#### DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT



This is to certify that <u>CITY OF PORTLAND = JETPORT</u>

Located At 947 WESTBROOK ST

Job ID: 2012-05-3995-ALTCOMM

CBL: 199- A-001-002

has permission to Revise the dead end the Egress Corridor by adding a wall and door

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREKT SIDE OF THE PROPERTY PENALTY FOR REMOVING THIS CARD

### City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3995-ALTCOMM	Date Applied: 5/14/2012		CBL: 199- A-001-002			
Location of Construction: JETPORT - 947 WESTBROOK ST	Owner Name: CITY OF PORTLAND		Owner Address: 389 CONGRESS ST PORTLAND, ME 0			Phone:
Business Name:	Contractor Name:		Contractor Addre	ess:		Phone:
Lessee/Buyer's Name:	Phone:		Permit Type: BLDG - Building			Zone: A-B
Past Use: Jetport	Proposed Use:  Same – Jetport – revis corridor	se egress	Cost of Work: 25000.00  Fire Dept:	Approved w/ Denied N/A	'andehin	CEO District:  Inspection: Use Group: Type: The C 2064 Signature:
Proposed Project Description Revised Egress Corridor  Permit Taken By:	:			Zoning Approva		6/6/12
<ol> <li>This permit application d Applicant(s) from meetin Federal Rules.</li> <li>Building Permits do not is septic or electrial work.</li> <li>Building permits are voic within six (6) months of the False informatin may invite permit and stop all work.</li> </ol>	include plumbing, d if work is not started the date of issuance. validate a building	Shorelar Wetland Flood Zo Subdivis Site Plar Maj Date: 0 k	sion  MinMM	Zoning Appeal  Variance  Miscellaneous  Conditional Use  Interpretation  Approved  Denied  Date:	Not in D  Does not  Requires  Approve	
hereby certify that I am the owner of r the owner to make this application as his the application is issued, I certify that the the enforce the provision of the code(s) a	is authorized agent and I agree e code official's authorized re	to conform to	all applicable laws of t	his jurisdiction. In additio	n, if a permit for w	ork described in
IGNATURE OF APPLICANT	Γ Al	DDRESS		DATE		PHONE

#### **BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.

Close In Elec/Plmb/Frame prior to insulate or gyp

**Final Inspection** 

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Acting Director of Planning and Urban Development Gregory Mitchell

Job ID: 2012-05-3995-ALTCOMM

Located At: 947 WESTBROOK ST CBL: 199- A-001-002

### **Conditions of Approval:**

#### Fire

- 1. All construction shall comply with City Code Chapter 10.
- 2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
- 3. Fire extinguishers are required. Installation per NFPA 10.
- 4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
- 6. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
- 7. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- Non-combustible construction of this structure requires all construction to be Noncombustible.
- 9. Any cutting and welding done will require a Hot Work Permit from Fire Department.

#### **Building**

- 1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
- Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

# XB

### 202-05-3991

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any roperty within the City, payment arrangements must be made before permits of any kind are accepted.

I	HEST BROOK ST	
Total Square Footage of Proposed Structure,	Area Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant *must be owner, Lessee or Buy Name Jet Port	rer* Telephone:
199 A 001002	Address Wastbrook St City, State & Zip Potkerd, ME	4/03-
Lessee/DBA (If Applicable)	Owner (if different from Applicant)	Cost Of
	Name	Work: \$ 25,000
	Address	C of O Fee: \$
	City, State & Zip	Total Fee: \$
If vacant what was the previous use?	HULTI USE	
If vacant what was the previous use?	•	
If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?	•	
If vacant what was the previous use?	•	
If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?  Project description:	•	
If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?  Project description:  Contractor's name:	•	
If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?  Project description:  Contractor's name:	•	
If vacant, what was the previous use?  Proposed Specific use:  Is property part of a subdivision?  Project description:	If yes, please name	

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <a href="https://www.portlandmaine.gov">www.portlandmaine.gov</a>, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:	)	Wellamo Date:	5.7.2012	
71				

This is not a permit; you may not commence ANY work until the permit is issue

# PORTLAND INTERNATIONAL JETPORT EXIT CORRIDOR

**Building Permit Application: NARRATIVE** 

The intent of the proposed work is to address an existing egress violation:

On the West end of the second floor of the existing terminal (not part of the recently completed Terminal Expansion) there is a dead end corridor. Reference attached floor plan submitted as part of this narrative. This arrangement has existed since, I believe, 2000 or thereabouts. When the situation was brought to my attention, I met with City officials (Tammy Munson & Chris Pirone) and with Ron Peaslee at the State Fire Marshal's Office. The consensus was that the most expedient fix was to create an exit, at the end of that dead end corridor, into the hold room. That is what we will do, via this Building Permit Application.

