

- First Floor General Notes:**
1. All new interior doors and hardware
 2. New flooring throughout
 3. All new interior trim (final style to be determined)
 4. New paint throughout
 5. Contractor to discuss a hot/cold forced air system with Owner.
 6. New front door. Style to be determined.

Andersen 400 Series

Reference	Type	u-value
FWG60611	Sliding Door	0.30
FWG6068	Sliding Door	0.30
2636	Double Hung	0.30
2646	Double Hung	0.30

DATE: Jan 2, 2015

A1

CUSTOM CONCEPTS, INC.

ARCHITECTURE

383 U.S. ROUTE 1, SUITE 1a - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM

PROJECT: Renovations to the Allen Residence

DRAWING TITLE: Main & Lower Floorplans

OWNER APPROVAL: _____

JOB NUMBER: 9273-14

DRAWN BY: MER

SCALE: As noted

Preliminary Design

Design Development

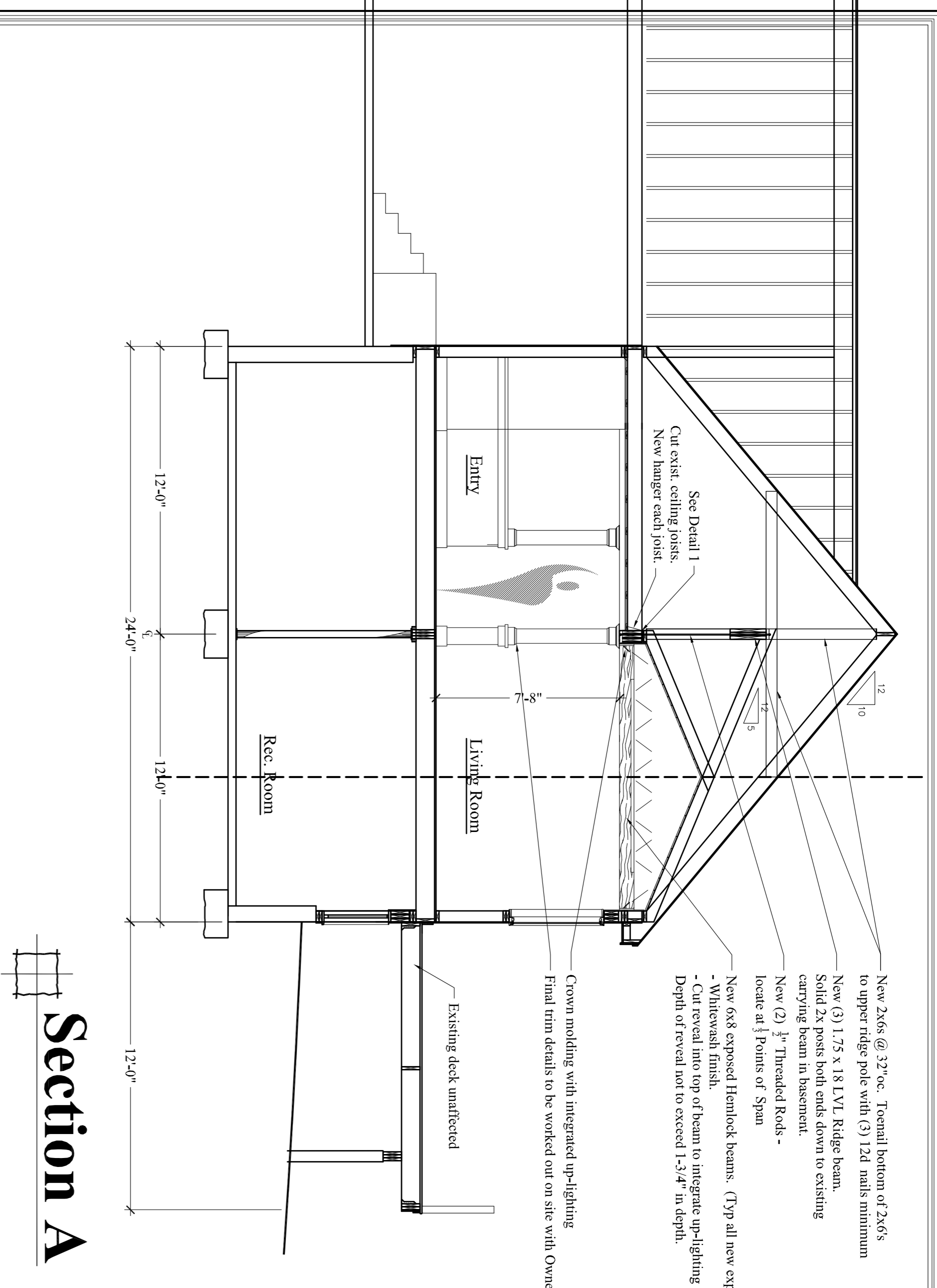
Contract Documents

CLIENT REVIEW ONLY - NOT FOR CONSTRUCTION

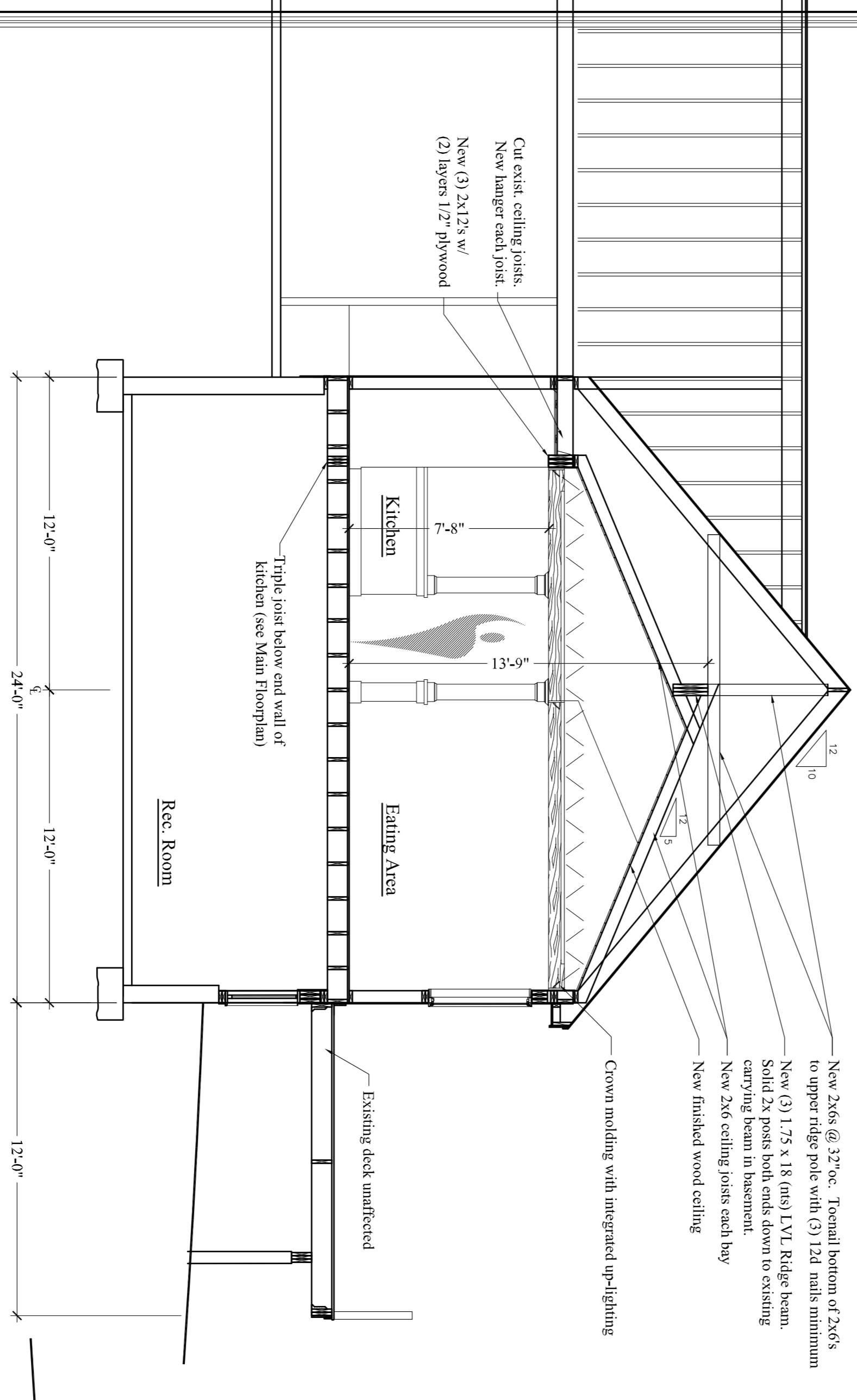
CLIENT REVIEW AND COST ESTIMATING

FOR PERMITS, BIDS, AND CONSTRUCTION

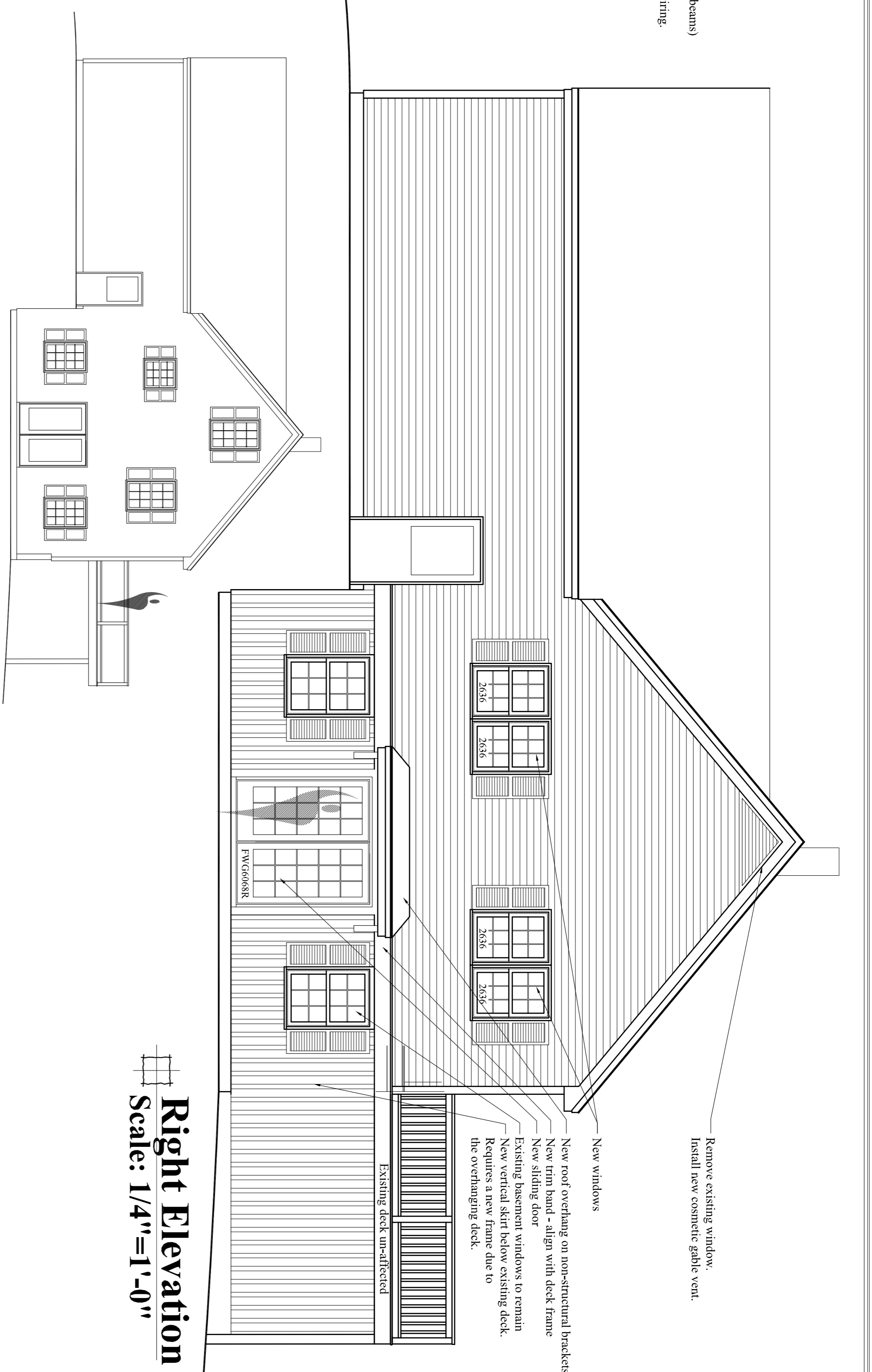
NO.	DATE	DESCRIPTION



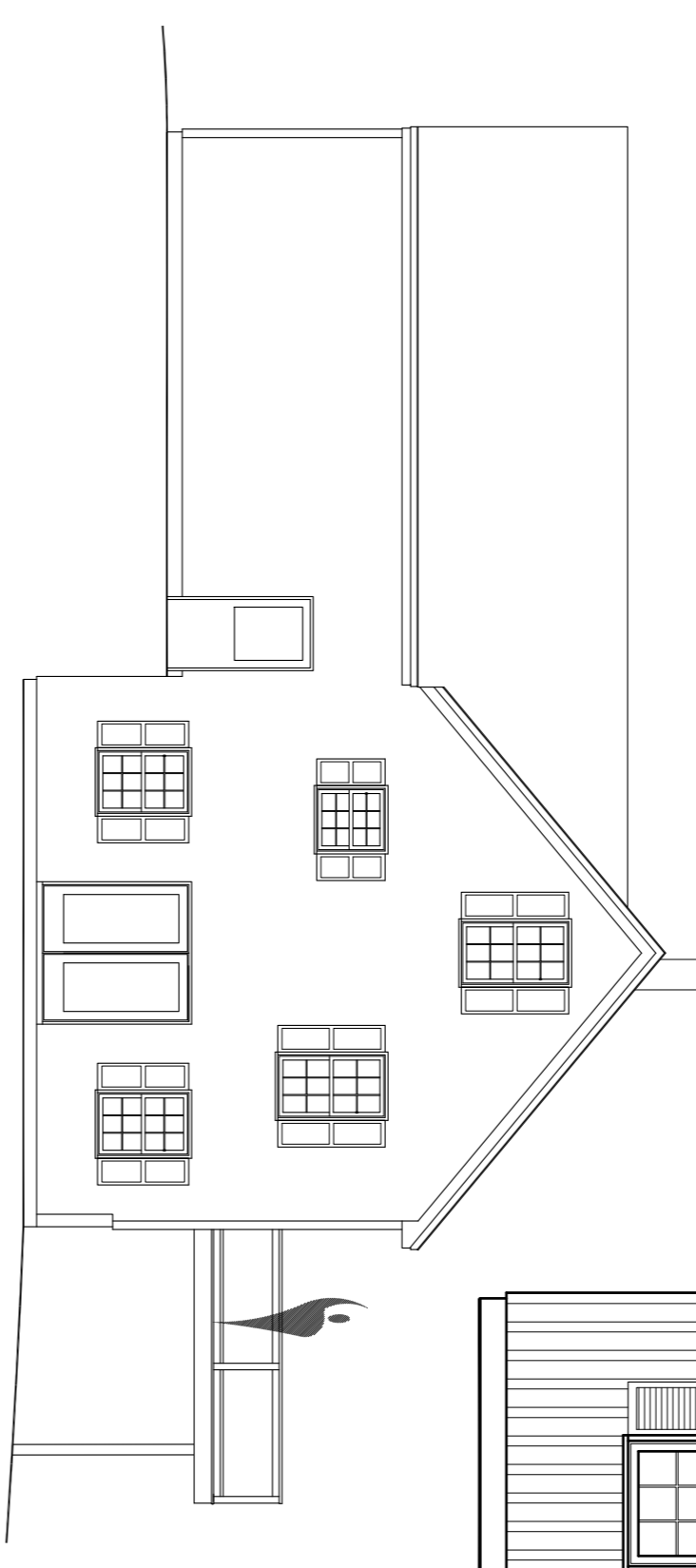
Section A



Section B



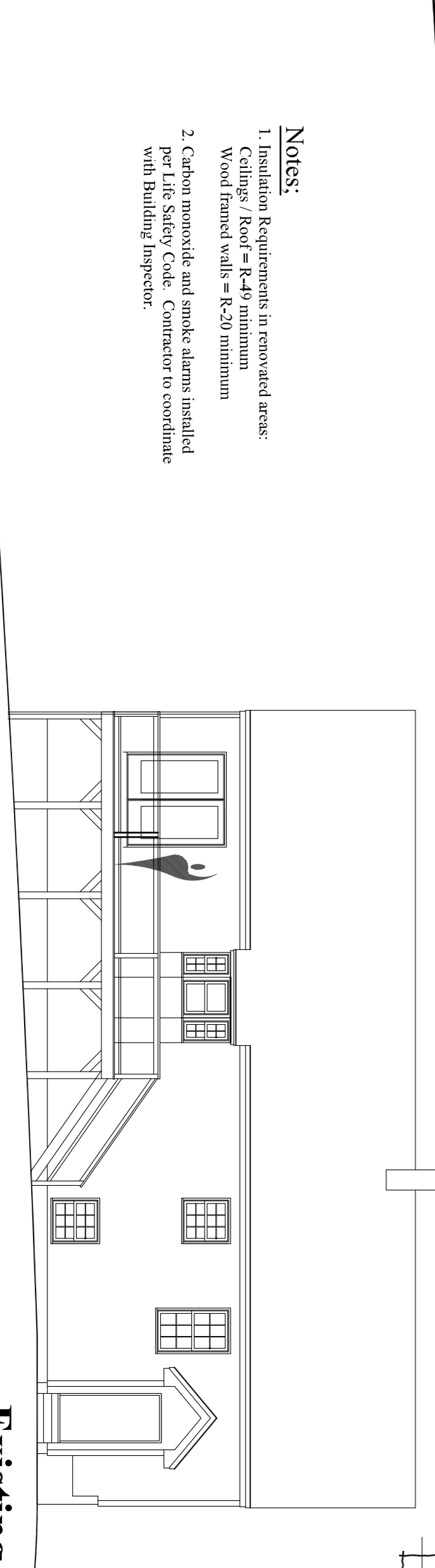
Right Elevation
Scale: 1/4"=1'-0"



