



# PORTLAND MAINE

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Jeff Levine, AICP, Director  
Director of Planning and Urban Development

Tammy Munson  
Director, Inspections Division

## Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.

Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.

I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature:

*e. f. ayler*

Date:

*4/26/13*

I have provided digital copies and sent them on:

Date:

*4/26/13*

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means ie; a thumb drive or CD to the office.



April 25, 2013

Mr. Cuyler Feagles, AIA  
Assistant Facilities Manager  
Portland International Jetport  
Portland, Maine

**RE: Request for waiving SI requirements – Parking Operations Building Extension  
Portland International Jetport**

Mr. Feagles,

Per chapter 17 of the 2009 International Building Code, Special Inspections are required for all projects unless an exception is granted by the Authority Having Jurisdiction (AHJ – City of Portland). As per our phone conversation, I understand you wish to request the City to consider granting an exception for this project and waiving Special Inspection requirements. The intent of this letter is to aid in the City's decision.

As you are aware, the project is a relatively small (570 SF +/-) addition to the parking operations building. The addition is one story, matching the roof elevation of the existing building, and involves simple structural components.

If the City elects to waive the SI requirements, please understand that the testing requirements specified within the contract documents still apply and structural aspects of the project will still require periodic oversight by Becker Structural Engineers (BSE). We will be providing you with written field reports from our site visits. We are happy to copy the City on these reports, as well as provide a summary to them upon project completion.

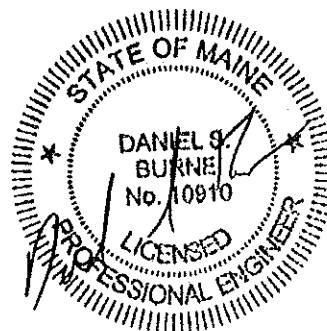
We are happy to answer any questions that you or the City may have, and are happy to discuss further. If a waiver is not granted, we will provide you with a Statement of Special Inspections accordingly.

Sincerely,

**BECKER STRUCTURAL ENGINEERS, Inc.**

A handwritten signature in black ink, appearing to read "Daniel S. Burne".

Daniel S. Burne, P.E.  
Associate





# New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## One (1) complete Set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Foundation plans with rebar specifications and required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separations
- Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IEEC 2009
- Complete the Accessibility Certificate and The Certificate of Design
- A statement of special inspections as required per the IBC 2009
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

REFERENCE LETTER FROM  
ROCKEE STRUCTURAL  
ENGINEERS ATTACHED

Separate permits are required for internal & external plumbing, HVAC and electrical installations.

Nine (9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is required that includes:

ALREADY APPROVED. SEE ATTACHED

- A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of  $\geq 1" = 20'$  on paper  $\geq 11" \times 17"$
- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
- Location and dimensions of parking areas and driveways, street spaces and building frontage
- Finish floor or sill elevation (based on mean sea level datum)
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Existing and proposed grade contours
- Silt fence (erosion control) locations

**Fire Department requirements.**

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- N.A.* →  Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary - **REFERENCE LETTER FROM CUYLER FEAGLES ATTACHED**
- N.A.* →  Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: <u>PORTLAND INTERNATIONAL SETTOP</u> <u>1001 WESTBROOK ST.</u>		
Total Square Footage of Proposed Structure: <u>568 C.S.F.</u>		
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant Name: <u>CUYLER FEAGLES</u> Address: <u>PORTLAND INTL. SETTOP</u> City, State & Zip: <u>PORTLAND ME 04102</u>	Telephone: <u>756-8513</u> Email: <u>CHF@PORTLANDMAINE.GOV</u>
Lessee/Owner Name : (if different than applicant) Address:  City, State & Zip:  Telephone & E-mail:	Contractor Name: (if different from Applicant) Address: <u>NOT YET DETERMINED</u> City, State & Zip:  Telephone & E-mail:	Cost Of Work: \$ <u>85,000</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <u>OFFICE BUILDING</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>ADDITION TO BE A WAITING ROOM FOR CAB DRIVERS</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>24'8" X 32'0" SINGLE STORY ADDITION TO EXISTING C.M.U. BUILDING. MATERIALS TO MATCH EXISTING.</u>		
Who should we contact when the permit is ready: <u>CUYLER FEAGLES</u>		
Address: <u>PORTLAND INTERNATIONAL SETTOP, 1001 WESTBROOK ST.</u>		
City, State & Zip: <u>PORTLAND ME 04102</u>		
E-mail Address: <u>CHF@PORTLANDMAINE.GOV</u>		
Telephone: <u>756-8513</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>C. Feagles</u>	Date: <u>4/22/13</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



