

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that CHAD THOMPSON

Located At 93 WESTLAND AVE.

Job ID: 2011-07-1652-ALTR

CBL: 197 - - L - 004 - 001 - - - - -

has permission to build a 12 foot by 14 foot addition/ existing roof renovations.  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer** 07/29/2011

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Footings/ Setbacks
2. Foundation/ Backfill
3. Close-In: (Electrical, Plumbing, Framing)
4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-07-1652-ALTR

Located At: 93 WESTLAND

CBL: 197 - - L - 004 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
4. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back-up are required on each floor.

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Ventilation/ Access shall comply with Section R408.1 & 408.3; Minimal room areas and ceiling height must comply with R304.1 and R305.1, see attached.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1652-ALTR	Date Applied: 7/12/2011	CBL: 197 - - L - 004 - 001 - - - - -	
Location of Construction: 93 WESTLAND AVE	Owner Name: Chad Thompson	Owner Address: 93 WESTLAND AVE PORTLAND, ME 04102	Phone: 207-749-7778
Business Name:	Contractor Name: Lone Tree Woodworkers	Contractor Address: 88 Verrill ST., Portland, ME 04103	Phone: 207-650-4817
Lessee/Buyer's Name:	Phone:	Permit Type: BUILDING	Zone: R-5
Past Use: Single family	Proposed Use: Single family – build two story rear 12' x 14' addition & add 14' shed dormer on rear of existing house	Cost of Work: 15000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <i>w/conditions</i> <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC, 2009</i> Signature: <i>[Signature]</i>
Proposed Project Description: 12' x 14' 2 story addition & add dormer		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions</i> <i>7/14/11 ARA</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>APM</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

RS

2011 07 1652

7/12/11



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>93 Westland Ave</u>		
Total Square Footage of Proposed Structure/Area <u>534</u>		Square Footage of Lot <u>10,000</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>197</u> <u>L 004</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Chad Thompson</u> Address <u>93 Westland Ave</u> City, State & Zip <u>Portland ME</u>	Telephone: <u>749-7778</u>
Lessee/DBA (If Applicable)  <b>RECEIVED</b>  JUL 12 2011  Dept. of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>15,000</u> C of O Fee: \$ Total Fee: \$ <u>170.00</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <u>Add 12'x14' addition - for dining room &amp; extension of 2nd floor bedroom</u> <u>Add Dormer to rear of structure</u>		
Contractor's name: <u>Lone Tree Woodworkers</u> Address: <u>88 Verrill St</u> City, State & Zip <u>Portland Me 04103</u> Telephone: <u>650 4817</u> Who should we contact when the permit is ready: <u>Paul White</u> Telephone: Mailing address:		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

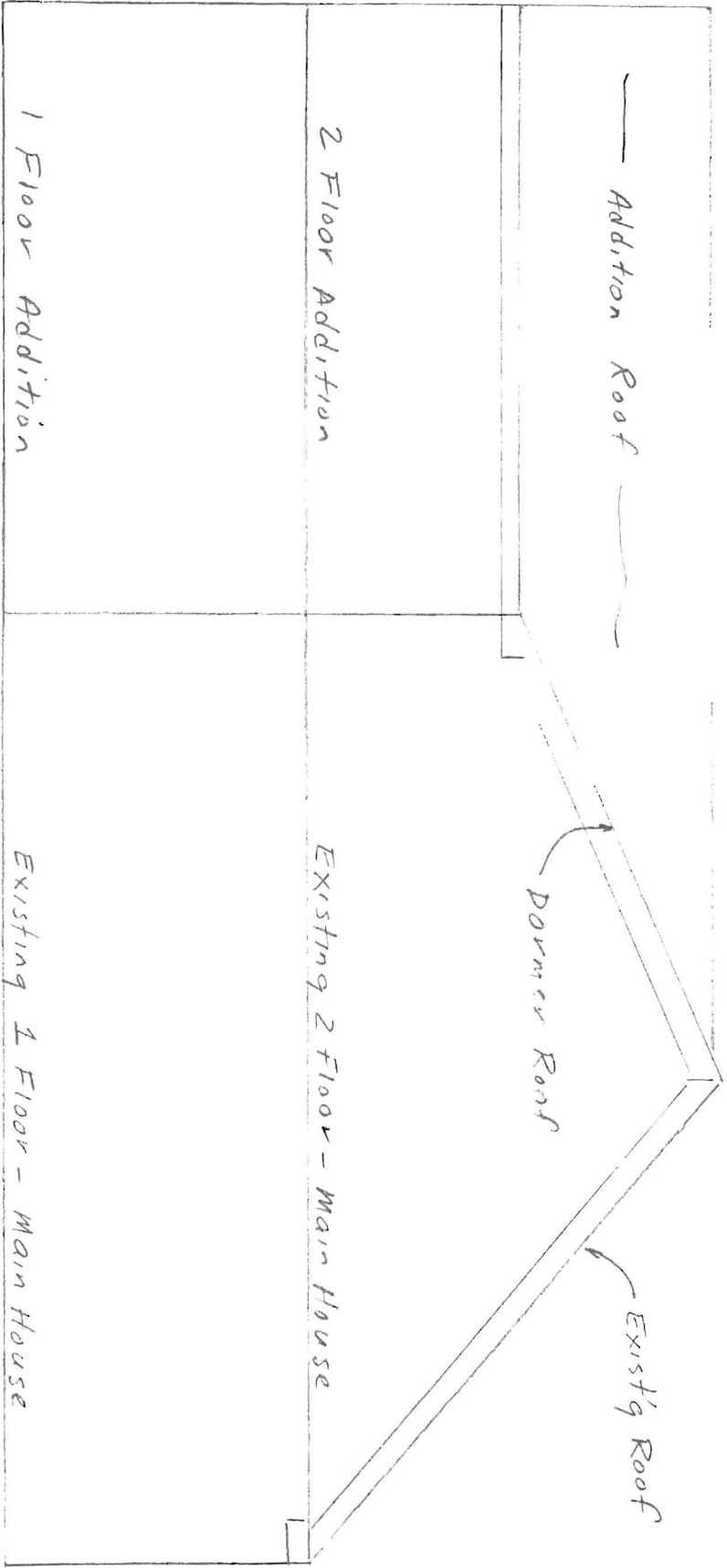
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 7/12/11