Existing



Rear Elevation
Scale: 1/4"=1'-0"



Existing

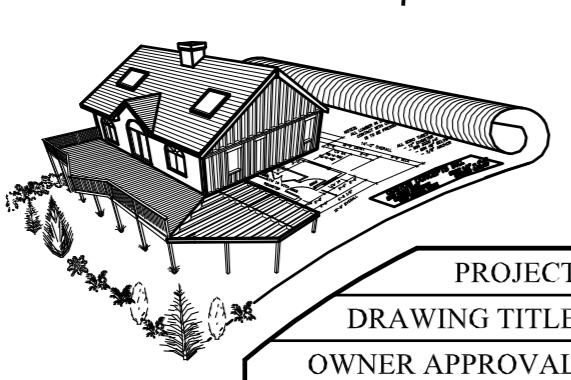
- NOTES:**
1. Insulation Requirements in renovated areas:
Ceilings / Knees = R-49 minimum
Wood framed walls = R-50 minimum
 2. Carbon monoxide and smoke alarms installed per Life Safety Code. Contractor to coordinate with Building Inspector.

CUSTOM CONCEPTS, INC.
ARCHITECTURE
383 U.S. ROUTE 1, SUITE 1a - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM

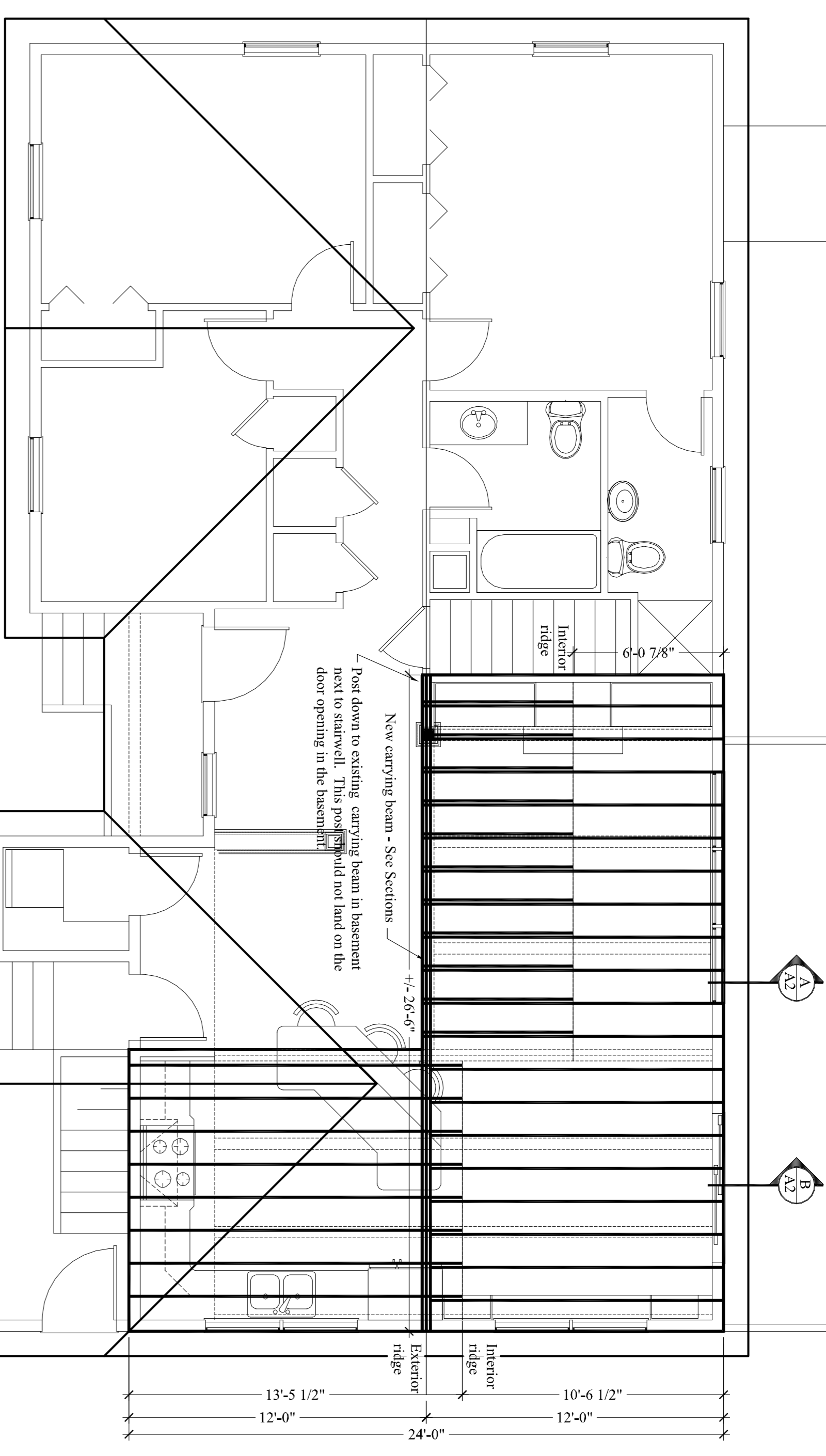
PROJECT: Renovations to the Allen Residence
JOB NUMBER: 9273-14
DRAWING TITLE: Sections, Right and Rear Elevations
DRAWN BY: MER
OWNER APPROVAL: _____
SCALE: As noted

Preliminary Design
 Design Development
 Contract Documents
CLIENT REVIEW ONLY - NOT FOR CONSTRUCTION
CLIENT REVIEW AND COST ESTIMATING
FOR PERMITS, BIDS, AND CONSTRUCTION