### Cuyler Feagles - Re: Building Permit Fee for Exit Corridor Project

From:

Rick Marston

To:

**Cuyler Feagles** 

Date:

5/7/2012 10:00 AM

Subject: Re: Building Permit Fee for Exit Corridor Project

Ok, we'll charge it to the Facilities operating budget, account #583-2806-500-20-40. Please have the Planning Dept. send me an invoice along with their account number that they'd like the revenue placed into. If they prefer, I can pay them by PO, but that will take longer. Either way, please have them forward the invoice to me.

Rick

>>> Cuyler Feagles 5/4/2012 3:47 PM >>> Rick;

As discussed earlier today, I would like to submit, along with the Building Permit Application for the above referenced project, indication of how we will pay the \$1,240.00 fee. Please reply with that information and I will include it in the package.

Thanks much, CMF



# New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1	e) complete Set of construction drawings must include:
Note	: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.
	Cross sections w/framing details Detail of any new walls or permanent partitions Floor plans and elevations Window and door schedules Foundation plans with rebar specifications and required drainage and damp proofing (if applicable) Detail egress requirements and fire separations Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IEEC 2003 Complete the Accessibility Certificate and The Certificate of Design A statement of special inspections as required per the IBC 2003 Complete electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
	Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".  Per State Fire Marshall, all new bathrooms must be ADA compliant.
Separa	tte permits are required for internal & external plumbing, HVAC and electrical installations.
Nine (	(9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is ed that includes:
	A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of $\geq 1$ " = 20' on paper $\geq 11$ " x 17"
	The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
	Location and dimensions of parking areas and driveways, street spaces and building frontage Finish floor or sill elevation (based on mean sea level datum)
	Location and size of both existing utilities in the street and the proposed utilities serving the building
	Existing and proposed grade contours Silt fence (erosion control) locations

#### Fire Department requirements.

The following shall be submitted on a separate sheet:

- □ Name, address and phone number of applicant and the project architect.
- ☐ Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- ☐ Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- ☐ A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- ☐ Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <a href="https://www.portlandmaine.gov">www.portlandmaine.gov</a>, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



# Certificate of Design Application

From Designer:	SMELT	NC.	
Date:	4/27/12	(DATE ON	DEALINES)
Job Name:	EXIT CORE	DOF	
Address of Construction:	PORTLAND J	ENTEENATION	NAL SET PORT
	1001 HEST	Brook ST.	
200	4 -2003 Internation		
	n project was designed to	0	ia listed below:
	· 2009 IF	s c	
Building Code & Year	Use Group Classifica	ation (s)	USE
Type of Construction	cas THAN	II.A	EXISTING TO FEMAN C
Will the Structure have a Fire suppressi	on system in Accordance w		
Is the Structure mixed use? YES	If yes, separated or non	separated or non separate	d (section 302.3)
Supervisory alarm System?			
		1.	
Structural Design Calculations		NA.	_ Live load reduction
Submitted for all structu	aral members (106.1 – 106.11)		_ Roof <i>live</i> loads (1603.1.2, 1607.11)
Design Loads on Construction Docu	iments (1603)		Roof snow loads (1603.7.3, 1608)
Uniformly distributed floor live loads (7603.			Ground snow load, Pg (1608.2)
Floor Area Use Loads	Shown		If $Pg > 10$ psf, flat-roof snow load $pf$
NA.			_ If $Pg > 10$ psf, snow exposure factor, $C_e$
			If $P_{\mathcal{E}} > 10$ psf, snow load importance factor, $f_{\mathcal{E}}$
			Roof thermal factor, $_{O}$ (1608.4)
			Sloped roof snowload, <sub>Ps</sub> (1608.4)
Wind loads (1603.1.4, 1609)			Seismic design category (1616.3)
Design option utilized (160	9.1.1, 1609.6)		Basic seismic force resisting system (1617.6.2)
Basic wind speed (1809.3)			Response modification coefficient, Ry and
Building category and wind	d importance Factor, <sub>k</sub> , able 1604.5, 1609.5)		deflection amplification factor <sub>Cd</sub> (1617.6.2)
Wind exposure category (1	609.4)		Analysis procedure (1616.6, 1617.5)
Internal pressure coefficient (A	·		Design base shear (1617.4, 16175.5.1)
Component and cladding pres  Main force wind pressures (76	,	Flood loads (1	803.1.6, 1612)
Earth design data (1603.1.5, 1614-162		7.4	_ Flood Hazard area (1612.3)
Design option utilized (161	,		_ Elevation of structure
Seismic use group ("Catego		Other, loads	
Spectral response coefficie		N.A.	Concentrated loads (1607.4)
Site class (1615.1.5)	(-3)		Partition loads (1607.5)
			Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404