This is not a permit; you may not commence ANY work until the permit is issue

Chad Kampson  
93 Westland Ave  
Portland, ME

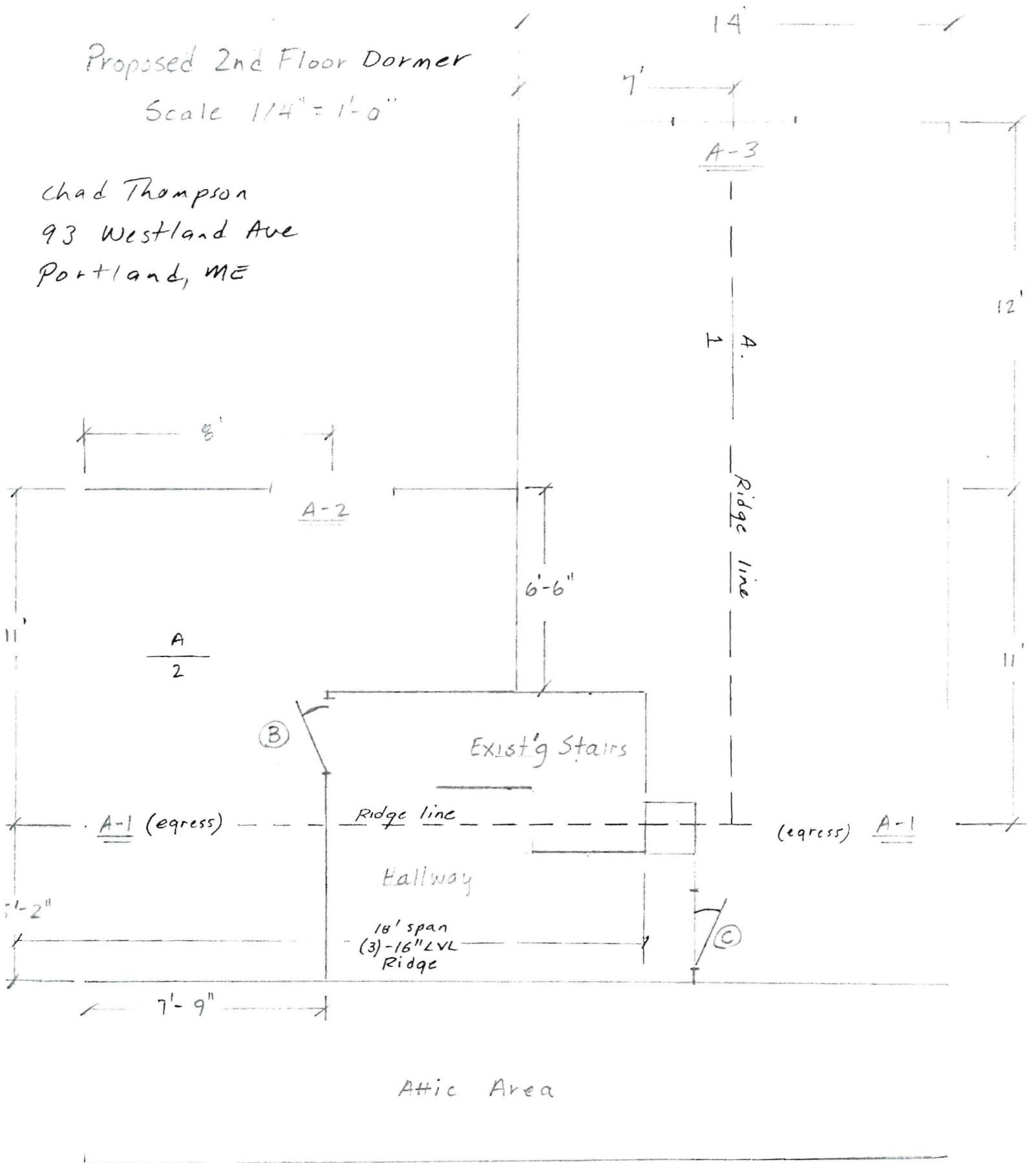
SECTION SHOWN BY CUT  
Scale 1/4" = 1'-0"