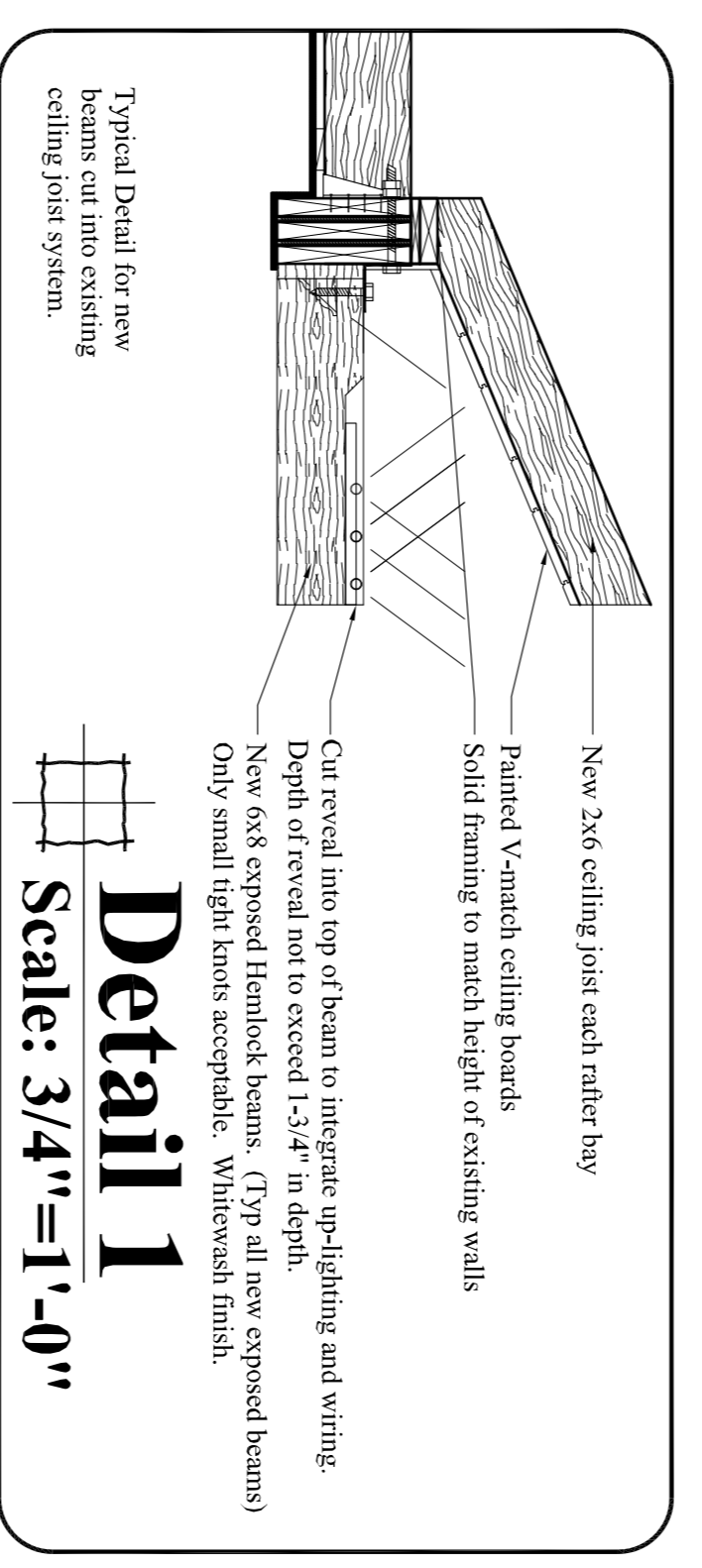
NO.	DATE	DESCRIPTION



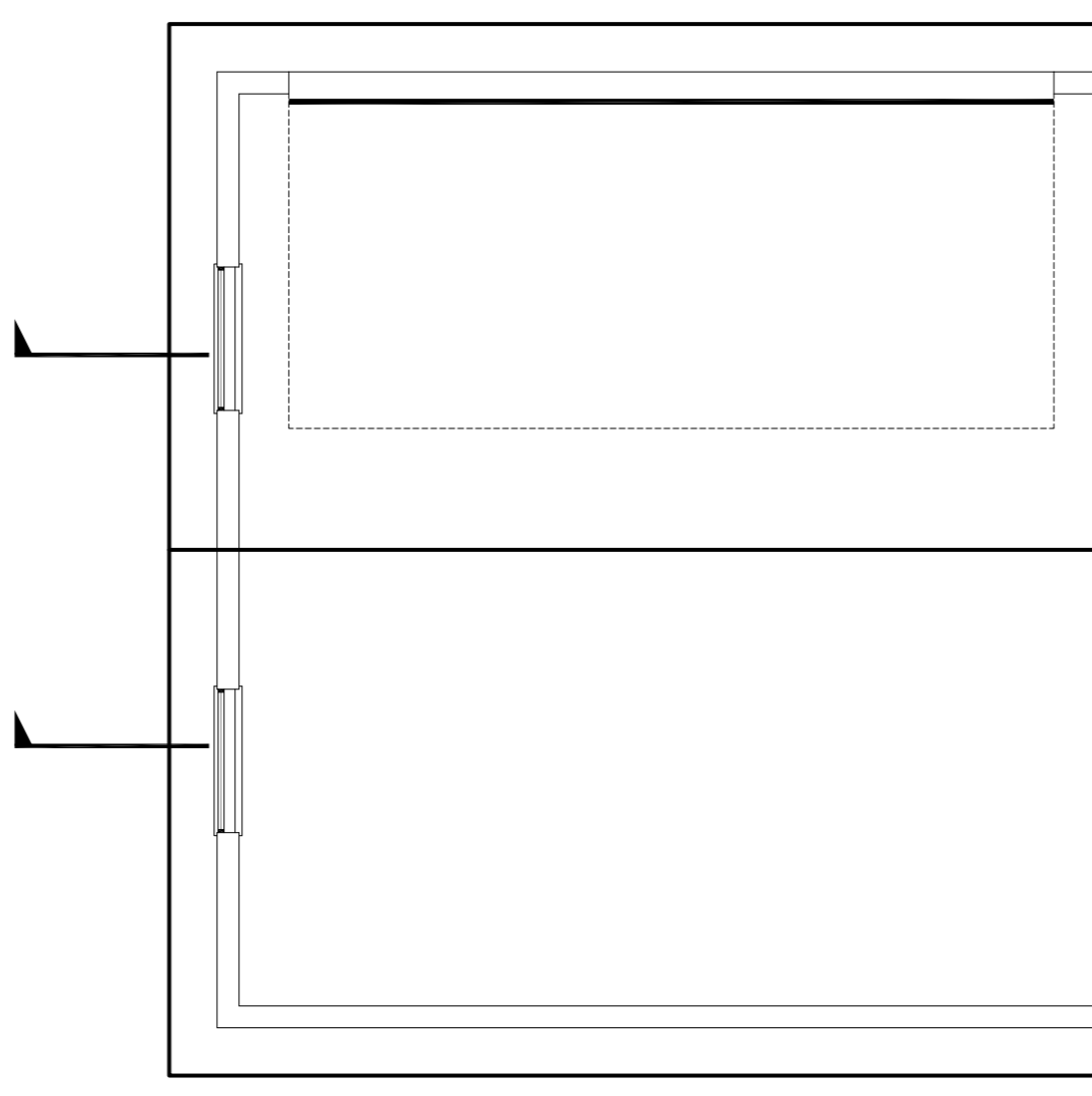
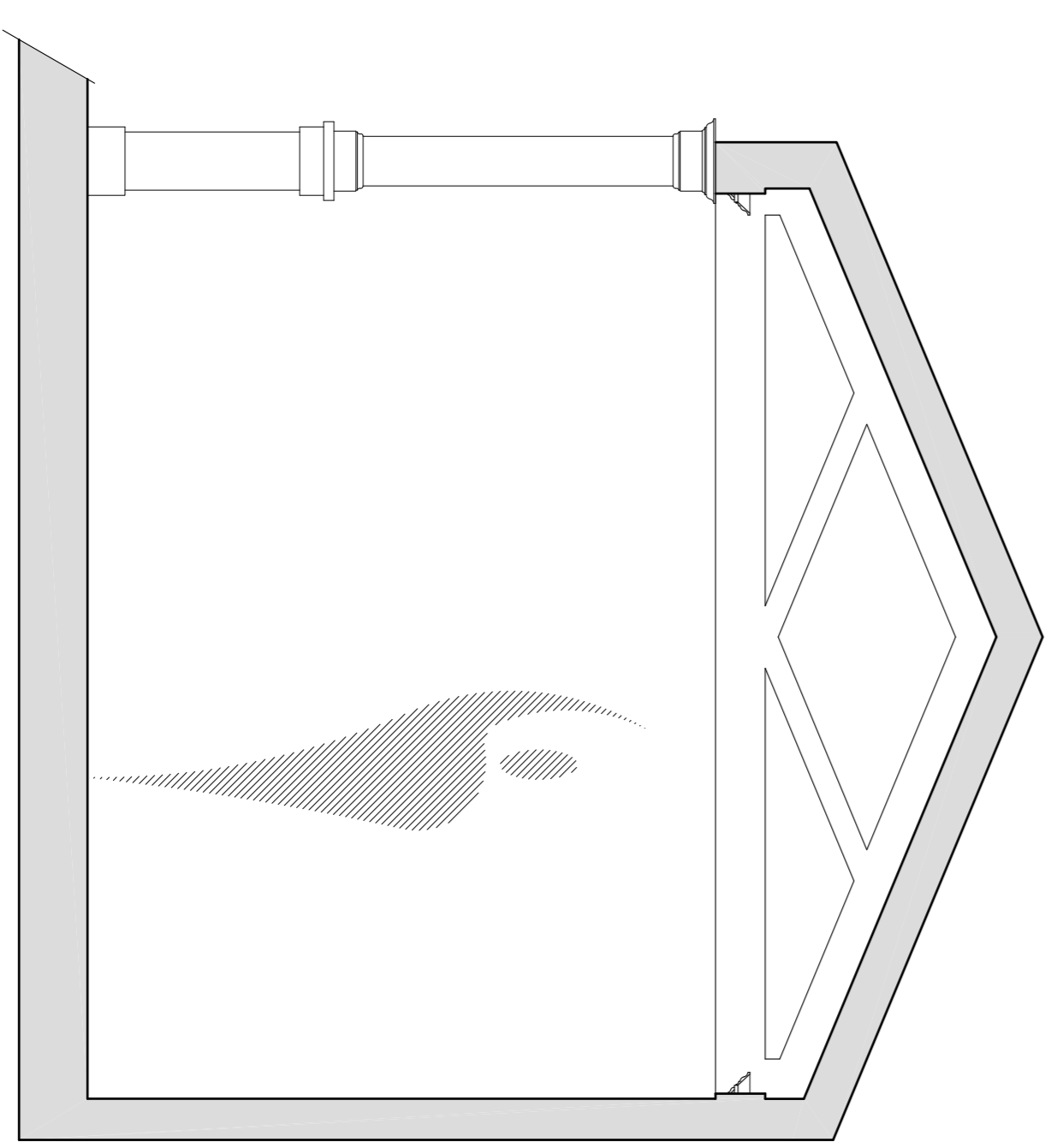
DATE: Jan 2, 2015
A2