# Accessibility Building Code Certificate

Designer:	SMRT, INC., SCOTT L. R	EHSON
Address of Project:	PORTLAND INTERNATIONAL	JETHORT
Nature of Project:	EXIT ACCESS CORRIDOR &	ס שבנים
	FLOOR LEVEL.	

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Soil.

Title: PRINCAPIL

Firm: SHET, INC.

Address: 144 Fore Sr.

PORTLAND, HE OUIDY

Phone: 207.772 · 3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



### Certificate of Design

Date:

From:

PORTLAND INTERNATIONAL JETIORT

These plans and / or specifications covering construction work on:

EXIT ACCESS CORRIDOR J

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Title:

PRIHCIPAL

Firm:

SHRT. INC.

Address: 144 FORE ST.

PORTLAND, ME 04104

Phone:

207.772.3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

#### PORTLAND INTERNATIONAL JETPORT

#### **EXIT CORRIDOR**

Building Permit Application: Fire Department Requirements

#### Name, address & phone number of applicant and Project Architect:

Owner:

Portland International Jetport

1001 Westbrook Street Portland, Maine 04102

207-874-8877

Architect:

SMRT Inc. Scott Benson 144 Fore Street

Portland, Maine 04104

207-772-3846

#### Proposed use of structure:

Upgrade of existing Egress Corridor in a Business Occupancy area of a Mixed- Use building.

#### Net square footage of proposed structure:

Not applicable. Square footage of area being upgraded is approximately 120 S.F.

#### Existing and proposed fire protection of structure:

Reference Sheet AE 102 of SMRT Inc. drawing package.

#### Separate Plans shall be submitted for a) Suppression system and B) Detection system:

The Detection system will not be altered in any way.

The Suppression system as it currently exists will be modified only slightly (relocating a current head position, e.g.). This work will be performed by Sprinkler Systems Inc. under separate contract. PWM will require S.S.I. to submit all necessary paperwork.

#### A separate Life Safety Plan must include:

- Fire resistance ratings of all means of egress: Reference sheet N-2 of Project Narrative package (LIFE SAFETY PLAN).
- Travel distance from most remote point to exit discharge:
- · Location of any required fire extinguishers: NA
- Location of emergency lighting: Reference sheet N-2 of Project Narrative package (LIFE SAFETY PLAN).
- Location of exit signs: Reference sheet N-2 of Project Narrative package (LIFE SAFETY PLAN).
- NFPA code summary: Reference Project Narrative.

#### Elevators shall be sized to fit an 80"x24" stretcher

Not applicable

# PORTLAND INTERNATIONAL JETPORT **EXIT CORRIDOR**

PORTLAND, MAINE

### SYMBOL LEGEND



WALL SECTION



INTERIOR ELEVATION

CIRCLE NOTE

PARTITION TAG

### **ABBREVIATIONS**

ACT ACOUSTIC CEILING TILE AFF ABOVE FINISHED FLOOR CONC EXISTING CONCRETE FLOOR SLAB **EXIST EXISTING** FLR FL00R **GWB** 

