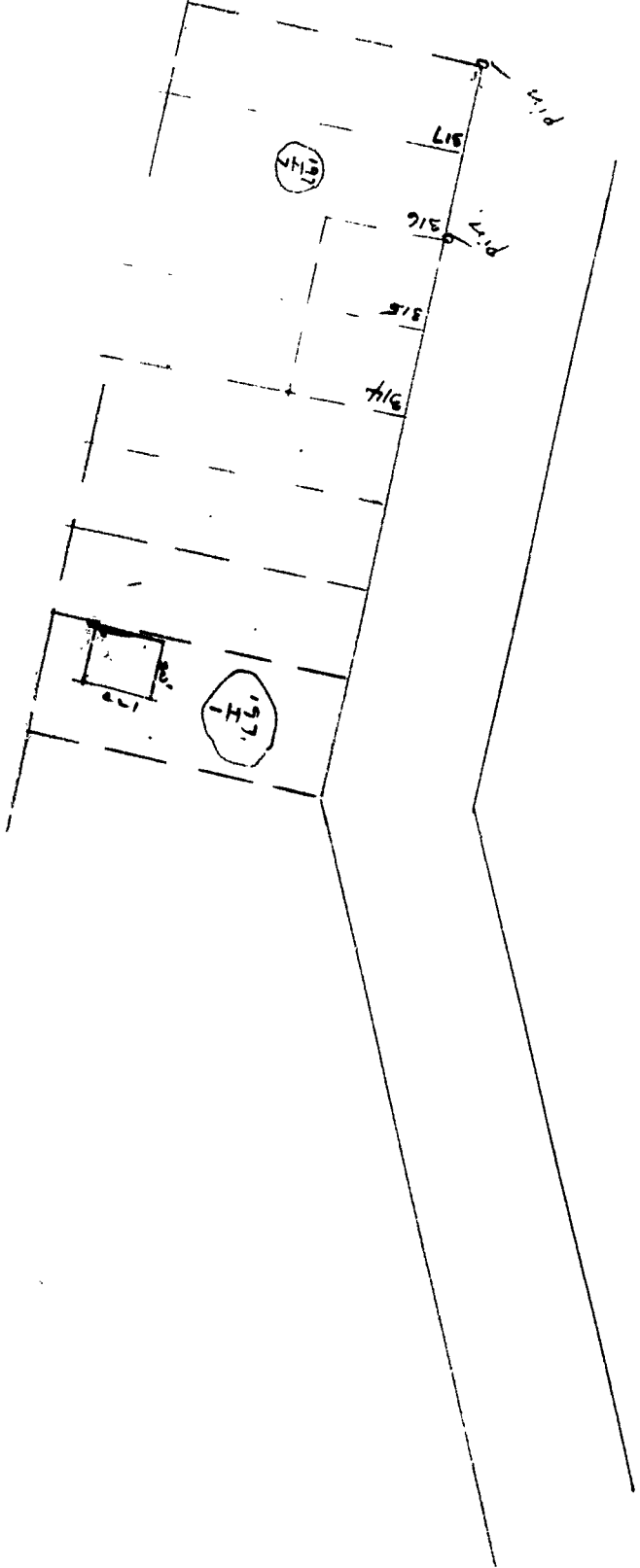
NOTES

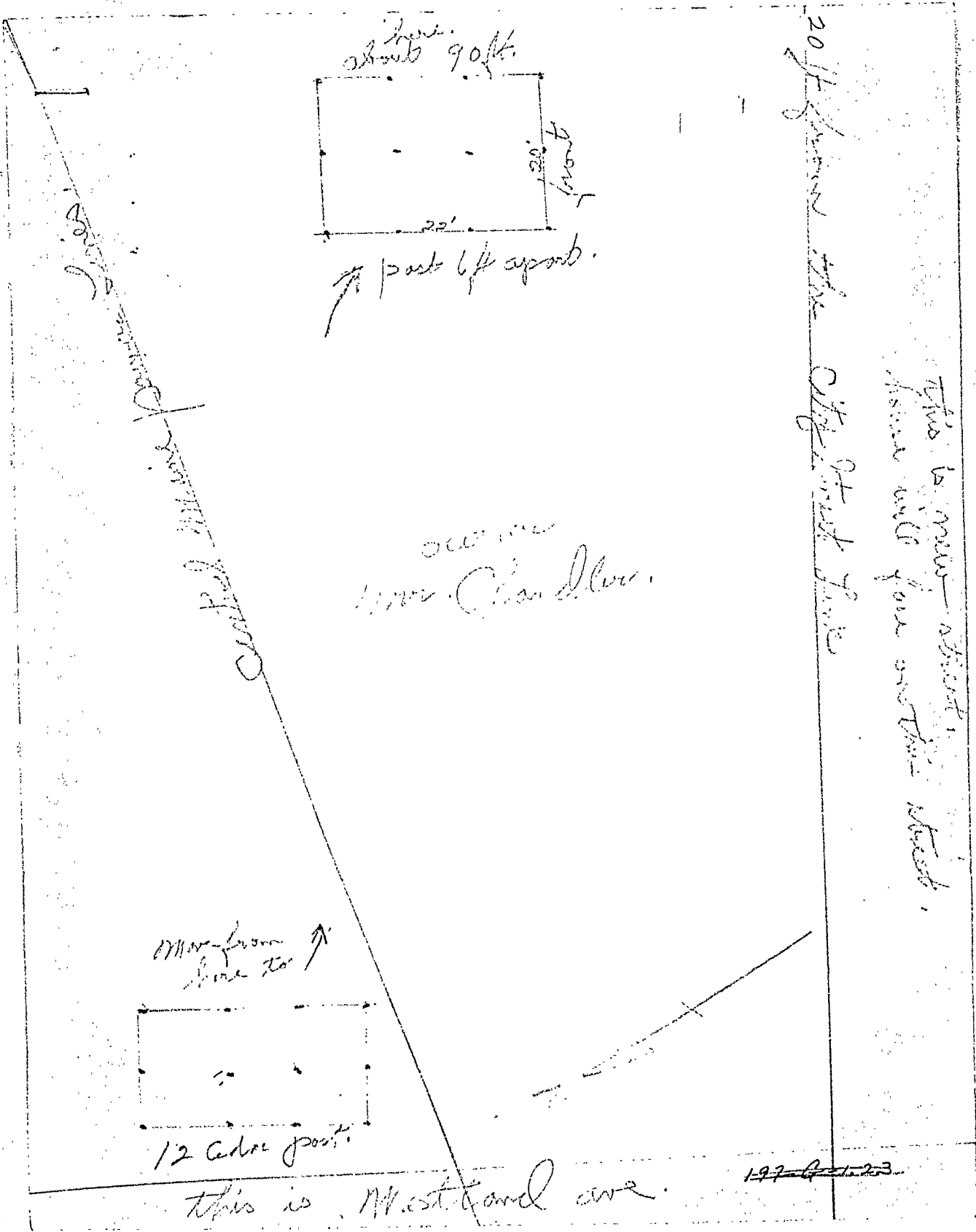
1-8-52 No work done here

Lafayette

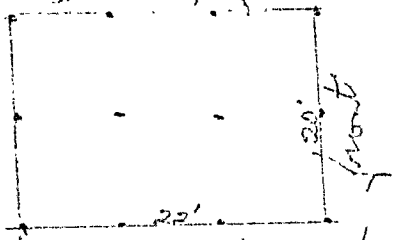
Permit No.	511530
Location	St. Paul
Owner	Edwin A. Chandler
Date of permit	9/27/51
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	

Blank lined area for notes or details.





posts
about 90 ft.



posts 6 ft apart.

Central Mill Pond

see me
Mrs. Chandler.

20 ft. from the City Street line

this is near about
posts will be on the street.

More from
line to ↑



12 edge posts.

this is Westford Ave.