Framing Plan
Scale: 1/4"=1'-0"



Detail 1
Scale: 3/4"=1'-0"



Reflected Ceiling Plan
Scale: 1/4"=1'-0"

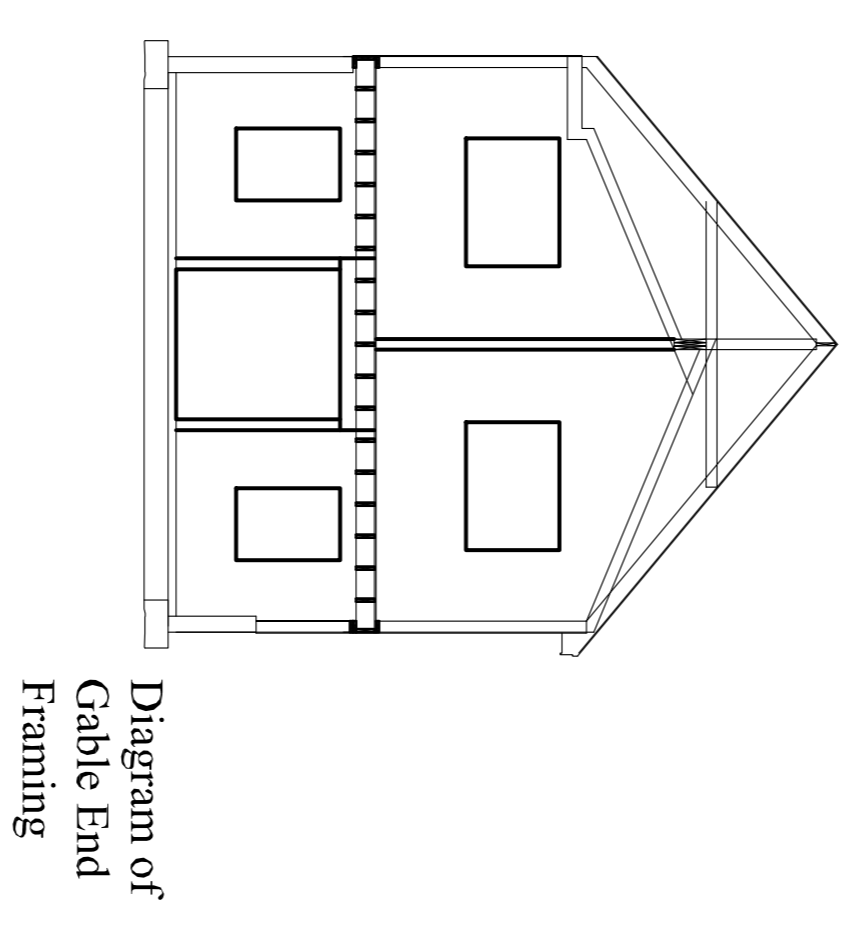
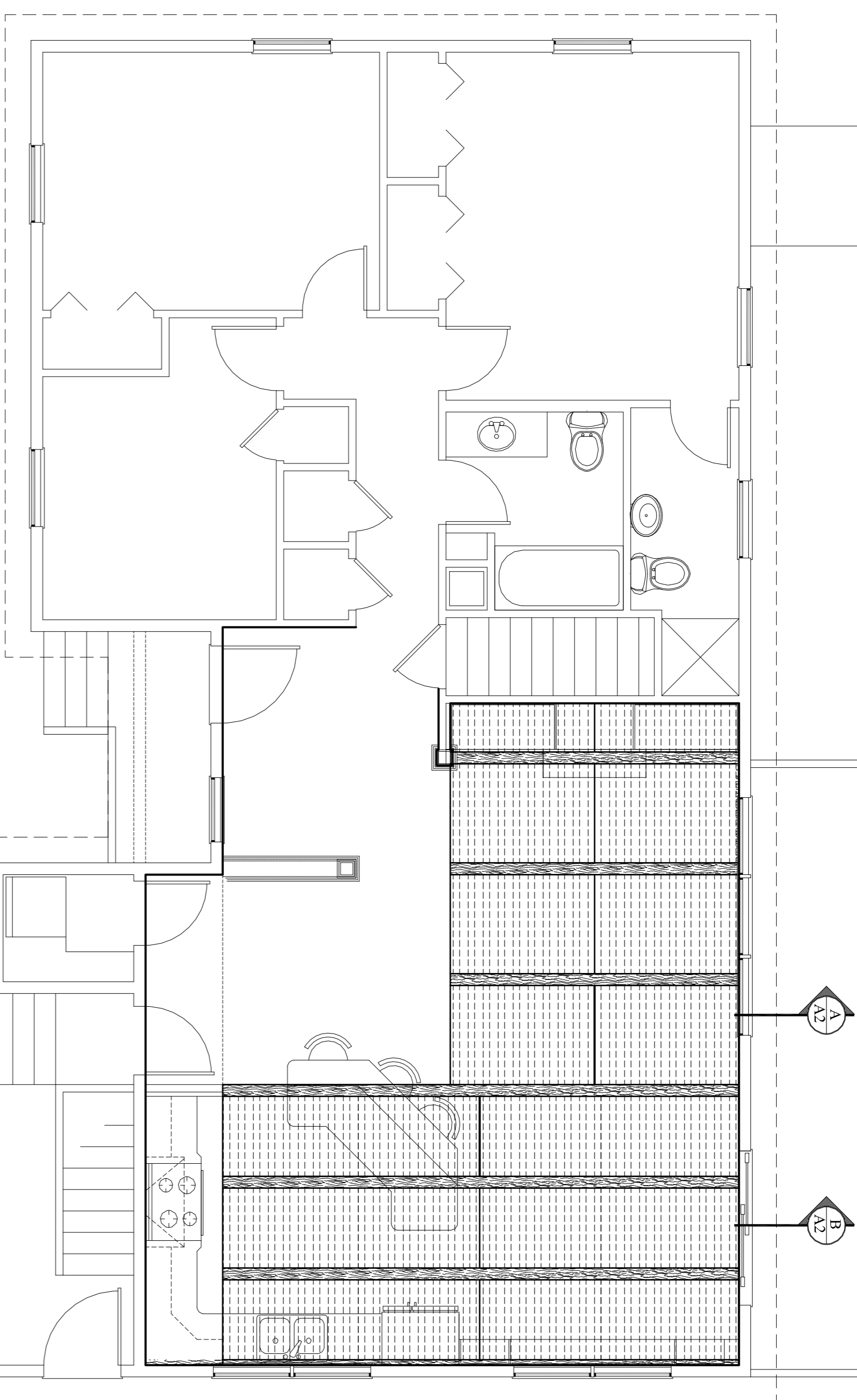
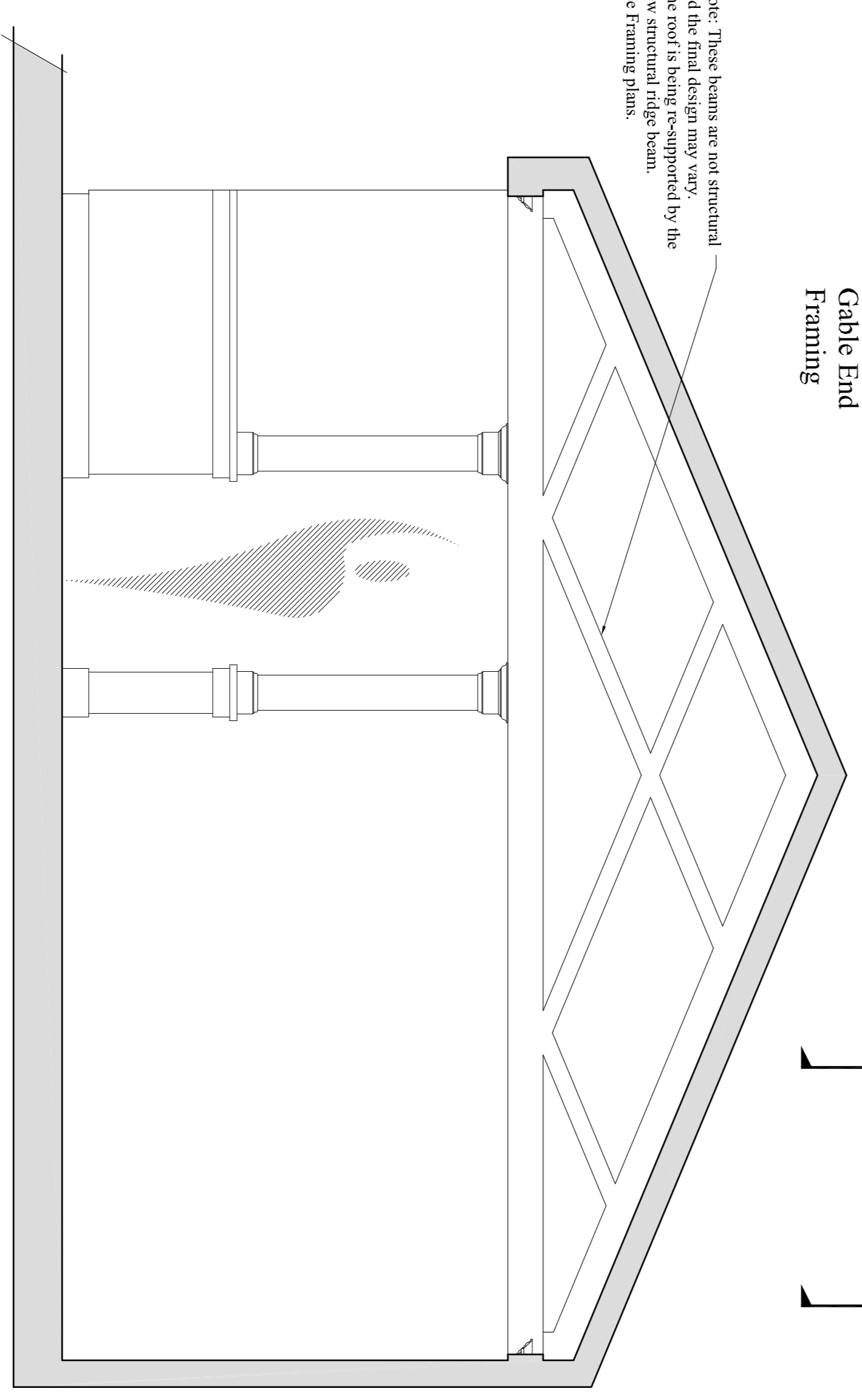