GYPSUM WALLBOARD HM HOLLOW METAL MTL

REFLECTED CEILING PLAN **RCP** RE: REFERENCE

WITH WOOD

### DRAWING LIST

#### **GENERAL**

GI001 COVER SHEET

GI002 **GENERAL NOTES** GENERAL ELECTRICAL NOTES GI003

#### ARCHITECTURAL & ELECTRICAL

FACILITY PLANS A-001

MATERIAL SPECIFICATIONS A-002

AD101 REMOVALS FLOOR PLAN AD102 REMOVALS REFLECTED CEILING PLAN

AE101 FLOOR PLAN

AE102 REFLECTED CEILING PLAN

AE201 INTERIOR ELEVATIONS AE202 INTERIOR ELEVATIONS

AE501 DETAILS & WALL PARTITION TYPES AE502 DETAILS AE503

HOLLOW METAL FRAME ELEVATIONS & DETAILS

**GENERAL NOTES:** 

1. RE: GIOO2 & GIOO3 FOR GENERAL NOTES.

INTERNATIONAL CORRIDOR PORTLAND EXIT CORR

FOR CONSTRUCTION ISSUED PRICING 4-27-STATUS:

SCALE: NTS PROJECT MANAGER: MLE JC/DRAWN BY: A/E OF RECORD: SLB GI001-12040 CAD FILE: PROJECT NO: 12040

4-27-12 DATE: SHEET TITLE: COVER SHEET

G1001

### **GENERAL NOTES:**

- 1. DO NOT SCALE THE DRAWINGS.
- 2. FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK, NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES, FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- 3. "PROVIDE" MEANS "FURNISH AND INSTALL".
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS, AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS.
- 5. THE CONTRACTOR AND ALL TRADES SHALL NOTE REQUIREMENTS OF "GENERAL NOTES" ON ALL SHEETS.
- 6. REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK AND COORDINATE SAME.
- 7. REFERENCE DETAILS ADDITIONAL DIMENSIONAL INFORMATION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CUTTING & PATCHING OF WALLS, & CEILINGS DUE TO THE REMOVAL OR ADDITION OF ELECTRICAL, & FIRE PROTECTION WORK. SEE GENERAL NOTE NUMBER (9.) FOR FINISH REQUIREMENTS.
- 9. COORDINATE THE EXTENT OF ALL REMOVALS W/ NEW FINISHES & FINISHES TO REMAIN. PATCH & REPAIR ALL DAMAGE TO EXISTING FINISHES TO REMAIN TO MATCH THE ADJACENT FINISH. EXTEND THE PATCH & REPAIR CONTINUOUSLY TO THE NEAREST CORNER UNLESS NOTED OTHERWISE, PREPARE FINISH SUBSTRATES FOR APPLICATION OF FINISHES IN ACCORDANCE W/ THE FINISH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 10. UNLESS NOTED OTHERWISE, ELECTRICAL CONDUIT AND FIRE PROTECTION PIPING SHALL BE CONCEALED.
- 11. THE CONTRACTOR SHALL COVER AND SEAL BOTH THE MECHANICAL SYSTEM SUPPLY DIFFUSERS AND RETURN GRILLS IN A MANNER THAT PROTECTS THESE DEVICES, AND PREVENTS DUST AND FUMES FROM ENTERING THE DUCTWORK AND OTHER EQUIPMENT OF THIS SYSTEM. THE CONTRACTOR SHALL PROVIDE TEMPORARY VENTILATION WITHIN THE WORK AREA AS MAY BE REQUIRED TO MAINTAIN A SAFE WORK ENVIRONMENT TO PREVENT THE MIGRATION OF FUMES AND DUST OUTSIDE THE WORK AREA, AND AS MAY BE REQUIRED FOR THE PROPER CURING OF FLOORING MATERIALS. BOTH DIFFUSER AND REGISTER COVERS, AND TEMPORARY VENTILATION EQUIPMENT SHALL BE REMOVED BY THE CONTRACTOR AT THE CONCLUSION OF EACH PHASE OF WORK.
- 12. AT THE OWNER'S REQUEST, CONTRACTOR SHALL PROVIDE TEMPORARY, FLOOR TO CEILING PARTITIONS, IN ACCORDANCE WITH SPECIFICATION SECTION 01500, ALONG THOSE PORTIONS OF THE WORK BOUNDARY NOT SEPARATED FROM ADJACENT OCCUPIED SPACES BY PERMANENT PARTITIONS.
- 13. ALL PENETRATIONS THROUGH FLOORS, RATED WALLS AND PARTITIONS SHALL BE SEALED WITH UL APPROVED PENETRATION FIRE STOP SYSTEM TO MAINTAIN THE RATING OF SEPARATION.