197-2-23

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for moving dwelling house
at Hobart Street Date 9/19/51

1. Whose name is the title of the property now recorded? ?
2. A boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Charles L. Dennison

AP Lots 316 & 317 and parts
of Lots 314 & 315 Hobart Street-I

September 25, 1951

Mr. Charles Dennison
182 Oxford Street
Mrs. Gliddie A. Chandler
268A Middle Street

Copies to: Central Maine Power Company
Attn: Mr. Everett Carr
443 Congress Street
Health Director

Dear Mrs. Chandler & Mr. Dennison:

Because of the need of Mr. & Mrs. Chandler to get this project under way immediately, building permit for providing foundations and moving the dwelling on Lot 310 Hobart Street to Lots 316 & 317 and part of Lots 314 & 315 Hobart Street, is issued to Mr. Dennison, as contractor, without having checked the location of the building where it is proposed and without sufficient information to give assurance of compliance with the Building Code. This is on the basis, that if this letter is not understood or if you are unable or unwilling to abide by the conditions in it, you will refrain from starting the work in any manner whatever and contact this office immediately to see what adjustment can be made. We have had difficulty finding out just which lots the building is to be moved to, but Mr. Carr of Central Maine says that they are prepared to sell to the Chandlers Lots 316 & 317 (each 30' x 100') and a portion of Lot 314 and 315, each portion having 30-foot frontage on Hobart Street but only 40 or 50' depth of the original 100-foot deep lot. If this is not correct, then Mr. Dennison should not start the work at all because his location plan does not show the outline of the proposed lots.

1. It is assumed that the 20-foot width of the house is to face Hobart Street and that the house is to be located entirely on Lots 316 and 317. The location sketch shows that the front of the building is to be set 20' back from the street line of Hobart Street. Hobart Street is not accepted by the City, but our inspector has found two iron pipes which are probably on that street line and probably indicate the lower corner of Lot 317 and the upper corner of Lot 316. There is an existing dwelling house below Lot 317, but it is believed there is at least one vacant 30-foot lot between the lot on which this existing dwelling house is and Lot 317. The note on Mr. Dennison's plan on the right-hand side as one would face the building in the new location, reads: "here about 90'" is not understood. Perhaps it means the depth of the lot at that point. At any rate neither of the side walls of the building are permitted to be closer than 5' to the side lot line.

2. The first work to be done is to be the setting of the cedar post foundation (they are to be genuine cedar posts and set according to the spacing described below, also extending no less than 4' below the present surface of the ground). The level at which the sills of the building are to set on the posts is then to be determined, and this office notified for checking location before any more work has been done. Unless the level of the sills is to be marked on the cedar posts, this office should be notified at what level the sills will set when the notice is given to check location. The bottom of the sills is in no case permitted to be closer than 6" to the ground. Later you will have to work out how you are going to close off this space between the bottom of the sill and the ground to keep out the weather, animals, etc. with such type of construction that the frost will not heave the building.

3. When this location and other details have been found in order, after the check, the go-ahead will be given, and no further work is to be done until that is received.

4. It is best that you contact the Health Department before proceeding over as far as above, explaining how you intend to take care of sewage. Mrs. Chandler says

Mr. Charles Dennison
Mrs. Gliddie A. Chandler

2

September 25, 1951

that you plan a septic tank, but it should be established that the location of the septic tank and the overflow drainage of it will be satisfactory in any way before the money has been spent.

5. Mr. Dennison's application indicates 6x6 sills and 6x6 center girder beneath the building. His sketch shows cedar posts under each corner, a single post under each end sill which would be under the end of the center girder also, and two cedar posts equally spaced under each sidewall and under center girder. The two side walls and the center girder represent the places where the bulk of the weight of the building will have to be supported.

