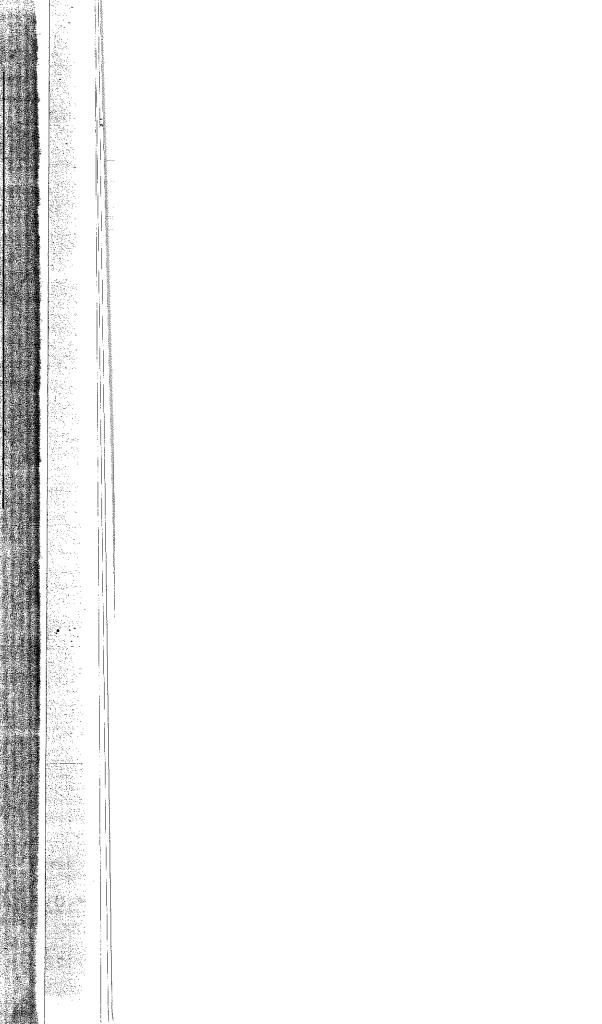
# CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

	PLANNING DEPA	RIMENT PROCESSING FORM		
Y Michaud	Market Company of Company		12/23/98	
A, ant	10 - Ze - Z		Application Date	
141 Frost Street, Portland, MI	E 04103	Berg Berg State Annahum 1997	Pre fab. single family home	
Applicant's Malling Address			Project Name/Description	
to a strong design of the second		Hobart St, Portland Maine	04103	
Consultant/Agent 774-4815 Applicant or Agent Daytime Telephone, Fax		Address of Proposed Site	Address of Proposed Site.  200-C-005  Assessor's Reference: Chart-Block-Lot	
Proposed Development (check a	all that apply);			
1,200	wanulacturing — yvarenouse/District		ther (specify) pre-built	
Proposed Building square Feet		pe of Site	Zoning	
Check Review Required:		AND THE STATE OF T		
Site Plan	☐ Subdivision	PAD Review	☐ 14-403 Streets Review	
(major/minor)	₽ of lots			
☐ Flood Hazard	☐ Shoreland S	Historic Preservation	DEP Local Certification	
☐ Zoning Conditional	☐ Zoning Variance		□ Other	
Use (ZBA/PB)		<b>电子图象 电电路电路电路电路 "</b> "	Li Other	
		the state of the s		
Fees Paid: Site Plan	\$300.00 Subdivision	Engineer Review	Date: 12/23/99	
DRC Approval Stati	The same of the sa	Reviewer Gordon	Smoth	
☐ Approved	☐ Approved w/Conditions	A CONTRACT NAME OF THE PARTY OF		
	see attached	Denied A Denied		
Approval Date				
	Approval Expiration	Extension to	Additional Sheets	
Condition Compliance	in de la companya de <u>d</u>		Attached	
	signaturė (1994)	date Cate		
na lamanga dadakti a nakajadak linu mula dagada				
Performance Guarantee	☐ Required*	□ Not Required		
<ul> <li>No building permit may be issu</li> </ul>	ied until a performance guarantee has bee	n submitted as indicated below:		
☐ Performance Guarantee Acc	epted \$ \$48.5 i 42			
	date	amount	expiration date	
Inspection Fee Paid	10 10 10 10 10 10 10 10 10 10 10 10 10 1			
	date	amount		
☐ Building Permit				
	date			
☐ Performance Guarantee Re	19 19 12 12 12 12 12 12 12 12 12 12 12 12 12			
	date			
		remaining balance	signature	
Temporary Certificate Of Oc		Conditions (See Attached	)	
	date			
I Final Inspection	usiya ya da <u>roma affilika da bara</u>			
T Certificate Of Consumer	date	signature		
Certificate Of Occupancy		<u> </u>		
aformance Guarantee Rel	eased date			
	date	signature		
Defect Guarantee Submitted		A STATE OF THE STA		
	والمنام المطالسطان	amount amount	meteration data	