# Proposed 2nd Floor Dormer

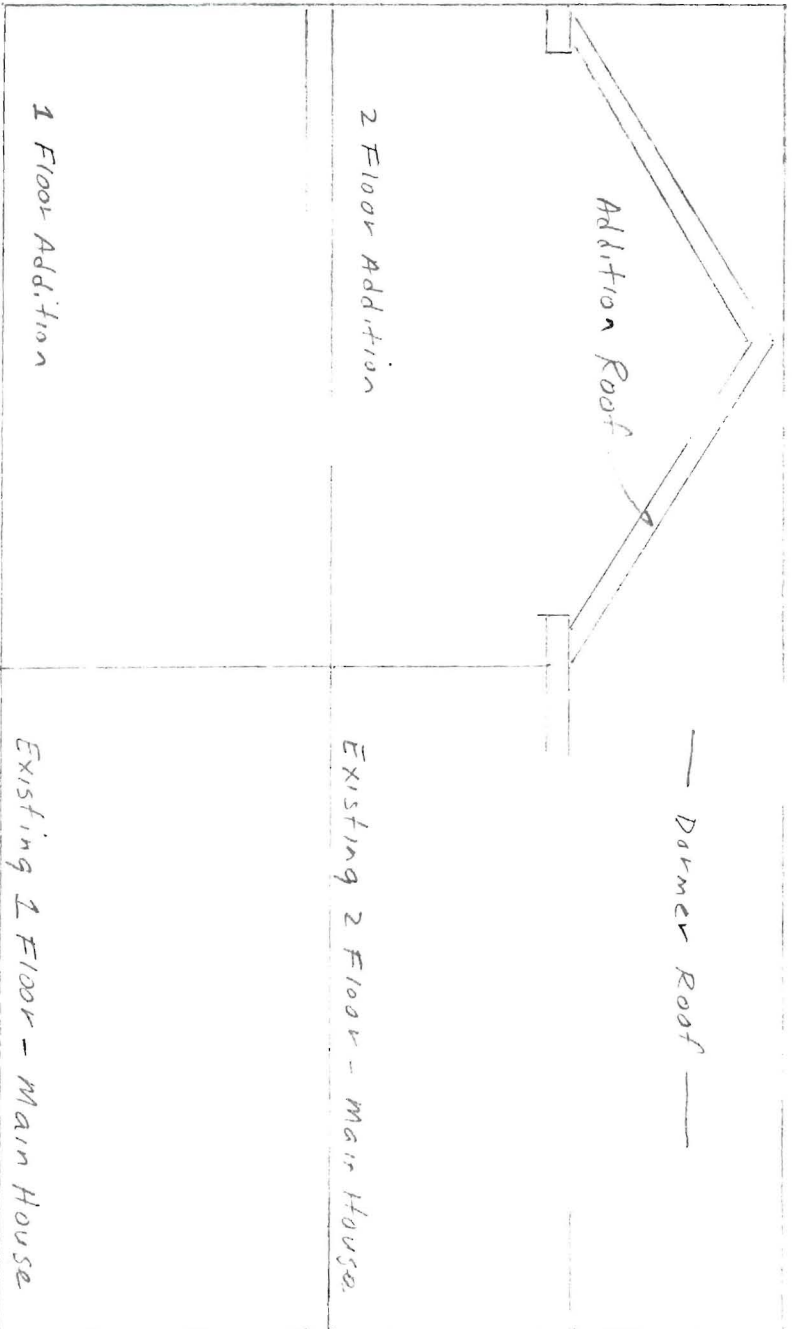
Scale 1/4" = 1'-0"

Chad Thompson  
93 Westland Ave  
Portland, ME



Chad Thompson  
73 Westland Ave  
Portland, ME

Sketch showing elevations  
Scale 1/4" = 1'-0"