Diagram of Gable End Framing



Interior Beams / Built-in
Scale: 1/2"=1'-0"



Note: These beams are not structural and the final design may vary. The roof is being re-supported by the new structural ridge beam. See Framing plans.

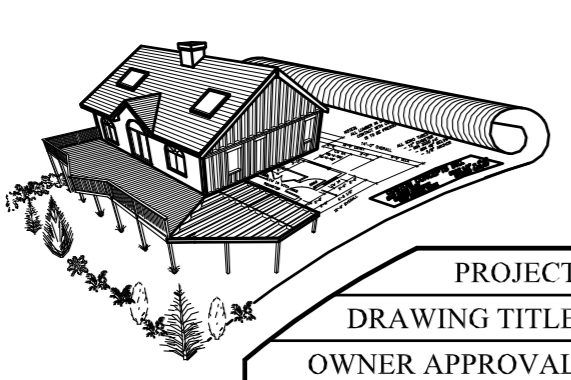
CUSTOM CONCEPTS, INC.

ARCHITECTURE
383 U.S. ROUTE 1, SUITE 1a - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM

PROJECT: Renovations to the Allen Residence JOB NUMBER: 9273-14
DRAWING TITLE: Framing, Reflected ceiling, interior details DRAWN BY: MER
OWNER APPROVAL: SCALE: As noted

Preliminary Design Design Development Contract Documents
CLIENT REVIEW ONLY - NOT FOR CONSTRUCTION CLIENT REVIEW AND COST ESTIMATING FOR PERMITS, BIDS, AND CONSTRUCTION

NO.	DATE	DESCRIPTION
REVISIONS		



A3

DATE: Jan 2, 2015



Acknowledgment of Code Compliance Responsibility- Fast Track Project



I, Michael Clifford am the owner or duly authorized owner's agent of the property listed below
Print Legal Name

60 Eastfield Rd., Portland, ME 04102
Physical Address

I am seeking a permit for the construction or installation of:

INTERIOR RENOVATIONS, COSMETIC FINISHES, NEW KITCHEN, SOME WINDOWS

DOORS, COSMETIC FINISHES TO EXTERIOR
Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a OWNERS AGENT of the below listed property and by so doing will assume
Owner or Owner's Agent
responsibility for compliance with all applicable codes, bylaws, rules and regulations.

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. MC INITIAL HERE

Sign Here: Michael Clifford
Owner or Owner's Authorized Agent

Date: 1/6/15

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE



Acknowledgment of Code Compliance Responsibility- Fast Track Project

OFFICE USE ONLY



PERMIT # _____

CSL # _____

THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

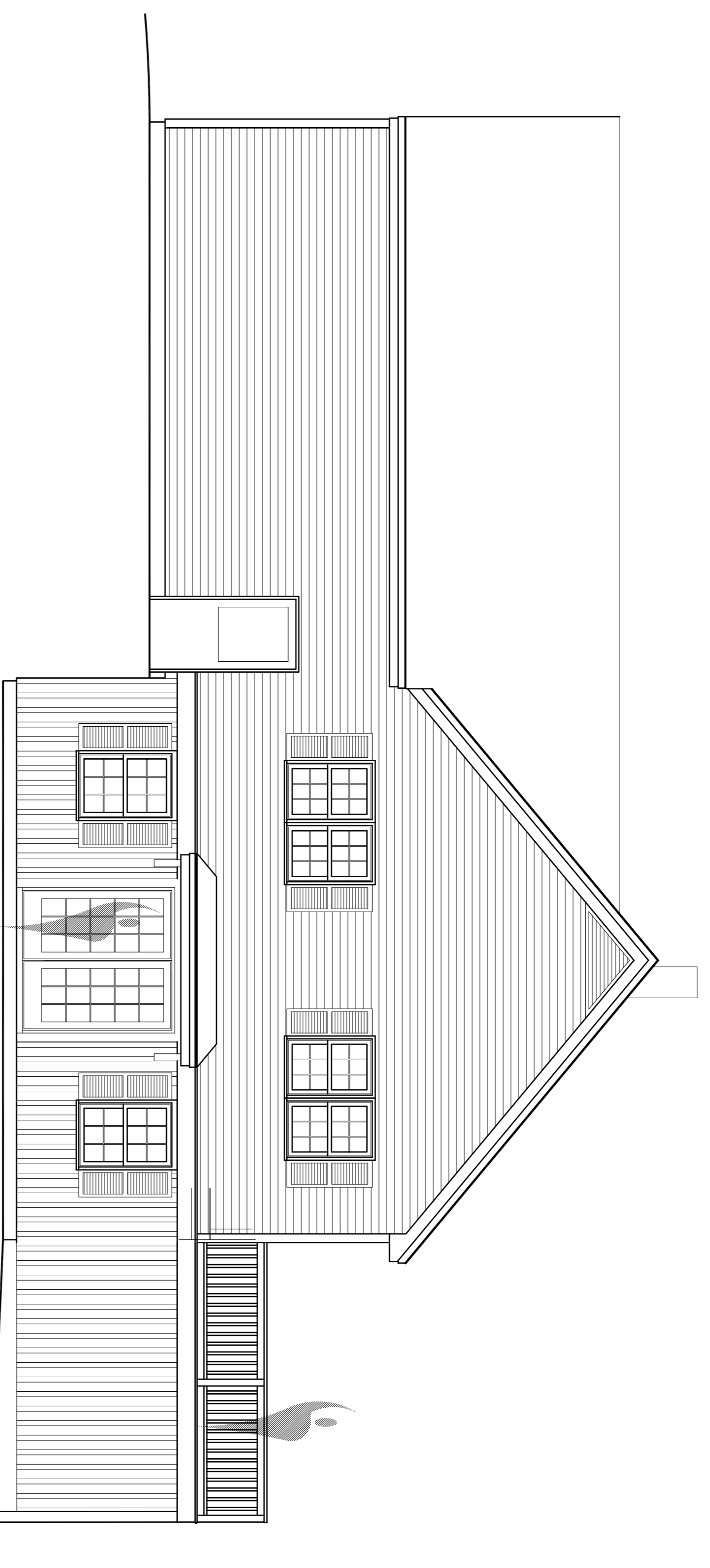
- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares)
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: Michael Clifford
Owner or Owner's Authorized Agent

Date: 1/6/15

RENOVATIONS to the *Allen Residence* PORTLAND, ME



Presentation Only. Not to scale. See plans.