1350.10 155 Hobert

From: Marge Schmuckal <MES@ci.portland.me.us>

To: AQJ@ci.portland.me.us <AQJ@ci.portland.me.us>;

CHARLIE@ci.portland.me.us < CHARLIE@ci.portland.me.us >;

MJN@ci.portland.me.us <MJN@ci.portland.me.us>

Cc: GARY@ci.portland.me.us <GARY@ci.portland.me.us>

**Date:** Friday, January 14, 2000 9:30 AM **Subject:** Re: Michaud-Hobart Street Property

I will be available Wed. after our meeting. I do not think anything has been issued last year. He has applied recently, however, the permit has not been issued yet. I require a better site plan that shows shoreland setbacks (I want a stamped plan) and then I have concerns about this section of 14-403 and as to whether the road needs to be brought up to City Standards. Actually, I believe that Steve Bushey has denied it already. Perhaps he should also participate in this meeting.

## >>> Charlie Lane 01/14 9:00 AM >>>

Can we meet to discuss this sometime.

Yesterday, Mr. Michaud appeared in my office with a seven year old letter which permitted him to transfer property on Hobart Street to his daughter, subject to certain conditions. Mr. Michaud explained to me that for various reasons the conveyance to his daughter never took place, and this past summer, relying on the seven year old letter, he conveyed the property to his son and (apparently) obtained a building permit.

I cannot recall why he was exempted from the provisions of Section 14-403 seven years ago, although Gary Wood, Bill Giroux and myself apparently all participated in the decision (Were the provisions the same then?)Mr. Michaud also advised me that he is a developer. Is there other property on Hobart Street which he might intend to develop by making conveyances to his other "children"?

In any event, aren't we in the position where none of us have the authority to waive the requirements of the ordinance?

If in fact he was issued a building permit last summer and has commenced construction under it, I think the City may be faced with a fait accompli.

But we should make sure he doesn't extract further building permits by displaying a seven year old letter which was never intended to exempt him form the zoning requirements. I need more information to make a decision, so let's meet sometime next week. After the meeting on Wednesday morning?

## >>> Charlie Lane 01/11 8:06 AM >>>

This is to supplement my previous E-mail to you concerning the Michaud property on Hobart Street

You may recall that I was curious about the handwritten notation on the deed: "Agreement with corporation counsel."

No one in this office has any knowledge of the notation.

My earlier concerns that the property does not qualify for the Section 403 exemption remain in place.

## >>> Charlie Lane 01/06 10:14 AM >>>

At the staff meeting yesterday I was given a deed from Francis Michaud, et al, to Kevin Michaud, dated June 19, 1999, and relating to property on Hobart Street.

Self-serving language added to the description purports to fit the property within the Section 403 exemption for frontage on certain grand fathered lots.

Section 403, however, specifically requires that the property be in the same ownership from and after November 19, 1984.

The Michaud property does not qualify under that section, since Kevin Michaud did not

acquire his interest in it until last June. I will ask legal staff if any one can explain the notation on the deed "Agreement with corporation counsel...."

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

## **Current Owner Information**

Card Number

Parcel ID

Location Land Use 1 of 1

197 K001001

HOBART ST

SINGLE FAMILY

Owner Address

MICHAUD KEVIN J 141 FROST ST PORTLAND ME 04102

Book/Page

Legal

15643/058

197-K-1-2-19-20

HOBART ST

OSGOOD ST, PHILLIPS ST

12016 SF

## **Current Assessed Valuation**

Land \$60,200 Building \$113,600

Total \$173,800

# **Property Information**

Year Built 2001

Style Ranch Story Height

Sq. Ft. 1144

Total Acres

774-4815

0.276

Bedrooms 3

Full Baths 2

Half Baths

Total Rooms 5

Attic None

Basement Full

# Outbuildings

Type

Quantity

Year Built

Size

Grade

Condition

#### Sales Information

Date 08/07/2000 05/01/1993 12/07/1992

Type LAND LAND LAND Price

Book/Page 15643-058 10698-024 \$4,100 10448-055

#### Picture and Sketch

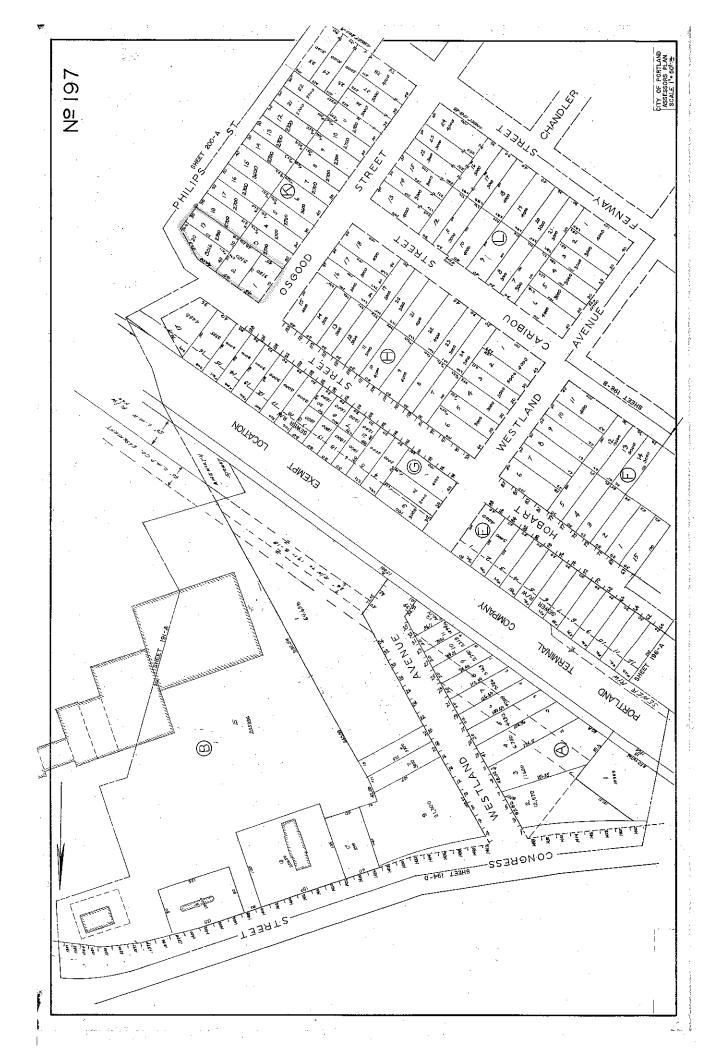
Picture

Sketch

Tax Map

#### Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or emailed.



This page contains a detailed description of the Parcel ID you selected. Press the New Search button at the bottom of the screen to submit a new query.

#### Current Owner Information

Card Number

1 of 1

Parcel ID

200 C005001 HOBART ST

Location Land Use

VACANT LAND

Owner Address

774-4815 MICHAUD FRANCIS J & JOLENE S JTS

141 FROST ST

PORTLAND ME 04102

Book/Page

15643/056

200-C-5 TO 11-15 TO 18 Legal

HOBART ST PHILLIPS ST 39956 SF

Current Assessed Valuation

Land \$31,300 Building \$ 0.00

Total \$31,300

**Property Information** 

Year Built

Style

Story Height

Sq. Ft.

Total Acres

0.917

Bedrooms

Full Baths

Half Baths

Total Rooms

Attic

Basement

ń

Outbuildings

Туре

Ouantity

Year Built

Size

Grade

Condition

Sales Information

Date 08/07/2000 06/01/1998 12/14/1993

Туре LAND LAND

Price

Book/Page

15643-056 13922-132 11363-244

Picture and Sketch

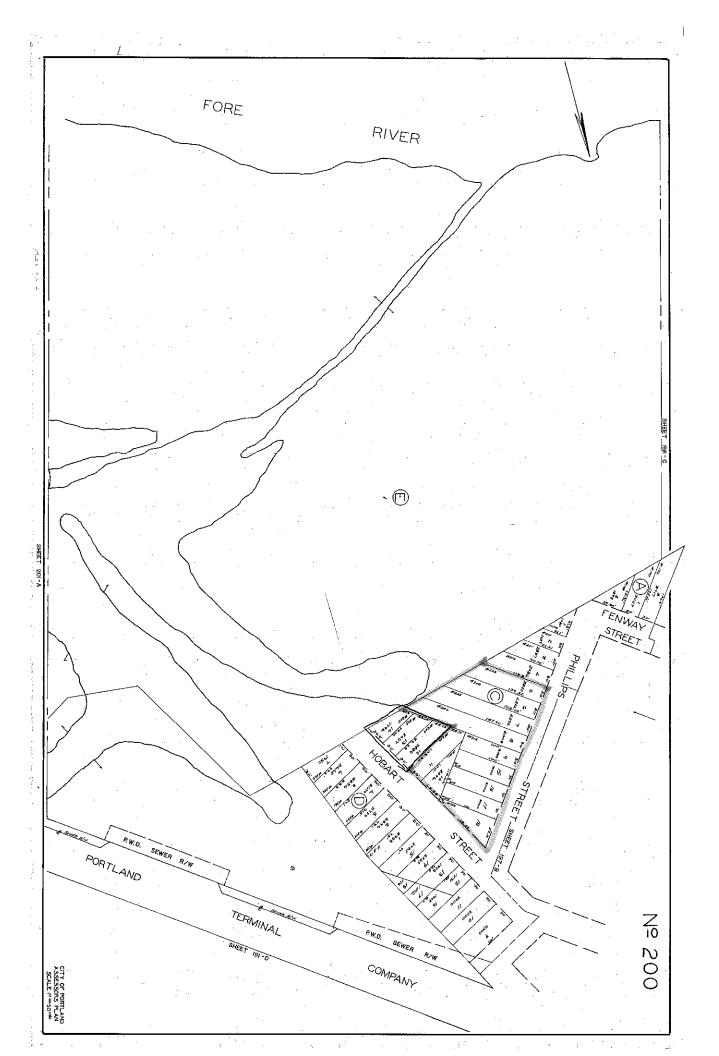
<u>Picture</u>

Sketch

Tax Map

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11

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

#### **Current Owner Information**

Card Number

Parcel ID Location Land Use 1 of 1 200 C012001 HOBART ST

GOVERNMENTAL

Owner Address

STATE

AUGUSTA ME 04333

Book/Page

Legal

200-C-12 TO 14 HOBART ST 7150SF

## **Current Assessed Valuation**

**Land** \$5,300 Building \$ 0.00

**Total** \$5,300

## **Property Information**

Year Built

Style

Story Height

Sq. Ft.

Total Acres

0.164

Bedrooms

Full Baths

Half Baths

Total Rooms

Attic

Basement

# Outbuildings

Туре

Quantity

Year Built

Size

Grade

Condition

# Sales Information

Date

Type

Price

Book/Page

#### Picture and Sketch

Picture

Sketch

Tax Map

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### **Current Owner Information**

Card Number
Parcel ID
Location
Land Use

1 of 1 200 D002001 162 HOBART ST SINGLE FAMILY

Owner Address

FOOTE RAYMOND 57 CONCORD ST PORTLAND ME 04103

Book/Page Legal

200-D-2 TO 5 HOBART ST 10910 SF

# **Current Assessed Valuation**

Land \$46,900 Building \$15,500

**Total** \$62,400

## **Property Information**

Year Built 1900 Style Old Style Story Reight

**Sq. Ft.** 528

Total Acres

0.25

Bedrooms 2 Full Baths

Half Baths

Total Rooms

**Attic** Unfin Basement: Full

# Outbuildings

Туре

Quantity

Year Built

Size

Grade

Condition

## Sales Information

Date

Type

Price

Book/Page

#### Picture and Sketch

<u>Picture</u>

Sketch

Tax Map

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