If the sills and center girder are actually 6x6, then the cedar posts are not spaced close enough together, and Mr. Dennison should contact this office about the spacing of the posts before any of them are set. We have the original plan of the building when built and the record indicates that the framing of sills and center girder was done as shown on the plan. The plan shows 6x8 sills and 6x8 center girder, set with the 8" dimension upright. If the sills and center girder are actually 6x6, set with the 6" dimension upright, then the spacing of posts shown on Mr. Dennison's sketch, as outlined above, will prove satisfactory. Of course if there are splices in sills or center girder, a post must be placed under each splice regardless of the size of the sill or the number of posts required to do the job.

6. The chimney requires a masonry foundation to extend no less than 4' below the surface of the ground beneath the building which is not mentioned on the application but must of course be provided.

7. The Chandlers should bear in mind that it will not be allowable to excavate beneath the building in its new location to any grade lower than that of the ground outside of the building, for the storage of fuel or for any other similar purpose, unless a new permit is first secured from this department and the excavated space suitably walled around, extending at least 4' below the surface of the ground in a manner required by the Building Code.

8. It is likely that some type of porch will be desired at both front and rear doors. These porches are excluded from this permit, but must be covered by application for amendment to the permit now issued, furnishing a plan showing the framing and foundations of each porch. In planning these porches it is to be borne in mind that foundations must be at least cedar posts extending no less than 4' below the surface of the ground or to ledge rock if solid ledge is encountered at a less depth, that the sills outlining the porches on three sides not against the building, must be no less than 6x6 solid lumber, set with the 6" dimension upright and that the floor joists of the porches must be supported upon the sills either by resting on the top edge of the sills or notched over 2x3 nailing strips spiked to the inside face of the sills.

If a piazza or platform should be planned more than 5' deep at the front of the building, it is best that you take the matter up immediately before finally locating the building, as there may be a question as to how close such a porch or piazza may be to Hobart Street under the zoning Ordinance.

It is realized that this letter, with so much detail in it, is likely to prove quite staggering to the owners in their unfamiliarity with details of construction. We have taken considerable care and have gone into the details quite extensively, however, to be of assistance to them with the hope that the job may be finished up without running counter to the requirements and finding that additional money must be spent to satisfy the requirements of law. Now and then in other cases people trying to get themselves a home have not understood and have run into difficulties on that account which involved too much extra cost which could have been avoided had care been taken

Mr. Charles Dennison
Mrs. Gliddie A. Chandler-----3

September 25, 1951

from the outset.

Very truly yours,

Warren McDonald
Inspector of Buildings

WRM/G

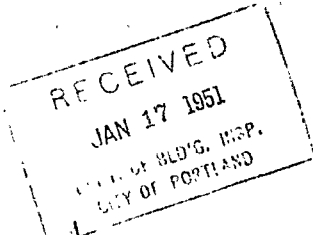
P. S. In looking over the ground in advance in an effort to reconcile Mr. Dennison's location plan with the true proposal, an inspector from this office found the two pipes mentioned above, but did not find the stakes marking the location of the building. If they are actually in place on the lot now, or if Mr. Dennison prefers to put the stakes in now where the house will be located and will notify this office, we will try to check the location before the holes are even dug for the foundation posts.

Portland ME
Wed Jan 17 1952

IN REGARD TO

PERMIT, NO. 51/1830

(THE CHANDLERS)



Mr Warren McDonald

inspector of building

We want to thank you for the help you gave us last fall.

We can see that you went to quite a lot of trouble to figure out what was to be done moving that building from Westland Avenue to Hobart St.

We was going to carry out all your plans which indeed was good advice,

But when it came to the question of getting in the water pipes the man who bought the William Snallow place (319) Hobart St, told us "Don't

7/21/30. Mr. Sawyer
was in + said he would
notify when he had
location staked out
AJS

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for _____ Date _____
at Hubert, St. Portland Carle L. Sawyer

1. In whose name is the title of the property now recorded? Carle L. Sawyer
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes, by stakes
3. Is the outline of the proposed work now staked out upon the ground? Yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? 1 foot
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Carle L. Sawyer