Fore Street/P.O. Box 618
Portland, Maine 04:104
tel. (207) 772–3846
fox. (207) 772–1070 LAND INTERNATIONAL CORRIDOR 144 ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN COMMISSIONING PORTLAND EXIT CORRI CONSTRUCTION ~ SSUED PRICING STATUS: PERMITTING, SCALE: NTS PROJECT MANAGER: SLB MLE JC/DRAWN BY: A/E OF RECORD: SLB CAD FILE: GI002-12040 PROJECT NO: 12040 4-27-12 DATE: SHEET TITLE: GENERAL NOTES SHEET No.

GIOO2

SCOTT

BENSON
No. 1772

OISTE

4.27.12

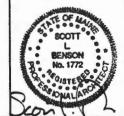
### **GENERAL ELECTRICAL NOTES:**

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA-70, NATIONAL ELECTRICAL CODE (NEC).
- 2. ALL PENETRATIONS THROUGH FLOORS, RATED WALLS AND PARTITIONS SHALL BE SEALED WITH UL APROVED PENETRATION FIRE STOP SYSTEM TO MAINTAIN THE RATING OF SEPARATION.
- 3. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH EVERY FEEDER AND BRANCH CIRCUIT.
- 4. UNLESS OTHERWISE NOTED WIRING SHALL BE 2#12 AWG CONDUCTORS AND #12 GND. HOME RUNS FED FROM 20A-1P CIRCUITS IN EXCESS OF 100 FEET SHALL BE #10 AWG.
- 5. ALL EXPOSED WIRING TO BE RUN IN EMT AND WIRING ABOVE CEILINGS AND WITHIN WALL CAVITIES SHALL BE TYPE MC CABLE. RUN ALL WIRING CONCEALED WITHIN WALLS AND ABOVE CEILING TO THE EXTENT POSSIBLE.
- 6. ALL WIRING SHALL BE 600V, COPPER WITH THHN/THWN INSULATION.

	PERMITTING, PRICING & CONSTRUCTION  CURRENT ISSUE STATUS:  CURRENT ISSUE STATUS:  SMR   PRICING & CONSTRUCTION   144 Fore Street/P.0. Box 618    Portland, Maine 04104    P	PORTLAND INTERNATIONAL JETPORT	EXIT CORRIDOR	PERMITTING, PRICING & CONSTRUCTION   4-27-12   PORTIAND, MAINE	DATE
	ANCI ENG PLAN PLAN PLAN PLAN PLAN PLAN PLAN PLAN	PORTLAND II	EXIT CORRID	PORTLAND, MAINE	
	RUCTION			4-27-12	DATE
	ISSUED FOR PERMITTING, PRICING & CONST CURRENT ISSUE STATUS:			CING & CONSTRUCTION	DESCRIPTION
	PERMITTING, P			O PERMITTING, PRI	
		_	_		NTS
	PROJECT MANAG	ER:		-	SLB
				1	MLE
	JC/DRAWN BY:				
_	JC/DRAWN BY: A/E OF RECORD	):			SLB
	JC/DRAWN BY: A/E OF RECORD CAD FILE:	): Gl	003-	12	SLB 040
	SCALE: PROJECT MANAG JC/DRAWN BY: A/E OF RECORD CAD FILE: PROJECT NO:	): Gl		12	040 040
	JC/DRAWN BY: A/E OF RECORD CAD FILE: PROJECT NO: DATE: SHEET TITLE:	Gli	003-	120	NTS SLB MLE SLB 040 040