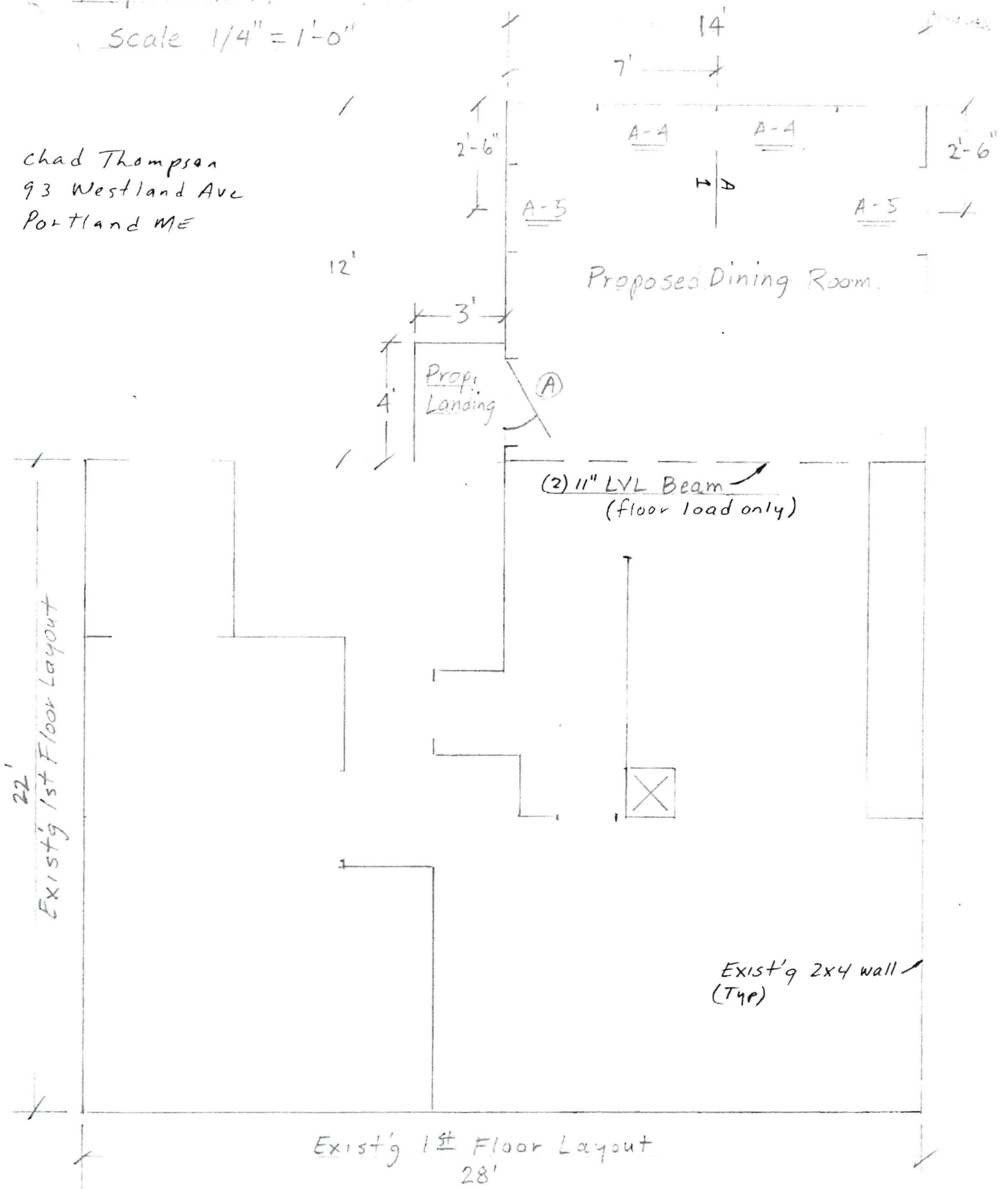




# Proposed 12' x 14' Addition

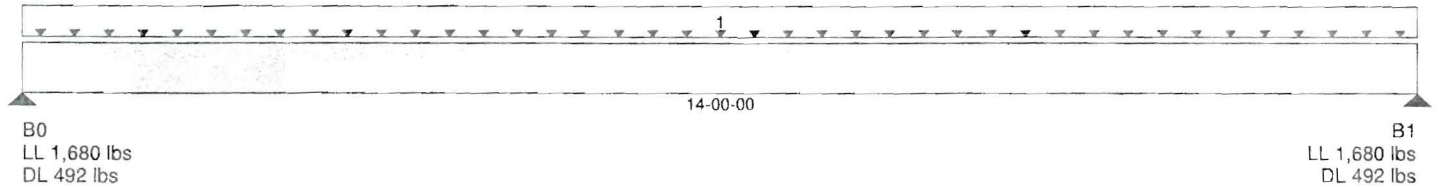
Scale 1/4" = 1'-0"

Chad Thompson  
93 Westland Ave  
Portland ME



Job Name: Thompson  
Address:  
City, State, Zip: Portland, ME  
Customer:  
Code reports: ESR-1040

File Name: BC CALC Project  
Description: FB01  
Specifier:  
Designer:  
Company:  
Misc:



Total of Horizontal Design Spans = 14-00-00

Load Summary					Live	Dead	Snow	Wind	Roof Live	Trib. (in.)	
Tag	Description	Load Type	Ref.	Start	End	100%	90%	115%	160%	125%	
1	Standard Load	Unf. Area (psf)	L	00-00-00	14-00-00	40	10				06-00-00

Controls Summary	Value	% Allowable	Duration	Case	Span
Pos. Moment	7,604 ft-lbs	45.1%	100%	1	1 - Internal
End Shear	1,878 lbs	26.9%	100%	1	1 - Left
Total Load Defl.	L/423 (0.397")	56.7%		1	1
Live Load Defl.	L/547 (0.307")	65.8%		1	1
Max Defl.	0.397"	39.7%		1	1
Span / Depth	16.0	n/a			1

### Disclosure

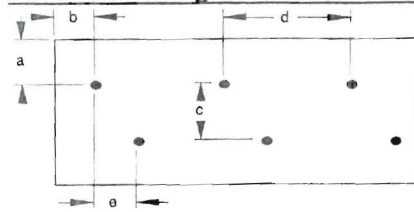
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJST™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Cascade, L.L.C.