TYPICAL LOCATION PLAN

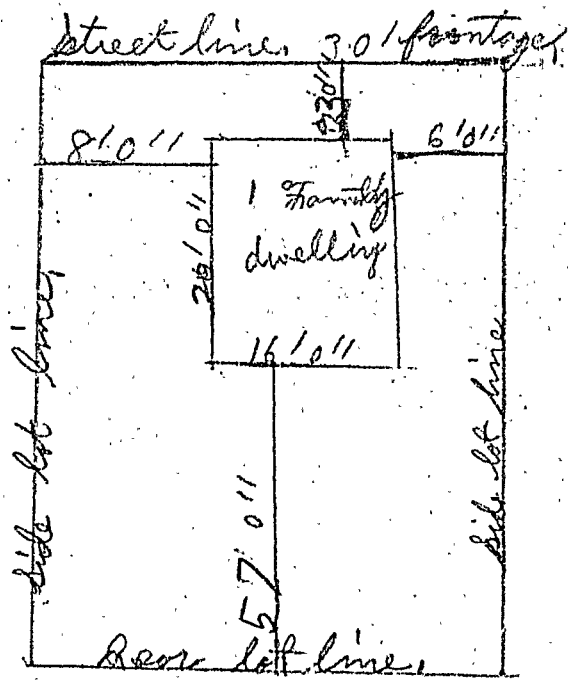


DIAGRAM of YARDS

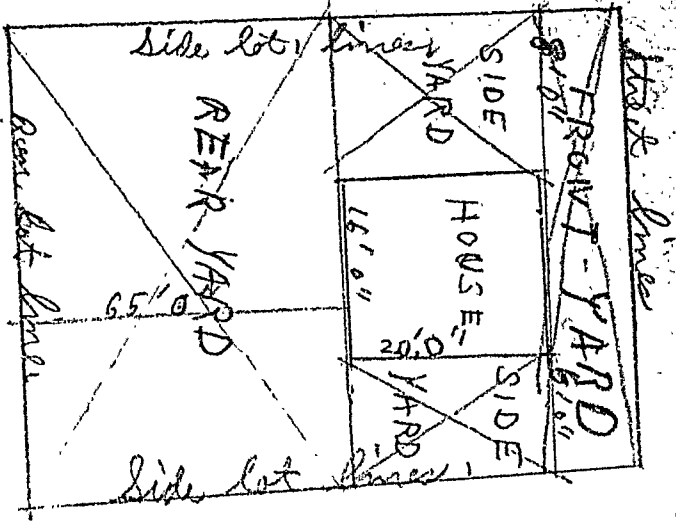


DIAGRAM OF YARDS

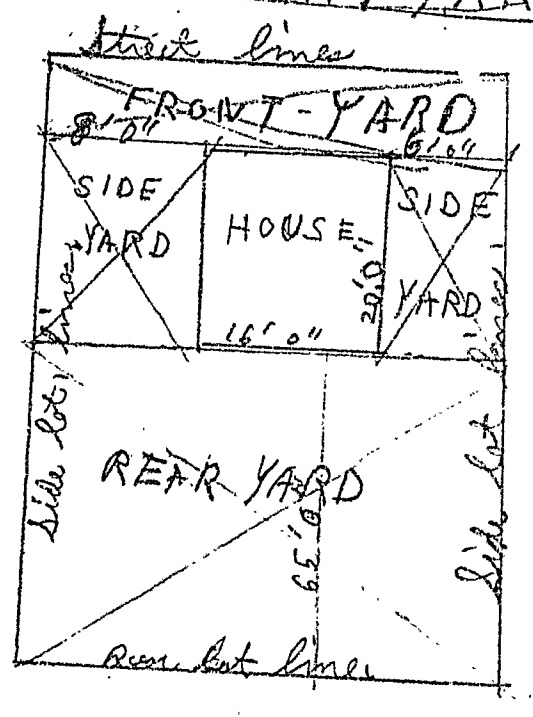
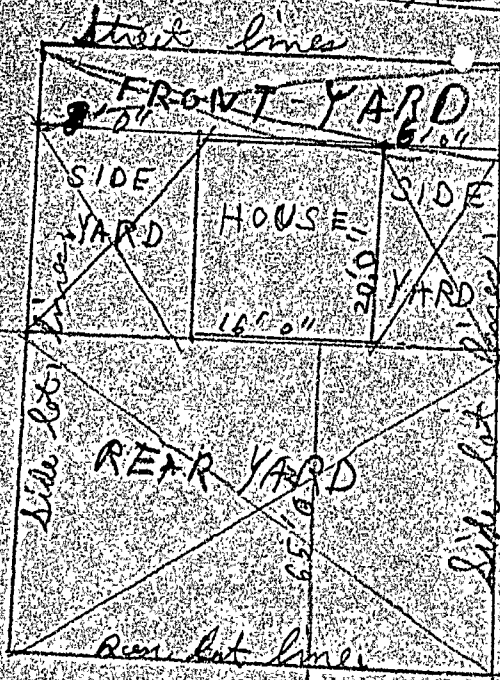