GENERAL ELECTRICAL

G1003

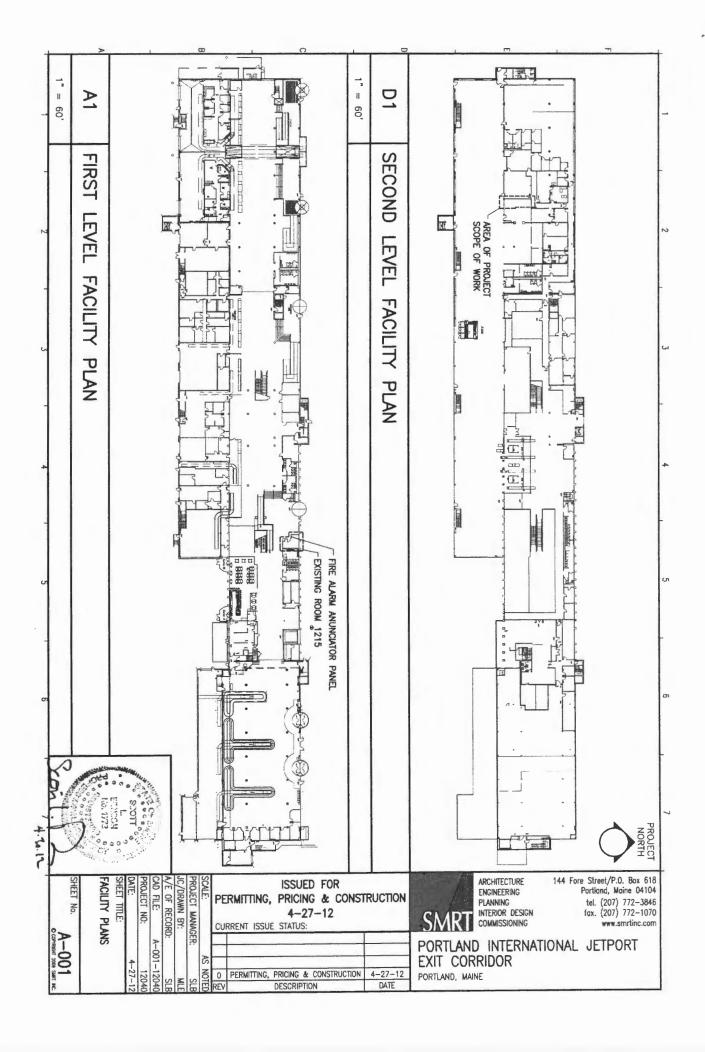


SHEET No.

NOTES

4.27.12

Ì



#### SECTION 081113:

#### STEEL DOORS & FRAMES:

PROVIDE FIRE RATED & STEEL DOOR ASSEMBLIES IN COMPLIANCE WITH NEPA 80. UL 10C AND SDA A250.8- LEVEL3, AND SDI A2SO.4 LEVEL B PHYSICAL PERFORMANCE, PREPPED FOR HARDWARE INSTALLATION.

- DOORS:
  - A. THICKNESS: 1-3/4\*
  - B. FACE: FACTORY PRIMED COLD ROLLED STEEL SHEET, MINIMUM THICKNESS OF 0.053, READY FOR FIELD PAINTING.
  - C. EDGE CONSTRUCTION: MODEL 2, SEAMLESS
  - D. CORE: MANUFACTURER'S STANDARD KRAFT-PAPER HONEYCOMB, POLYSTYRENE, POLYURETHANE, POLYISOCYANURATE, MINERAL-BOARD, OR VERTICAL STEEL-STIFFENER CORE AT MANUFACTURER'S DISCRETION.
  - E. FIRE RATING: UL LABELED FOR FIRE RESISTANCE INDICATED ON THE DRAWINGS.
  - F. MANUFACTURER: CURRIES COMPANY OR APPROVED EQUAL.
- PROVIDE 18 GAUGE, KNOCK DOWN TYPE FRAMES OF THICKNESS REQUIRED BY WALL ASSEMBLY, FACTORY PRIMED AND READY FOR FIELD PAINTING.
  - A. MANUFACTURER: CURRIES COMPANY OR APPROVED EQUAL.
  - E. FIRE RATING: UL LABELED FOR FIRE RESISTANCE INDICATED ON THE DRAWINGS.