### Notes

Design meets Code minimum (L/240) Total load deflection criteria.  
Design meets Code minimum (L/360) Live load deflection criteria.  
Design meets arbitrary (1") Maximum load deflection criteria.  
Minimum bearing length for B0 is 1-1/2".  
Minimum bearing length for B1 is 1-1/2".  
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing  
**\* Cut from: 1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP**  
Fastener Manufacturer: TrussLok (tm)

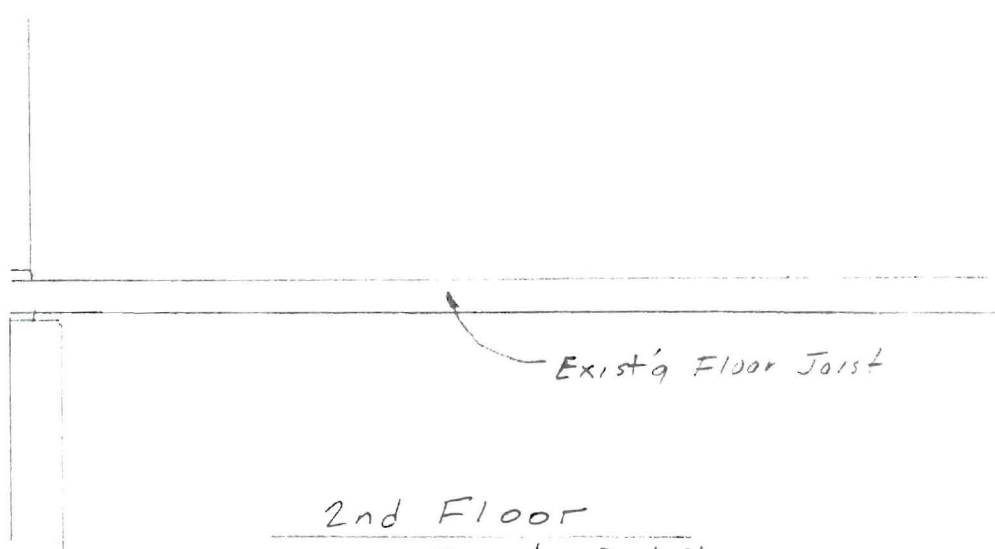
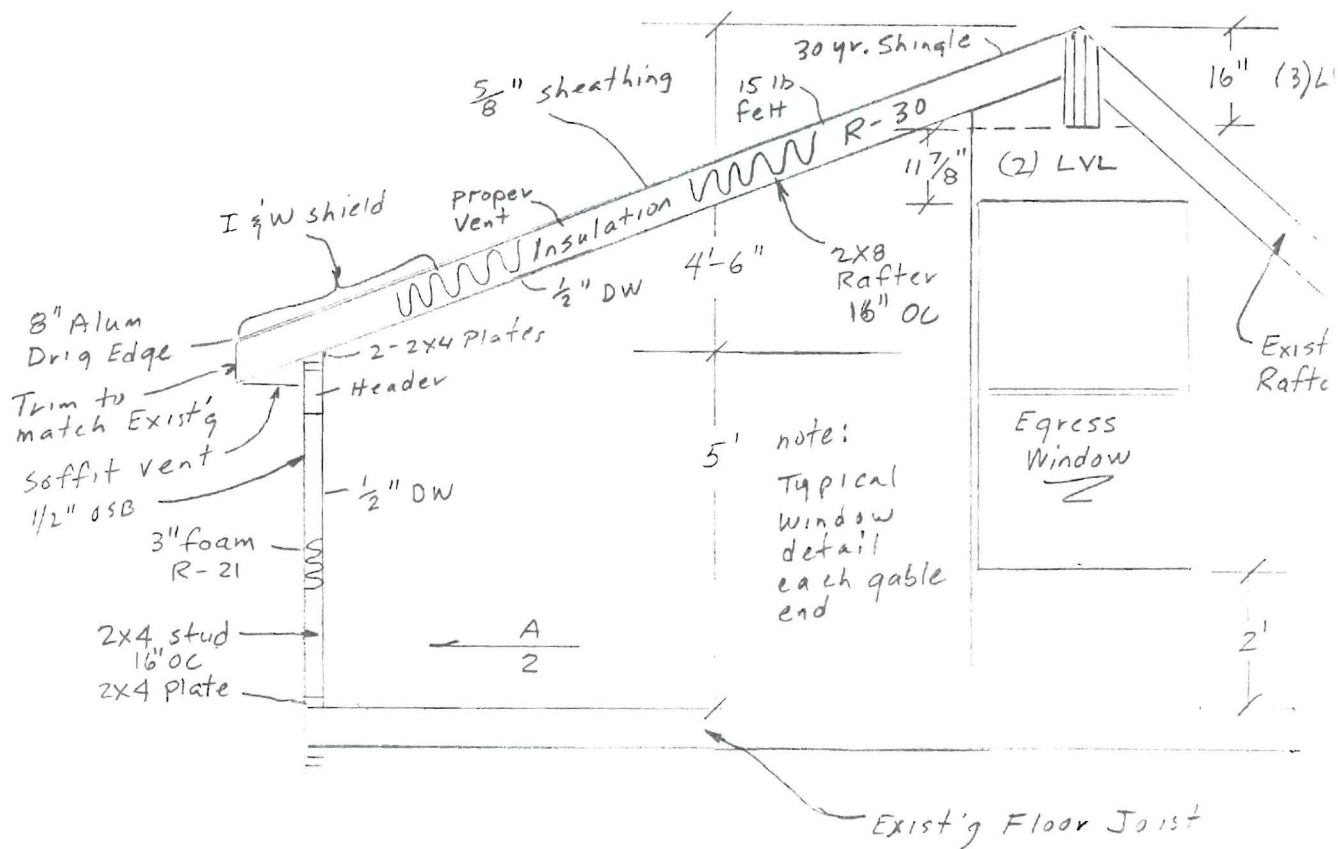
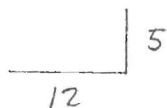
### Connection Diagram