DIAGRAM OF YARDS





APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, July 9, 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lot 315 Hobart Street (150) Ward 8 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Mr. Earle L. Sawyer, Hobart St. Telephone no
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____ Telephone _____
 Proposed use of building dwelling house No. families 1
 Other buildings on same lot none
 Plans filed as part of this application? yes No. of sheets 2
 Estimated cost \$250. Fee \$.75

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect one family frame dwelling house

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 16' depth 20' No. stories 1 Height average grade to top of plate _____
 To be erected on solid or filled land? solid earth or rock? earth Height average grade to highest point of roof 14'15"
 Material of foundation cedar posts Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof pitch Rise per foot 10 1/2" Roof covering Asphalt roofing Class C Unt. Lab.
 No. of chimneys one Material of chimneys brick of lining tile
 Kind of heat stove Type of fuel _____ Is gas fitting involved? _____
 Corner posts 4x6 Sills 6x6 Girt or ledger board? none Size _____
 Material columns under girders cedar posts Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 24x6, 2nd 2x6, 3rd _____, roof 2x6
 On centers: 1st floor 18", 2nd 18"20", 3rd _____, roof 20"
 Maximum span: 1st floor 18', 2nd 16' 8", 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Earle L. Sawyer

3408A



Permit No. _____

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 2, 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location lot 315 Hobart Street (150) Ward 8 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Mr. Earle L. Sawyer, Hobart St. Telephone no
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____ Telephone _____
 Proposed use of building dwelling house No. families 1
 Other buildings on same lot none
 Plans filed as part of this application? yes No. of sheets 2
 Estimated cost \$ 250. Fee \$.75

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect one family frame dwelling house

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 16' depth 20' No. stories 1 Height average grade to top of plate _____
 To be erected on solid or filled land? solid earth or rock? earth Height average grade to highest point of roof 14'15"
 Material of foundation cedar posts Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof pitch Rise per foot 10 1/2" Roof covering Asphalt roofing Class C Uni. Lab.
 No. of chimneys one Material of chimneys brick of lining tile
 Kind of heat stove Type of fuel _____ Is gas fitting involved? _____
 Corner posts 4x6 Sills 4x6 Girt or ledger board? none Size _____
 Material columns under girders cedar posts Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner post, all one piece in cross section.
 Joists and rafters: 1st floor 24x6 2nd 2x6 3rd _____ roof 2x6
 On centers: 1st floor 18" 2nd 18"20" 3rd _____ roof 20"
 Maximum span: 1st floor 10' 2nd 16' 8" 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