#### SECTION 087100:

- PROVIDE MATERIALS IN CONFORMANCE WITH ANSI A156 SERIES STANDARDS.
- PROVIDE HEAVY DUTY COMMERCIAL GRADE HARDWARE OF THE FOLLOWING TYPES: A. HARDWARE:
  - 1. HINGES: PROVIDE STANLEY STAINLESS STEEL ANTI-FRICTION BEARING TYPE, 4 1/2°. 8 WIRE ELECTRIC HINGES, WITH NON-REMOVABLE PINS. PROVIDE 3 HINGES PER LEAF
  - II. DELAYED EGRESS EXIT DEVICE: PROVIDE AS PART OF UL LABELED FIRE RATED DOOR ASSEMBLY FOR FIRE RATING INDICATED ON THE DRAWINGS, PROVIDE PULL OUTSIDE TRIM WITH MATERIAL & FINISH TO MATCH HINGES. PROVIDE SARGENT 57-80 SERIES DEVICE OR APPROVED EQUAL. ALARM IS TO SOUND AFTER DEPRESSING THE RAIL FOR 2 SECONDS OR LONGER. MAGNETIC LOCK IS TO RELEASE 15 SECONDS AFTER ALARM SOUNDS.
  - III. STOPS: WALL MOUNTED, BHMA A1S6.16. (FASTEN TO SOLID IN-WALL BLOCKING.)
  - IV. DOOR SILENCERS: GRADE 1, NEOPRENE OR RUBBER, MIN. DIAMETER 1/2 " FABRICATED FOR DRILLED-IN APPLICATION TO FRAME.
  - IW. KICKPLATE: PROVIDE 10 & HIGH BY 1 & LESS THAN DOOR WIDTH, STAINLESS STEEL KICKPLATE, MOUNT AT BOTTOM OF DOOR ON EXIT DEVICE SIDE.
  - IX. LOCK: MAGNETIC. OWNER WILL INFORM THE CONTRACTOR OF THE MANUFACTURER & MODEL
  - IY. SIGN: PROVIDE SIGN ABOVE DOOR TO READ: "EMERGENCY EXIST ONLY, PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 15 SECONDS.

#### NOTES:

1. RE: GIO02 & GIO03 FOR GENERAL NOTES.

#### SECTION 092900:

#### GYPSUM BOARD ASSEMBLIES:

- SUBJECT TO COMPLIANCE WITH THE REQUIREMENTS, PROVIDE 5/8" (TYPE X) USG SHEETROCK BRAND OR EQUAL, COMPLIANT WITH ASTM C 36/C 36M OR ASTM C 1396/C 1396M. PROVIDE PAPER TAPE, METAL OR PLASTIC CORNER BEAD AND EDGE TRIM, EXPANSION (CONTROL) JOINTS AND SETTING TYPE JOINT COMPOUND, IN ACCORDANCE WITH GYPSUM WALLBOARD MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE STEEL STUDS, RUNNERS AND FURRING CHANNELS COMPLYING WITH ASTM C 645 WITH MANUFACTURER'S STANDARD CORROSION-RESISTANT ZINC COATING. PROVIDE MATERIAL THICKNESS TO MEET DEFLECTION CRITERIA OF STUD LENGTH DIVIDED BY 240, AND DEPTH AS INDICATED ON THE CONSTRUCTION DRAWINGS. PROVIDE FASTENERS CONFORMING WITH WALLBOARD AND FRAMING MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR APPLICATION. PROVIDE INSTALLATION IN CONFORMANCE WITH ASTM C 754.
- 3. PROVIDE ASTM C 840, LEVEL 4 FINISH.

#### SECTION 095113:

#### ACOUSTIC PANEL CEILING SUSPENSION SYSTEM:

PROVIDE ARMSTRONG PRELUDE ML INTERMEDIATE DUTY 15/16- INCH CEILING SUSPENSION SYSTEM TO MATCH EXISTING OR APPROVED EQUAL.

#### SECTION 099123:

#### PAINTING:

- PROJECT INCLUDES SURFACE PREPARATION AND PAINT FOR INTERIOR SURFACES AS SCHEDULED. PROVIDE SURFACE PREPARATION, PRIMER & PAINT APPLICATION AS RECOMMENDED BY THE PRIMER & PAINT MANUFACTURER. PROVIDE COMPATIBLE, FIRST GRADE, LOW V.O.C., PROFESSIONAL LINE PRIMER AND FINISH PRODUCTS FROM EITHER BENJAMIN MOORE OR SHERWIN WILLIAMS. PROVIDE ONE FINISH COAT OF PAINT OR AS REQUIRED TO COVER OVER PREVIOUSLY PAINTED SURFACES.
- PROVIDE PAINT AS FOLLOWS:
  - A. GYPSUM DRYWALL: 1 COAT LATEX PRIMER COORDINATE COMPATIBILITY AND COLOR WITH OWNER PROVIDED PAINT
  - HOLLOW METAL DOORS & FRAMES: 1 COAT RUST INHIBITING PRIMER, AND TWO COATS LATEX SEMI-GLOSS ENAMEL FINISH.

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MATERIAL SPECIFICATIONS

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