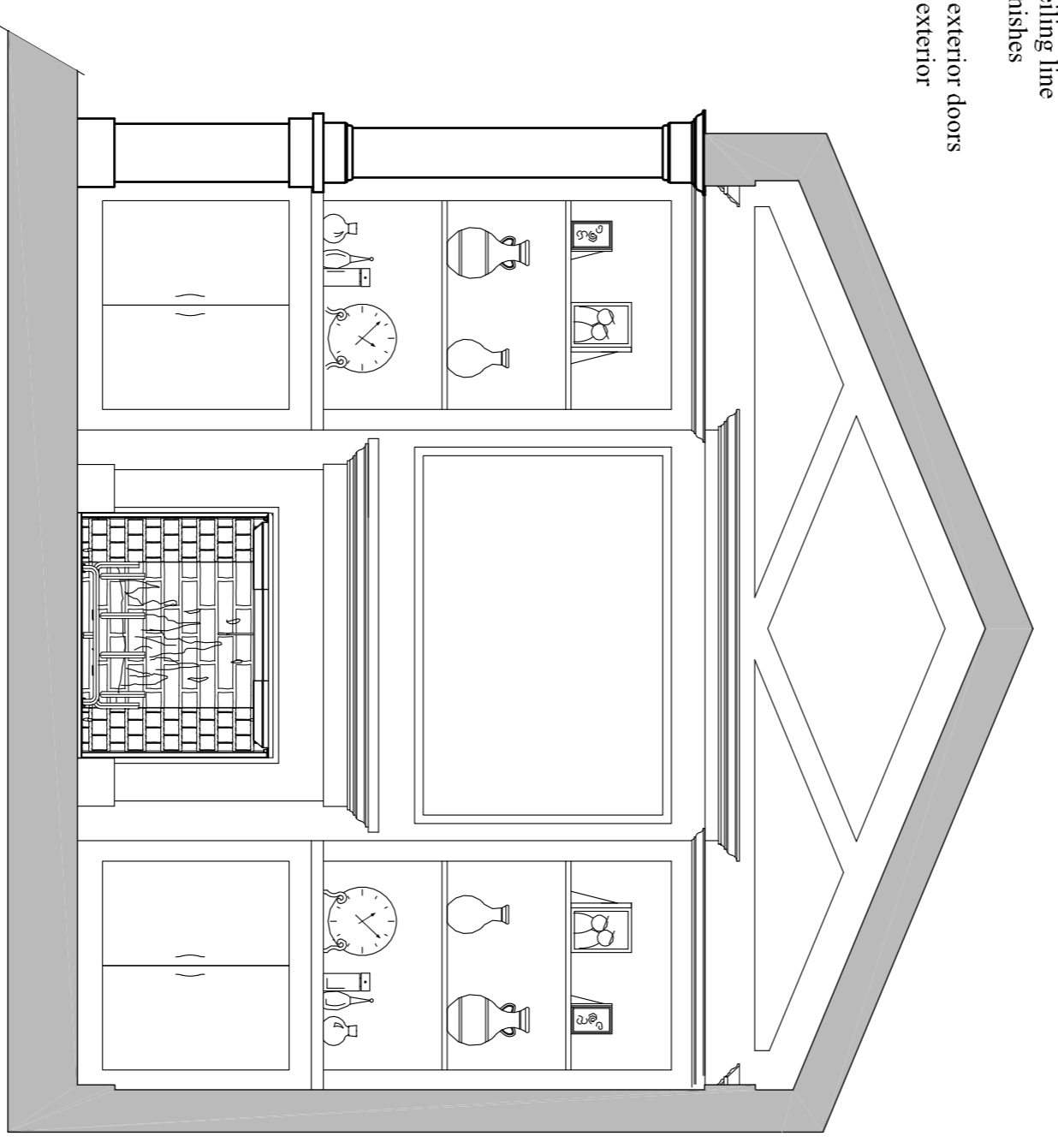
General Notes regarding the role of Custom Concepts Inc.,

1. Custom Concepts' release and Owner's acceptance of these documents indicates cooperation among the Owner, the Building Contractor, and Custom Concepts. Although Custom Concepts has performed its services with due care and diligence, it cannot guarantee perfection. Any errors, omissions, or discrepancies discovered by the use of these documents shall be reported to Custom Concepts. Failure to do so by simple notice to Custom Concepts shall relieve Custom Concepts from any responsibility of the consequences.
2. Custom Concepts admonishes the Contractor and Owner not to scale these drawings, and to ensure that all work requiring measuring be done according to figures on the drawings. Any missing dimensions will be furnished upon request to Custom Concepts. It is the Contractor's obligation to verify all dimensions on site, including verification of requisite dimensions prior to the fabrication of structural items. Any discrepancies in the drawings or between existing conditions and the drawings must be reported to Custom Concepts.
3. Custom Concepts has designed the structure to be self-supporting and stable after the building is fully completed. However, the erection procedures and sequence including the design adequacy and safety of erection bracing, shoring, re-shoring, temporary supports, etc., are the sole responsibility of the Contractor.

General Notes regarding the role of the Contractor:

1. The Contractor shall provide a written proposal/contract with detailed descriptions that includes, but is not limited to, the following:
 - a. Owner's name & Building Address
 - b. Contractor's contact information
 - c. Scope of Work
 - d. Proof of Insurance
 - e. Payment Terms
 - f. Construction Schedule
 - g. Description of Warranty
2. The Contractor shall perform all work in a safe and workmanlike manner, and in compliance with all applicable local and federal codes, ordinances, and regulations, including federal laws regarding labor and occupational safety and health, and all proper inspection procedures.
3. The Contractor shall ensure that proper erection procedures and sequencing are followed to ensure the stability and safety of the building and it's components during construction. This includes utilizing shoring, temporary bracing, tie downs etc. as required.
4. The Contractor shall keep the construction area safe, and free and clear of debris. All debris must be disposed of properly as required by local jurisdiction.
5. The Contractor shall ensure that each sub-contractor has his own full set of drawings. Each sub-contractor is responsible for having a thorough knowledge of all drawings and specifications in his related field. Each sub-contractor shall do his own cutting, fitting, patching, etc. to make all parts come together properly. Each sub-contractor shall interface as required for complete and proper execution of the work as indicated on the construction documents.
6. The Contractor shall ensure that all directions and proper storage procedures are followed as to maintain all product manufacturer's warranties and shall further ensure that all product warranties shall be properly submitted to the manufacturer and furnished to the Owner.
7. The Contractor shall assess the building environment, suggest changes as required to ensure weather-tight construction, and construct a weather-tight structure. The waterproofing and roofing systems, roof ventilation and insulation systems shown on these drawings are based on general industry standard practices. All buildings require snow removal & maintenance. The architect is not responsible for leaking structures.

- OWNER:** Anne Allen
- BUILDING ADDRESS:** 60 Eastfield Road
Portland, ME
- ARCHITECTURE:** Custom Concepts Inc. Architecture
383 US Route One, Suite 1A
Saco, ME 04072
(207) 883-0083
- STRUCTURAL:** Shelley Engineering Inc.
PO Box 1030
Gray, ME 04039
(207) 329-4504
- Project Overview:**
Project consists of the following:
- Interior renovations to raise a portion of the existing interior ceiling line
- New interior cosmetic finishes
- New kitchen
- Some new windows and exterior doors
- Cosmetic changes to the exterior
- LIST OF DRAWINGS:**
Cover Sheet (this sheet)
A1 - Main & Lower Floorplans
A2 - Sections, Right and Rear Elevations
A3 - Framing, Reflected ceiling, interior details

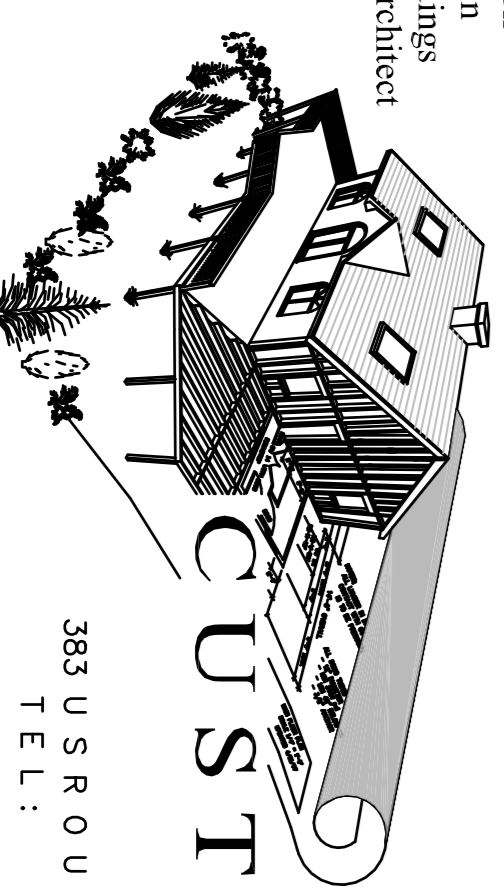


Presentation Only. Not to scale. See plans.