# Certificate of Design Application

From Designer: Becker Structural Engineers  
 Date: 4-23-13  
 Job Name: Parking Operations Building Extension - Portland Int'l Jetport  
 Address of Construction: 1001 WEST BROAD ST  
(PORTLAND INTERNATIONAL AIRPORT)

## 2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) BUSINESS  
 Type of Construction 3B  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC N/A  
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Supervisory alarm System? N/A Geotechnical/Soils report required? (See Section 1802.2) No

### Structural Design Calculations

Completed Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
All Interior Spaces	100 psf

### Wind loads (1603.1.4, 1609)

Mthd 2 Design option utilized (1609.1.1, 1609.6)  
 100 MPH Basic wind speed (1809.3)  
 1.0 Building category and wind importance Factor,  $I_w$  (table 1604.5, 1609.5)  
 C Wind exposure category (1609.4)  
 +/- 0.18 Internal pressure coefficient (ASCE 7)  
 29 psf Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 20 psf Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

Eq. Lat Force Design option utilized (1614.1)  
 II Seismic use group ("Category")  
 0.255, 0.088 Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)  
 C Site class (1615.1.5)

N/A Live load reduction  
 20 psf Roof live loads (1603.1.2, 1607.11)  
 46 psf Roof snow loads (1603.7.3, 1608)  
 60 psf Ground snow load,  $P_g$  (1608.2)  
 46 psf If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
 1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 1.1 Roof thermal factor,  $C_t$  (1608.4)  
 N/A Sloped roof snowload,  $P_s$  (1608.4)  
 B Seismic design category (1616.3)  
 OR Mas SW Basic seismic force resisting system (1617.6.2)  
 2.0, 1.75 Response modification coefficient,  $R$ , and deflection amplification factor  $C_d$  (1617.6.2)  
 Eq. Lat Force Analysis procedure (1616.6, 1617.5)  
 3k Design base shear (1617.4, 1617.5.1)  
 Flood loads (1803.1.6, 1612)  
 N/A Flood Hazard area (1612.3)  
 N/A Elevation of structure  
 Other loads  
 N/A Concentrated loads (1607.4)  
 N/A Partition loads (1607.5)  
 N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



## Certificate of Design

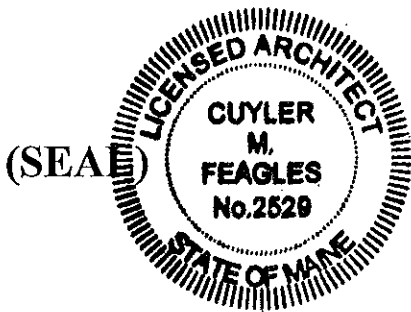
Date: 4/22/2013

From: CUYLER FEAGLES

These plans and / or specifications covering construction work on:

TAXI CAR WAITING ROOM

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2009 International Building Code and local amendments.



Signature: C. Feagles

Title: ASSISTANT FACILITIES MANAGER

Firm: PORTLAND INTERNATIONAL SETPOINT

Address: 1001 WESTTSPOOK ST  
PORTLAND ME 04102

Phone: 207-756-8313

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Accessibility Building Code Certificate

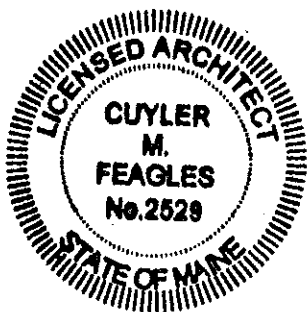
Designer: CUYLER FEAGLES

Address of Project: 1001 WESTBROOK ST.

Nature of Project: ADDITION TO EXISTING (SMALL)  
OFFICE BUILDING, TO PROVIDE  
TAXI DRIVERS WITH A WAITING  
ROOM.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)



Signature: C. Feagles

Title: ASSISTANT FACILITIES  
MANAGER

Firm: PORTLAND INTERNATIONAL  
SETPOINT

Address: 1001 WESTBROOK ST  
PORTLAND ME 04102

Phone: 207-756-8313

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)





*You're on your way.*

Paul H. Bradbury, P.E.  
*Airport Director*

Scott C. Carr, A.A.E.  
*Deputy Airport Director*

Captain Chris Pirone  
Fire Prevention Officer  
Portland Fire Department  
Fire Headquarters  
380 Congress Street  
Portland, ME 04101-3513

26 April, 2013

Dear Captain Pirone;

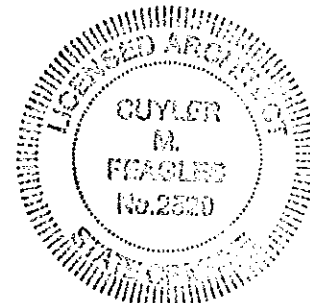
As you know, the City of Portland has recently implemented a new set of guidelines and requirements for Building Permit Applications. In reference to the Taxi Cab Waiting Room at PWM Application (attached), I am unclear on one point:

Fire Department Requirements stipulate that a separate Life Safety Plan be submitted. FD-1, submitted herein within the electronic (CD Rom) package, with hardcopy also attached, satisfies that requirement. However, item "F" indicates that an "NFPA 101 Code Summary" be included as part of that Life Safety Plan. Code Summaries as I have traditionally executed them are extensive documents covering, point by point, how the requirements of 101 have been met. In large buildings, where the complexities of meeting those requirements often need detailed review and explanation, this is a necessary expedient. As you will see, however, this particular project is small indeed, only 502 GSF. I have included in FD-1 all basic and pertinent information. My question, therefore, is: Does this satisfy the requirement? If it does not, I will be happy to submit a more detailed review.

It is my hope that you can address this issue before any potential delays be incurred. I am, of course, available to discuss the matter should you like to do so.

Sincerely,

Cuyler Feagles, AIA, LEED AP, NCARB  
Assistant Facilities Manager  
756- 8313





2012-628

# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

199A001  
002

PROJECT NAME: PARKING OPERATOR BUILDING EXTENSION  
# 1 INTERNATIONAL PARKWAY

PROJECT ADDRESS: PORTLAND MAINE 04102 CHART/BLOCK/LOT: 210A A007

APPLICATION FEE: \$50 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)  
TO EXTEND CURRENT PARKING OPERATIONS BUILDING TO INCLUDE  
A TAXI DRIVER SHELTER WITH ADDITIONAL BATHROOM FACILITY

### CONTACT INFORMATION:

#### OWNER/APPLICANT

#### CONSULTANT/AGENT

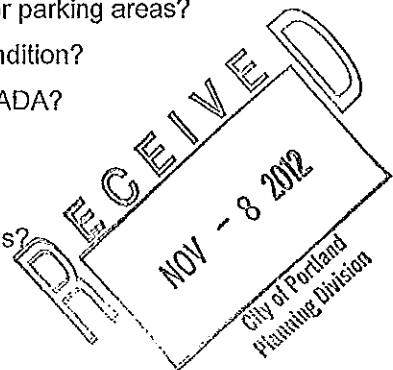
Name: CITY OF PORTLAND  
Address: PORTLAND INT. JETPORT  
1003 WESTBROOK ST. PORTLAND  
Work #: 207-756-8026  
Cell #: 207-317-1648  
Fax #: \_\_\_\_\_  
Home #: 207-465-9076  
E-mail: rsw@portlandmaine.gov

Name: ROY WILLIAMS  
Address: AS OWNER DATA  
Work #: ---  
Cell #: ---  
Fax #: ---  
Home #: ---  
E-mail: ---

#### Criteria for an Administrative Authorization: (see section 14-523(4) on pg. 2 of this appl.)

#### Applicant's Assessment Y(yes), N(no), N/A

- a) Is the proposal within existing structures? YES
- b) Are there any new buildings, additions, or demolitions? NO
- c) Is the footprint increase less than 500 sq. ft.? NO
- d) Are there any new curb cuts, driveways or parking areas? NO
- e) Are the curbs and sidewalks in sound condition? YES
- f) Do the curbs and sidewalks comply with ADA? YES
- g) Is there any additional parking? NO
- h) Is there an increase in traffic? NO
- i) Are there any known stormwater problems? NO
- j) Does sufficient property screening exist? YES
- k) Are there adequate utilities? YES
- l) Are there any zoning violations? NO
- m) Is an emergency generator located to minimize noise? NO
- n) Are there any noise, vibration, glare, fumes or other impacts? NO



Signature of Applicant: R Williams Date: 5th NOVEMBER 2012

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Administrative Authorization Decision

Application #: 2012-629

Name: Parking Operator Building Extension

Address: 1 International Parkway

Project Description: To extend current parking operations bld. to include a taxi driver shelter with additional bathroom facility.

199-A-1

Criteria for an Administrative Authorizations:  
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment  
Y(yes), N(no), N/A

Planning Division  
Use Only

Criteria for an Administrative Authorizations: (See Section 14-523 (4) on page 2 of this application)	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	Yes	Yes
b) Are there any new buildings, additions, or demolitions?	No	No
c) Is the footprint increase less than 500 sq. ft.?	No	No, the bld. addition is 569 sf
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	No	No
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The airport complex was reviewed extensively for the recent terminal expansion. While the 569 sq. ft. addition to the parking operations building exceeds 500 sq. ft., the proposal meets all of the other criteria.

The Administrative Authorization for the parking operator bld. addition was approved by Barbara Barhydt, Development Review Services Manager on November 20, 2012 with the following condition of approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Barbara Barhydt  
Development Review Services Manager  
Date of Approval: November 20, 2012