a minimum = 2"      c = 6-1/2"  
b minimum = 4"      d = 24"  
e minimum = 1"

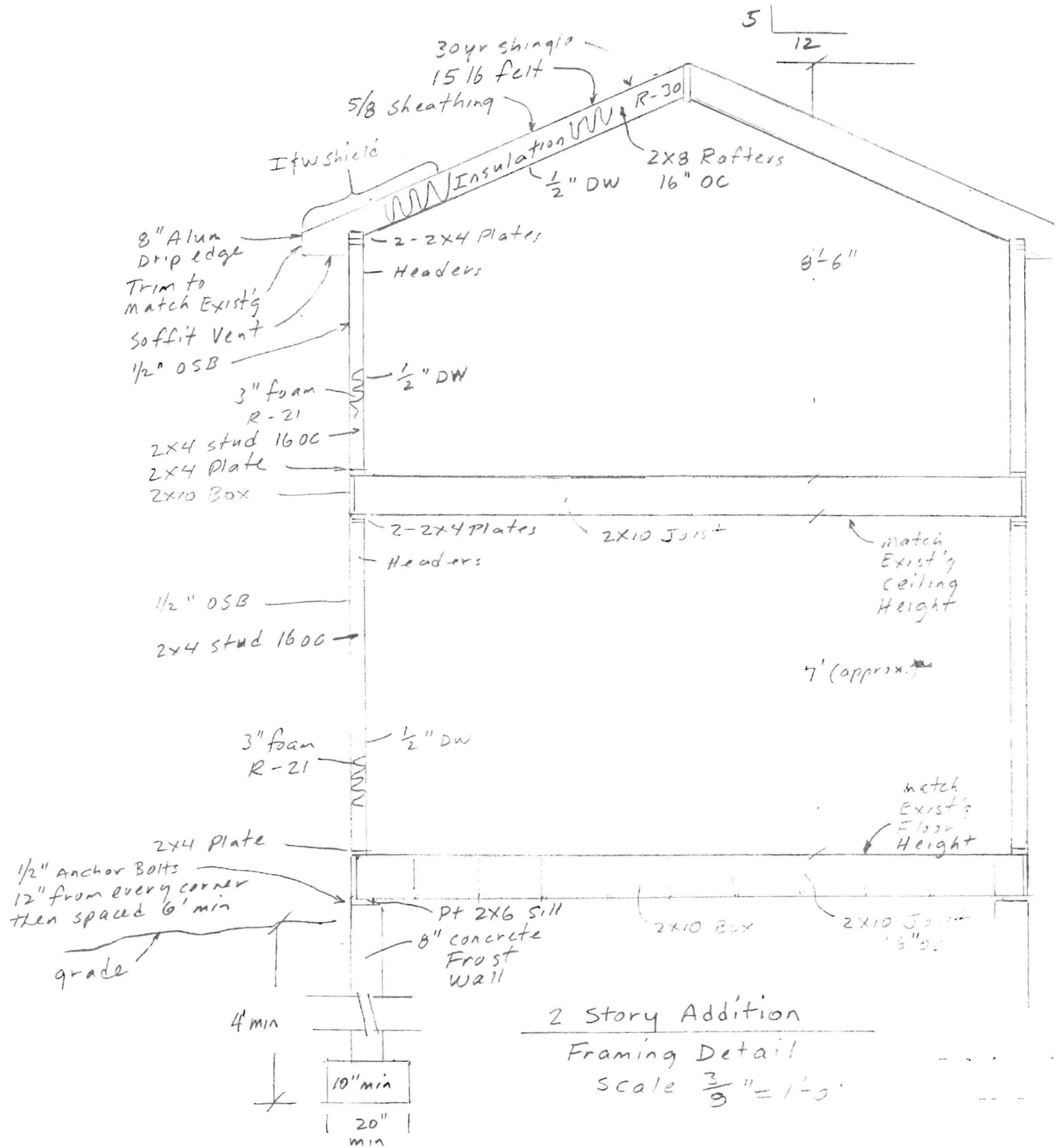
All TrussLok screws may be installed from one side of multiple ply VERSA-LAM beams.  
All TrussLok screws may be installed from one side of multiply Versa-Lam beams.  
Member has no side loads.  
Connectors are: FMTSL338