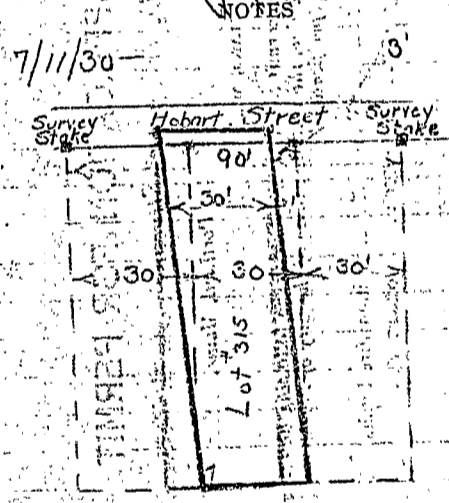
Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Earle L. Sawyer

Permit No. 30/
 Location Lot 315 Hobart St.
 Owner Earle L. Sawyer
 Date of permit 7/ /30
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. *Refund 1/31*
 Cert. of Occupancy issued

11/7/31 - Saw Mr. Sawyer
 who said that he had
 given up plan of
 building. He said that
 he had already left
 receipt for fee at this
 office, so I told him
 we would make
 arrangements to have
 fee refunded to him.
 E. J.



Lot as staked by
 Survey of
 House as staked only
 13' from street. Lot lines
 as staked are not right.



Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

YOU!
are responsible for complying with the law whether you know the requirements or not.

APPLICATION FOR PERMIT TO BUILD
(3D CLASS BUILDING)

READ!
This Application and Get All Questions Settled BEFORE Commencing Work.

Portland, Me., May 13, 1925 19

INSPECTOR OF BUILDINGS

EXPERT: The undersigned hereby applies for a permit to build, according to the following Specifications:—

Location (150) lot 315 Hobart Street Ward 9 Fire Limits? no
 Name of owner is? George F Hamilton Address 88 Allen Ave
 Name of mechanic is? John Forg Address 14 Bell Street
 Name of architect is? _____ Address _____
 Proposed occupancy of building (purpose)? dwelling
 If a dwelling or tenement house, for how many families? 1
 Are there to be stores in the lower story? _____
 Size of lot, No. of feet front? _____; No. of feet rear? _____; No. of feet deep? _____
 Size of building, No. of feet front? 20ft; No. of feet rear? 20ft; No. of feet deep? 24ft
 No. of stories, front? 1 1/2; rear? _____
 No. of feet in height from the mean grade of street to the highest part of the roof? 20ft
 Distance from lot lines, front? _____ feet; side? _____ feet; side? _____ feet; rear? _____
 Firestop to be used? yes
 Will the building be erected on solid or filled land? _____
 Will the foundation be laid on earth, rock or piles? _____
 If on piles, No. of rows? _____ distance on centers? _____ length of? _____
 Diameter, top of? _____ diameter, bottom of? _____
 Size of posts, 4 x 6 Studding 2 x 4 16 O. C. Sills 4 x 8 Roof Rafters 2 x 6 24 O. C. Girders 6 x 8
 Size of girts 4 x 4
 Size of floor timbers? 1st floor 2x8, 2d 2x8, 3d _____, 4th _____
 O. C. " " " 16, 2d 16, 3d _____, 4th _____
 Span " " " not over 16, 2d not over 16, 3d _____, 4th _____
 Will the building be properly braced? yes. Bridging in every floor span over 8ft
 Building, how framed? Sills and posts will be all one piece in cross section
 Material of foundation? _____ thickness of? _____ laid with mortar? _____
 Underpinning, material of? posts height of? _____ thickness of? _____
 Will the roof be flat, pitch, mansard or hip? pitch Material of roofing? asphalt
 Will the building be heated by steam, furnaces, stoves or grates? stove Will the flues be lined? yes
 Will the building conform to the requirements of the law? yes
 Means of egress? _____

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK

If the building is to be occupied as a Tenement House, give the following particulars

What is the height of cellar or basement? _____
 What will be the clear height of first story? _____ second? _____ third? _____
 State what means of egress is to be provided _____
 _____ Scuttle and stepladder to roof? _____

Estimated Cost, \$ 2500.
 Signature of owner or authorized representative, George F Hamilton
 Address, 88 Allen Ave
 Plans submitted? _____ Received by? _____

1663

✓
lot 315 Hobart

May 13, 1925