General Notes:

1. Notes and details on drawings shall take precedence over general structural notes and typical details. Where no details are shown, construction shall conform to similar work on the project, and/or as provided for in the contract documents.
2. Options are provided for the convenience of the Owner and Contractor. If an option is chosen, the Contractor shall be responsible for all necessary changes, approvals and the coordination of the work with all related trades and suppliers.
3. Load shall not exceed the design load per square foot. Construction materials shall be spread out if placed on framed construction. Consult architect for situations that involve large temporary loads.
4. Any changes to the contract between the Contractor and Owner must be in the form of a written Change Order. All Change Orders must clearly describe the desired changes, the changes impact on the project, how the change might affect other elements of the project, and how and when Owner will compensate the Contractor for the change. Consult with Architect prior to any changes to the site, structure, or shell of the building to ensure that all changes maintain code compliance.

Released January 2, 2015



CUSTOM CONCEPTS, INC.
ARCHITECTURE
383 US ROUTE ONE-SUITE 1A - SCARBOROUGH, MAINE 04074
TEL: (207) 883-0083
WWW.CUSTOMCONCEPTSINC.COM



Jeff Levine, AICP, Director
Planning & Urban Development Department

Tammy Munson, Director
Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.

Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.

I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: *Michael Clifford*

Date: 1/6/15

I have provided digital copies and sent them on:

Date: 1/6/15

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 60 Eastfield Rd., Portland, ME.		
Total Square Footage of Proposed Structure: 1800		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 194 C 52	Applicant Name: Address: Michael Clifford City, State & Zip: 25 Old Blue Pt. Rd., Scarborough ME 04074	Telephone: 899-9450 Email: MWClifford207@gmail.com
Lessee/Owner Name: ANNE D ALLEN (if different than applicant) Address: 60 Eastfield Rd. City, State & Zip: Portland, ME, 04102 Telephone: 802-484-9772 E-mail: 198GREENACRES@COMCAST.NET	Contractor Name: (if different from Applicant) ↑ Address: SAME AS ABOVE City, State & Zip: Telephone:	Cost Of Work: \$ 75,000.00 C of O Fee: \$ Historic Rev \$ Total Fees : \$ 75,000.00
Current use (i.e. single family) Single Family		
If vacant, what was the previous use?		
Proposed Specific use: Single Family		
Is property part of a subdivision? ___ If yes, please name		
Project description: INTERIOR RENOVATIONS, COSMETIC FINISHES, NEW KITCHEN SOME WINDOWS & DOORS, COSMETIC FINISHES TO EXTERIOR		
Who should we contact when the permit is ready: Michael Clifford		
Address: 25 Old Blue Pt. Rd.		
City, State & Zip: Scarborough, ME 04074		
E-mail Address: MWClifford207@gmail.com		
Telephone: 207-899-9450		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael Clifford Date: 1/6/15

This is not a permit; you may not commence ANY work until the permit is issued.



Jeff Levine, AICP, Director
Planning & Urban Development Department

Tammy Munson, Director
Inspections Division

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

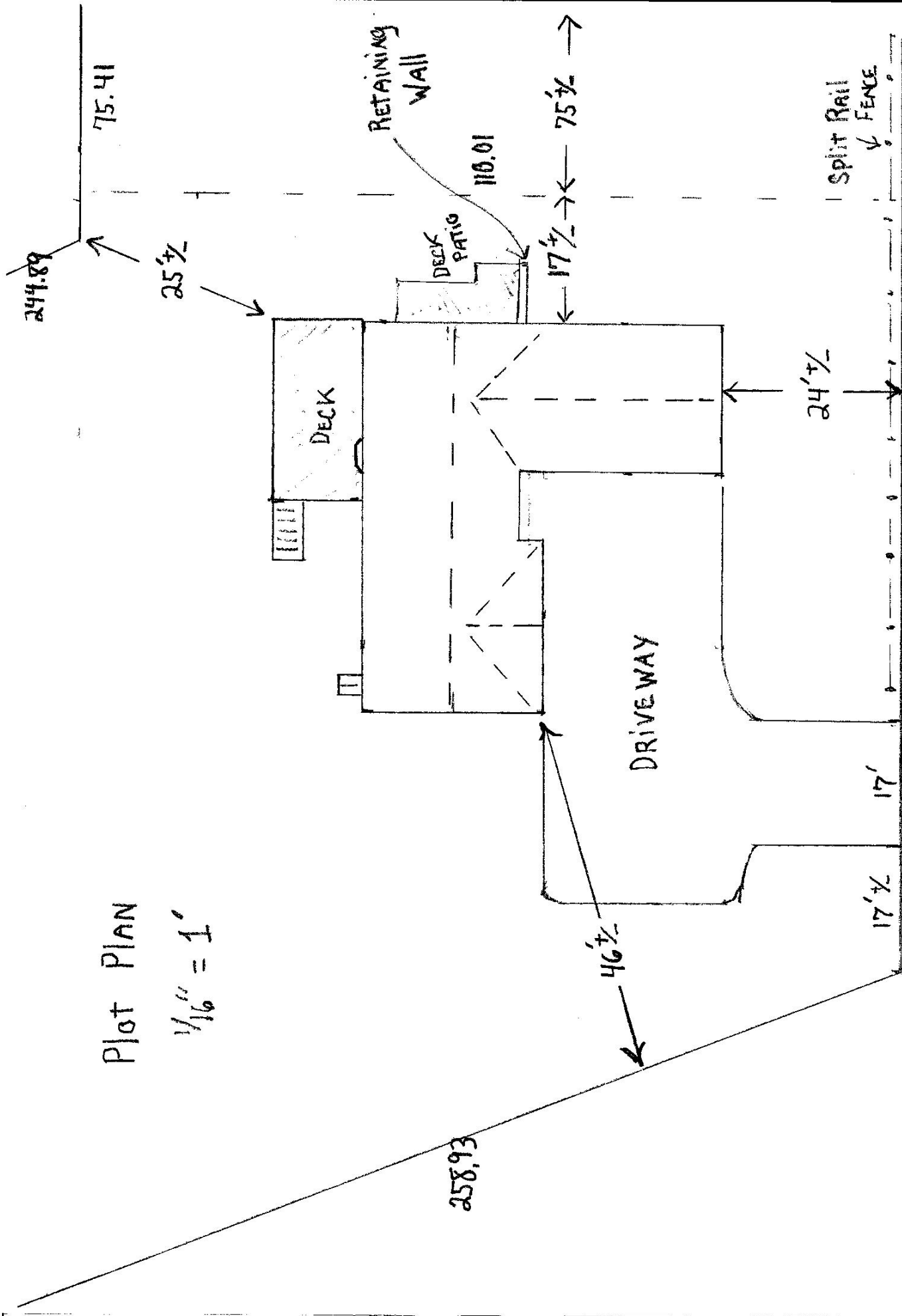
- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.**

389 Congress Street * Portland Maine 04101-3509 * Phone: (207) 874-8703 * Fax: (207) 874-8716
<http://www.portlandmaine.gov/planning/buildinsp.asp> * E-Mail: buildinginspections@portlandmaine.gov



103.69



Current Owner Information:

CBL 194 C052001
Land Use Type SINGLE FAMILY
 Verify legal use with
 Inspections Division
Property Location 60 EASTFIELD RD
Owner Information ALLEN ANNE D
 60 EASTFIELD RD
 PORTLAND ME 04102
Book and Page 31817/272
Legal Description 194-C-52
 EASTFIELD RD 56-62
 38786 SF
Acres 0.8904

Current Assessed Valuation:

TAX ACCT NO.	28386	OWNER OF RECORD AS OF APRIL 2014
LAND VALUE	\$121,100.00	BAILLARGEON VERN D
BUILDING VALUE	\$167,300.00	60 EASTFIELD RD
HOMESTEAD EXEMPTION	(\$10,000.00)	PORTLAND ME 04102
NET TAXABLE - REAL ESTATE	\$278,400.00	
TAX AMOUNT	\$5,568.00	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Building 1

Year Built 1995
Style/Structure Type RANCH
Stories 1
Units 1
Bedrooms 3
Full Baths 3
Total Rooms 9
Attic NONE
Basement FULL
Square Feet 1800

[View Sketch](#) [View Map](#) [View Picture](#)

Sales Information:

Sale Date	Type	Price	Book/Page
10/1/2014	LAND + BUILDING	\$338,500.00	31817/272
3/30/2005	LAND + BUILDING	\$329,200.00	22471/113
8/24/2004	LAND + BUILDING	\$318,000.00	21702/124
5/19/1994	LAND	\$45,000.00	11444/179