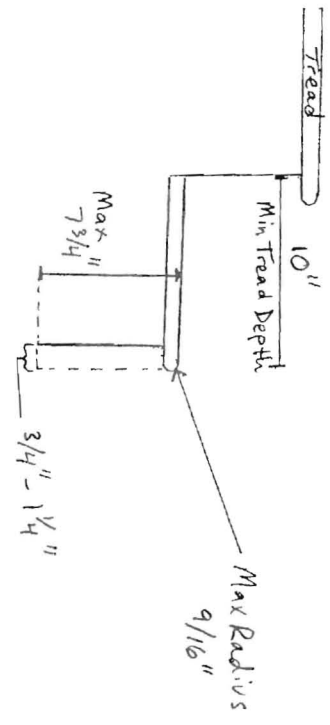
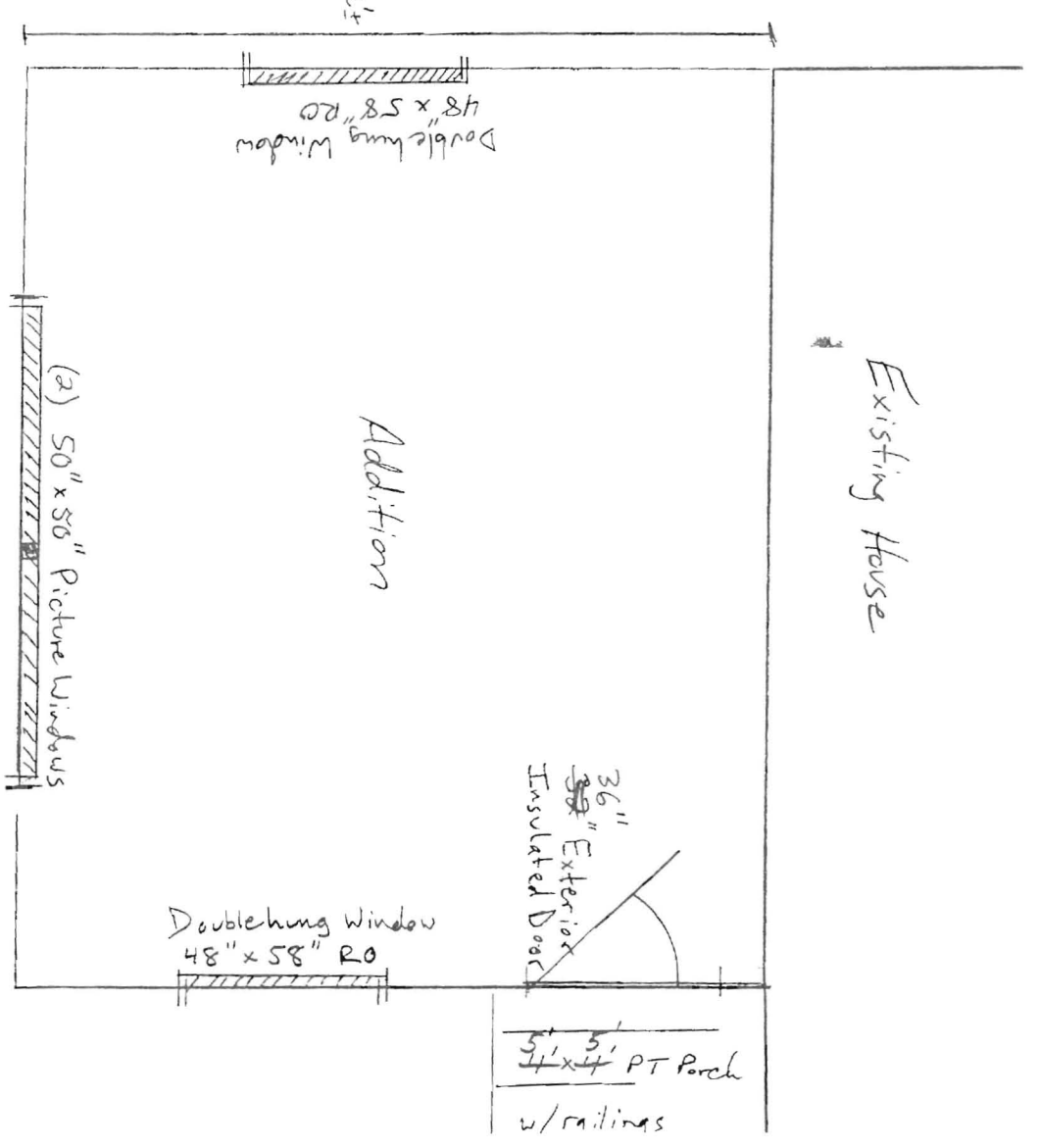
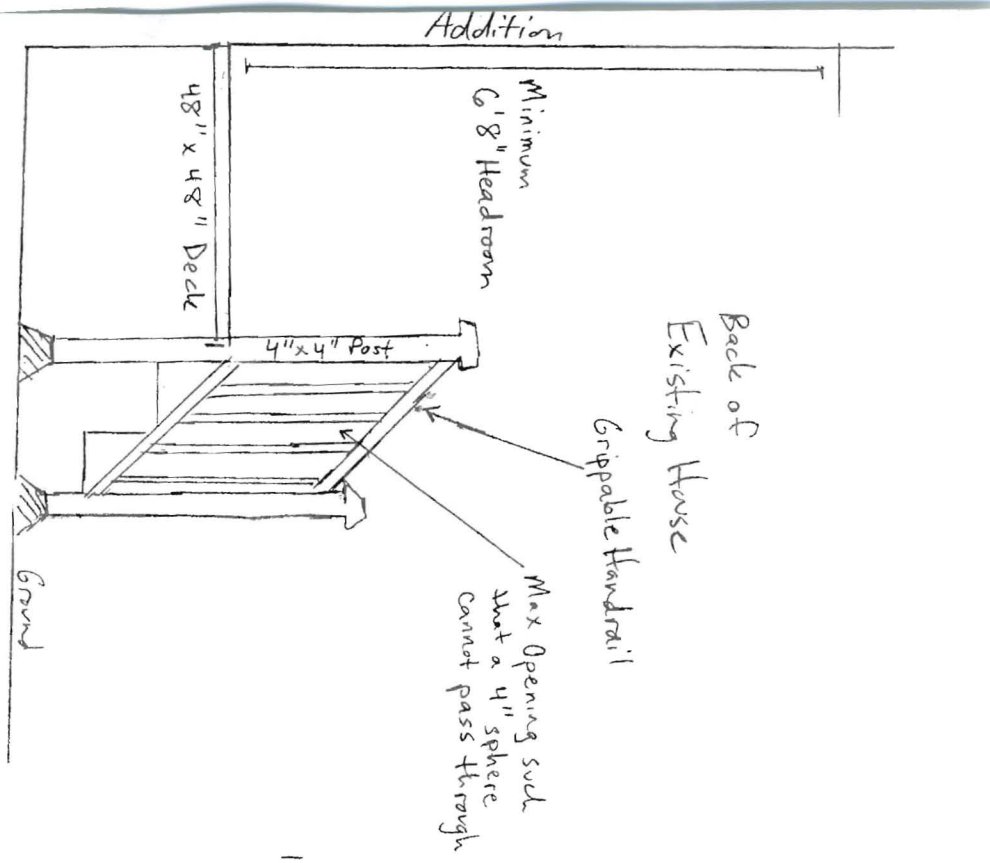
Chad Thompson  
 93 Westland Ave.  
 Portland, ME.



