



1350.10

135 Hobart

**From:** Marge Schmuckal <MES@ci.portland.me.us>  
**To:** AQJ@ci.portland.me.us <AQJ@ci.portland.me.us>;  
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 MJN@ci.portland.me.us <MJN@ci.portland.me.us>  
**Cc:** GARY@ci.portland.me.us <GARY@ci.portland.me.us>  
**Date:** Friday, January 14, 2000 9:30 AM  
**Subject:** Re: Michaud-Hobart Street Property

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I will be available Wed. after our meeting. I do not think anything has been issued last year. He has applied recently, however, the permit has not been issued yet. I require a better site plan that shows shoreland setbacks (I want a stamped plan) and then I have concerns about this section of 14-403 and as to whether the road needs to be brought up to City Standards. Actually, I believe that Steve Bushey has denied it already. Perhaps he should also participate in this meeting.

>>> Charlie Lane 01/14 9:00 AM >>>

Can we meet to discuss this sometime.

Yesterday, Mr. Michaud appeared in my office with a seven year old letter which permitted him to transfer property on Hobart Street to his daughter, subject to certain conditions. Mr. Michaud explained to me that for various reasons the conveyance to his daughter never took place, and this past summer, relying on the seven year old letter, he conveyed the property to his son and (apparently) obtained a building permit.

I cannot recall why he was exempted from the provisions of Section 14-403 seven years ago, although Gary Wood, Bill Giroux and myself apparently all participated in the decision. (Were the provisions the same then?) Mr. Michaud also advised me that he is a developer. Is there other property on Hobart Street which he might intend to develop by making conveyances to his other "children"?

In any event, aren't we in the position where none of us have the authority to waive the requirements of the ordinance?

If in fact he was issued a building permit last summer and has commenced construction under it, I think the City may be faced with a fait accompli.

But we should make sure he doesn't extract further building permits by displaying a seven year old letter which was never intended to exempt him from the zoning requirements.

I need more information to make a decision, so let's meet sometime next week. After the meeting on Wednesday morning?

>>> Charlie Lane 01/11 8:06 AM >>>

This is to supplement my previous E-mail to you concerning the Michaud property on Hobart Street

You may recall that I was curious about the handwritten notation on the deed: "Agreement with corporation counsel."

No one in this office has any knowledge of the notation.

My earlier concerns that the property does not qualify for the Section 403 exemption remain in place.

>>> Charlie Lane 01/06 10:14 AM >>>

At the staff meeting yesterday I was given a deed from Francis Michaud, et al, to Kevin Michaud, dated June 19, 1999, and relating to property on Hobart Street.

Self-serving language added to the description purports to fit the property within the Section 403 exemption for frontage on certain grand fathered lots.

Section 403, however, specifically requires that the property be in the same ownership from and after November 19, 1984.

The Michaud property does not qualify under that section, since Kevin Michaud did not

acquire his interest in it until last June.

I will ask legal staff if any one can explain the notation on the deed "Agreement with corporation counsel...."

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	197 K001001
Location	HOBART ST
Land Use	SINGLE FAMILY
Owner Address	MICHAUD, KEVIN J 141 FROST ST PORTLAND ME 04102
Book/Page	15643/058
Legal	<del>197-K-1-2-19-20</del> HOBART ST OSGOOD ST, PHILLIPS ST 12016 SF

? 774-4815

**Current Assessed Valuation**

Land	Building	Total
\$60,200	\$113,600	\$173,800

**Property Information**

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
2001	Ranch	1	1144	0.276	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	2		5	None	Full

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
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**Sales Information**

Date	Type	Price	Book/Page
08/07/2000	LAND		15643-058
05/01/1993	LAND	\$4,100	10698-024
12/07/1992	LAND		10448-055

**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

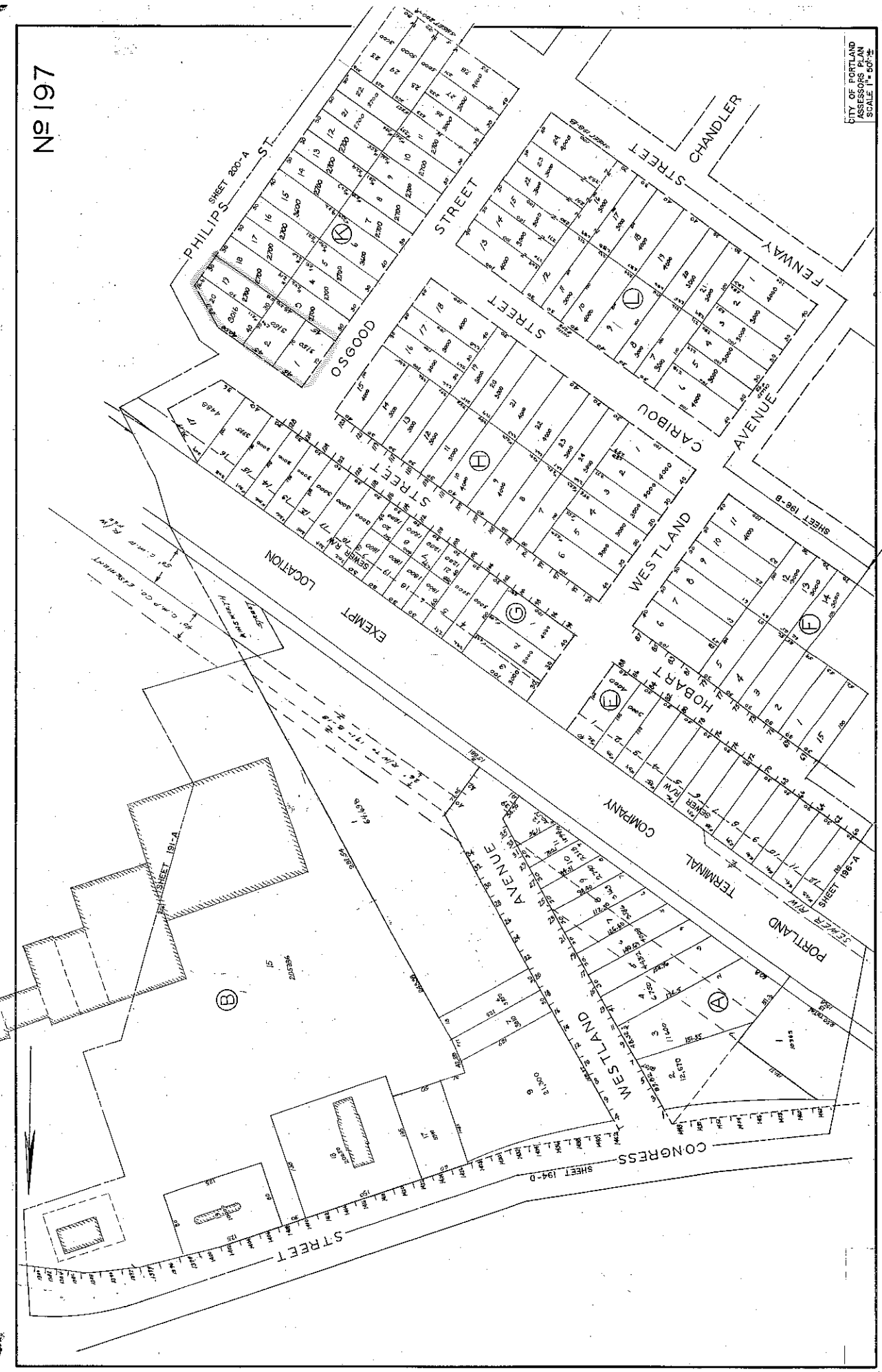
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**

No 197

CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1" = 50'



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 200 C005001  
 Location HOBART ST  
 Land Use VACANT LAND

Owner Address ~~MICHAUD FRANCIS J & JOLENE S JTS~~  
 141 FROST ST  
 PORTLAND ME 04102

774-4815

Book/Page 15643/056  
 Legal ~~200-C-5 TO 11-15 TO 18~~  
 HOBART ST  
 PHILLIPS ST  
 39956 SF

**Current Assessed Valuation**

Land	Building	Total
\$31,300	\$ 0.00	\$31,300

**Property Information**

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.917	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
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**Sales Information**

Date	Type	Price	Book/Page
08/07/2000	LAND		15643-056
06/01/1998	LAND		13922-132
12/14/1993	LAND		11363-244

**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here to view Tax Roll Information.](#)

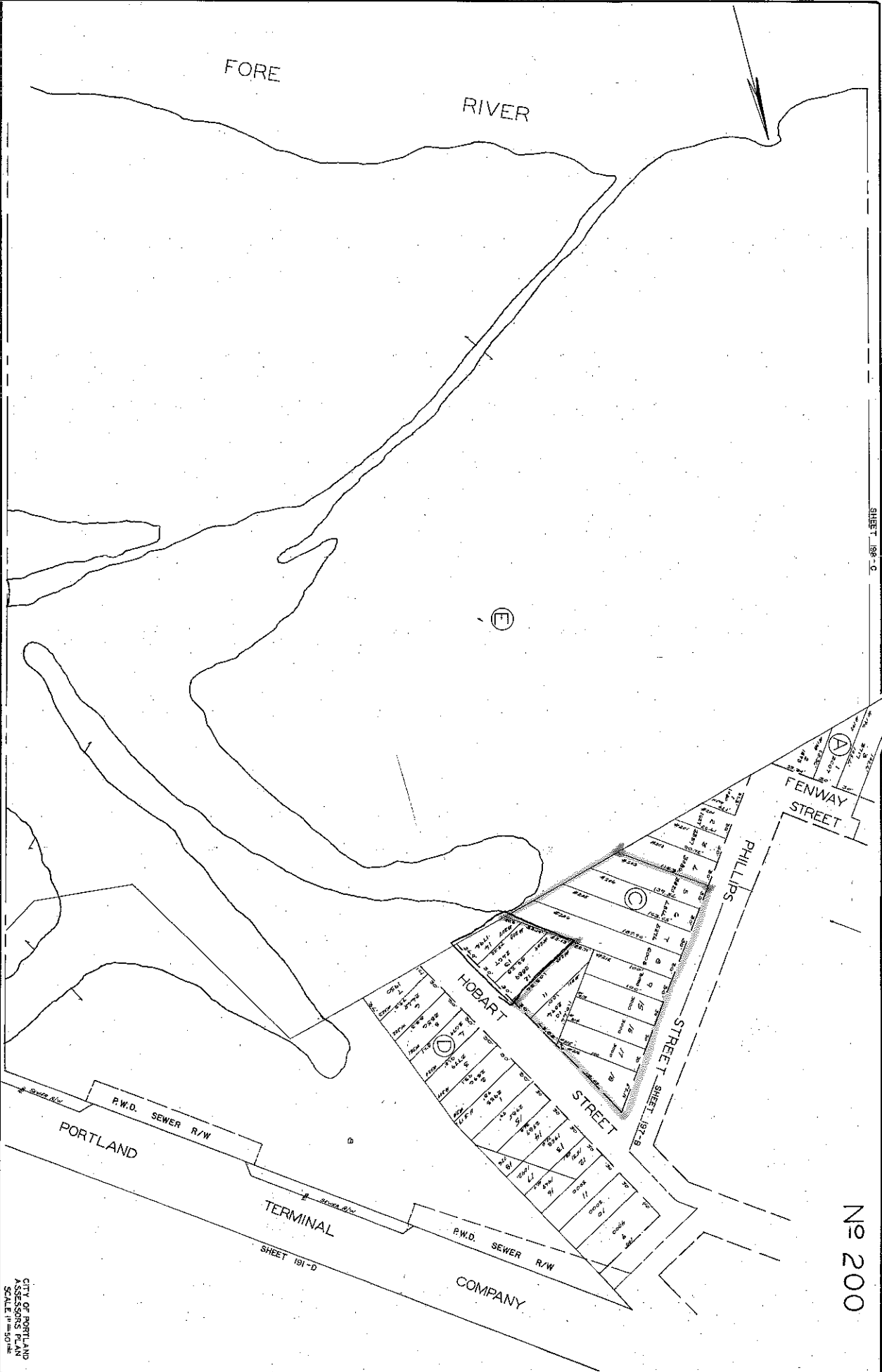
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**New Search!**

FORE RIVER

SHEET 191-A

SHEET 198-C



№ 200

CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1" = 50'

SHEET 191-D

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	200 C012001
Location	HOBART ST
Land Use	GOVERNMENTAL
Owner Address	<del>STATE</del> AUGUSTA ME 04333
Book/Page	
Legal	<del>200-C-12 TO 14</del> HOBART ST 7150SF

**Current Assessed Valuation**

Land	Building	Total
\$5,300	\$ 0.00	\$5,300

**Property Information**

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.164	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
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**Sales Information**

Date	Type	Price	Book/Page
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**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

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**New Search!**



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

Card Number	1 of 1
Parcel ID	200 D002001
Location	162 HOBART ST
Land Use	SINGLE FAMILY
Owner Address	FOOTE RAYMOND 57 CONCORD ST PORTLAND ME 04103
Book/Page	
Legal	200-D-2 TO 5 HOBART ST 10910 SF

### Current Assessed Valuation

Land	Building	Total
\$46,900	\$15,500	\$62,400

### Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1900	Old Style	1	528	0.25	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	1		4	Unfin	Full

### Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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### Sales Information

Date	Type	Price	Book/Page
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### Picture and Sketch

<a href="#">Picture</a>	<a href="#">Sketch</a>	<a href="#">Tax Map</a>
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[Click here](#) to view Tax Roll Information.

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