2nd Floor  
 Dormer Framing Detail  
 Typical Wall Section  
 Scale  $\frac{3}{8}'' = 1'-0''$

93 Westland Ave  
Portland, ME.





Stair Detail

Window Layout

3. The roof structure will use structural ridges for all locations. Please see attached engineer drawing for 12' span for the addition. All pitches are a 5 pitch. This will allow me to use (2) 2x10 valley rafters which will be hung from the LVL ridge shown on submitted plan #2, for plan view see submitted plan #5, they are supported by being posted to basement along the masonry chimney. I can amend drawing # 5 to show the valley rafters if you like. The addition ridge will tie into this point as well.
4. The addition will be used - 1<sup>st</sup> floor for dining room, 2<sup>nd</sup> floor for bedroom. The bedroom will meet the code requirement for egress.
5. I have a copy of the energy code, chad does plan on meeting the code. He is very concerned about heat loss.
6. All framing will comply with the code. The headers will be 2x10 unless they are located under the structural ridges in which case they will be (2) LVLs as noted. Jack studs will be per code, I am using 2x4 framing and doubling jacks where necessary.
7. Floor sheathing is ¾" t&g Advantech, CO detectors will be installed per Maine law and headroom is noted on plan. Please note there are areas where the head room is 5 feet which is the minimum allowed in the code.

Please contact me with any question or concerns. 650-4817

Paul White  
Lone Tree Woodworkers

**Chad Thompson**  
**Source Protection Coordinator**  
Portland Water District  
225 Douglass Street, PO Box 3553  
Portland, ME 04104  
Phone: 774-5961 Ext. 3323  
Fax: 207-892-0041  
E-mail: [cthompson@pwd.org](mailto:cthompson@pwd.org)  
<http://www.pwd.org>



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**The Portland Water District NOTICE & DISCLAIMER Confidentiality Notice:**

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED AND CONFIDENTIAL. Please notify the sender if you have received this message in error. Recipients should be aware that replies to this message may not be considered confidential and may therefore be subject to public disclosure.

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# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

July 12 2011

Received from Charles Thompson

Location of Work 93 W. ...

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (IL)  Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 197 4004

Check #: 300

Total Collected \$ 170.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy