

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 091260

PERMIT ISSUEDPlease Read
Application And
Notes, If Any,
AttachedThis is to certify that St Joseph's Convent & /Beaver Building & Improvementhas permission to Replace handicap ramp.

DEC 18 2006

AT 27 Capisic St

CB 1194 B005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise raised-in. 24 HOUR NOTICE IS REQUIRED.

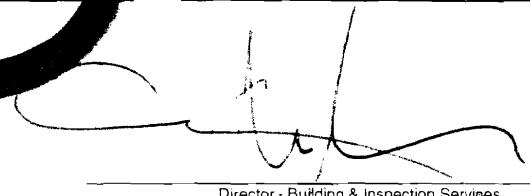
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Director - Building & Inspection Services
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1360	Issue Date:	CBL: 194 B005001
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Location of Construction: 27 Capisic St	Owner Name: St Joseph's Convent &	Owner Address: 605 Stevens Ave	Phone:
Business Name:	Contractor Name: Beaver Building & Backyard Impro <i>632-8711</i>	Contractor Address: 130C Thadeu St. So. Portland	Phone: 2076994239
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Past Use: Commercial / Fraternal Hall	Proposed Use: Fraternal Hall / Replace handicap ramp.	Permit Fee: \$240.00	Cost of Work: \$21,890.00	CEO District: 3
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Proposed Project Description: Replace handicap ramp.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>✓</i> Type: <i>Ramp</i>
	Signature: <i>B. Wallace</i>	Signature: <i>[Signature]</i>
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: gg	Date Applied For: 11/24/2009	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>12/4/09</i>	Date:	Date: <i>12/4/09</i>

PERMIT ISSUED

DEC 18 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1360	Date Applied For: 11/24/2009	CBL: 194 B005001
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Location of Construction: 27 Capisic St	Owner Name: St Joseph's Convent &	Owner Address: 605 Stevens Ave	Phone:
Business Name:	Contractor Name: Beaver Building & Backyard Impro	Contractor Address: 130C Thadeu St. So. Portland	Phone (207) 699-4239
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Fraternal Hall / Replace handicap ramp.	Proposed Project Description: Replace handicap ramp.
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 12/04/2009
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 12/18/2009
Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 12/11/2009
Note: **Ok to Issue:**

- 1) Hand rails shall be installed on each side per NFPA 101-7.
- 2) All construction shall comply with NFPA 101

Comments:
12/4/2009-mes: WAIT for the site plan exemption sign-off

PAUL BEAVER

632-8991

Alex Beaver -
807-5705



Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: Caprice St. Handicap Ramp.

PROJECT ADDRESS: 37 Caprice St. Portland, ME.

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

Remove old wooden deck type Ramp to post footings ~~and to~~ for concrete ramp and enclose structure

CHART/BLOCK/LOT: _____

RECEIVED

CONTACT INFORMATION:

NOV 24 2009

OWNER/APPLICANT

Name: Sisters of Mercy
Address: 605 Stevens Ave.
Portland, ME.
Zip Code: 04103
Work #: 401-333-9145 x.132
Cell #: 401-265-9878
Fax #: Contact John Hiett
Home #: _____
E-mail: _____

CONSULTANT/AGENT

Name: Alex Beavis (Beavis Building) City of Portland Planning Division
Address: 130 e Thaddeus St.
S. Portland, ME.
Zip Code: 04106
Work #: 699-4239
Cell #: 807-5705
Fax #: _____
Home #: _____
E-mail: alex@beavisbuildinginc.com

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y (yes), N (no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>NO, slightly bigger</u>	<u>no</u>
b) Are there any new buildings, additions, or demolitions?	<u>yes</u>	<u>yes</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>NO</u>	<u>yes</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>NO</u>	<u>no</u>
e) Are the curbs and sidewalks in sound condition?	<u>yes</u>	<u>yes</u>
f) Do the curbs and sidewalks comply with ADA?	<u>yes</u>	<u>yes</u>
g) Is there any additional parking?	<u>NO</u>	<u>no</u>
h) Is there an increase in traffic?	<u>NO</u>	<u>no</u>
i) Are there any known stormwater problems?	<u>NO</u>	<u>no</u>
j) Does sufficient property screening exist?	<u>NO</u>	<u>yes</u>
k) Are there adequate utilities?	<u>NO</u>	<u>yes</u>

Planning Division Use Only

Exemption Granted with conditions Partial Exemption Exemption Denied

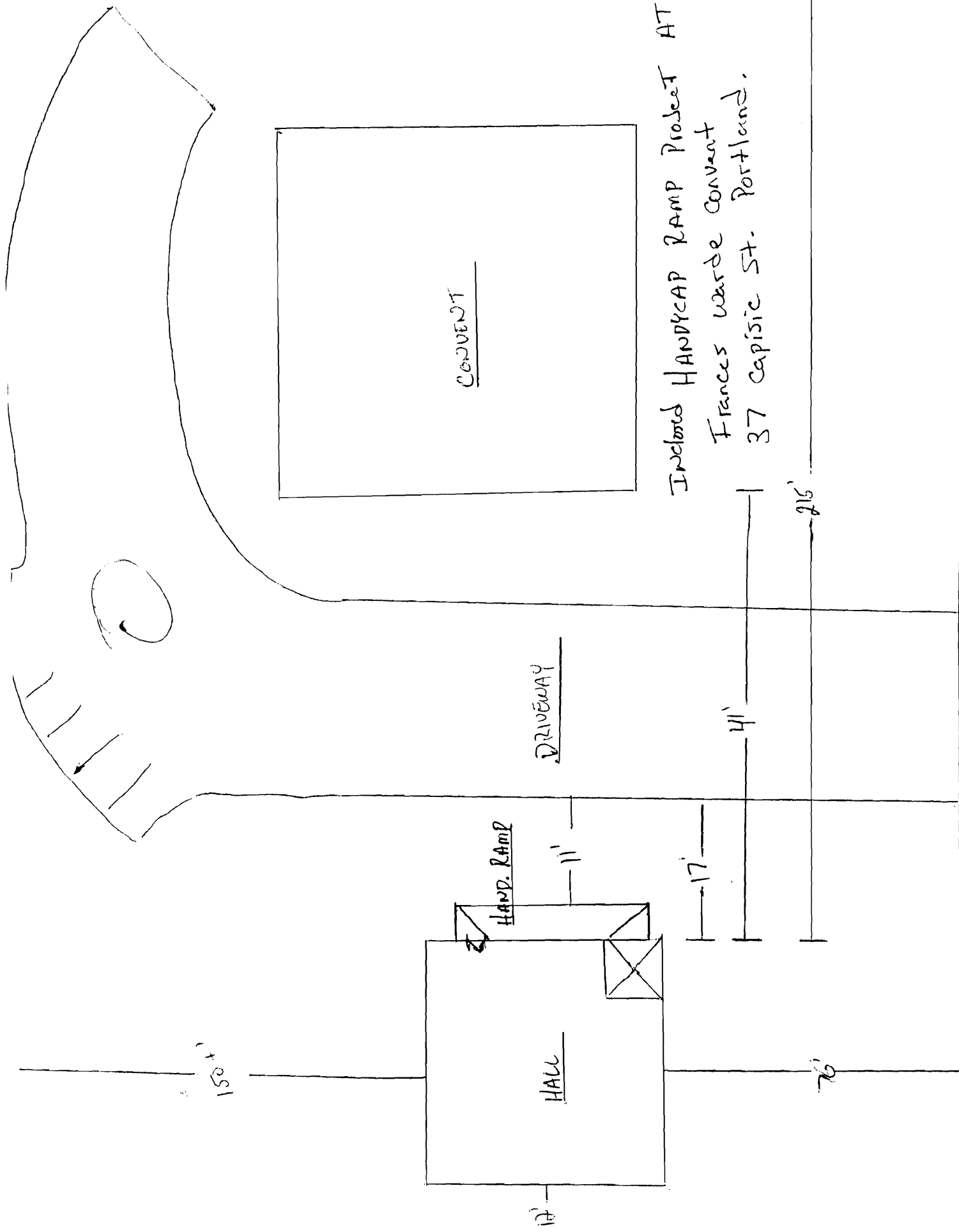
The applicant shall obtain all required building permits from Portland's Inspection Division

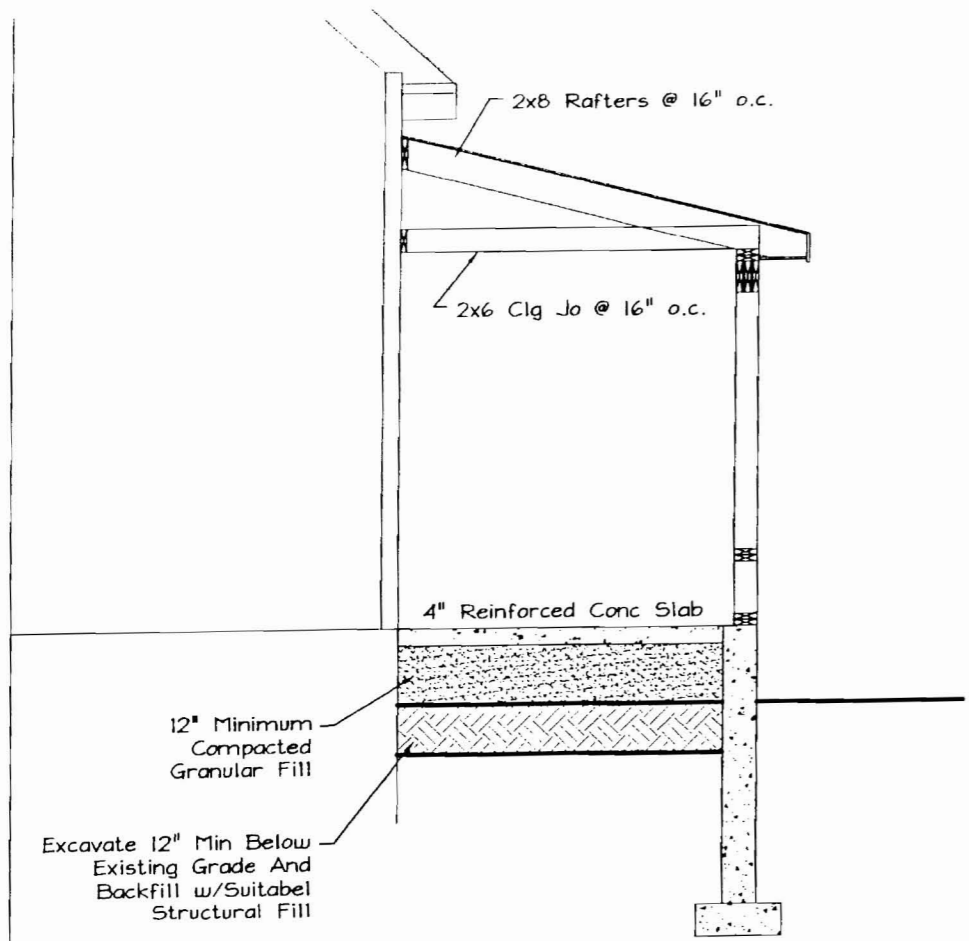
Planner's Signature Barbara Berlydt Date Dec 4, 2009

Planning Barbara Barhydt

December 4, 2009

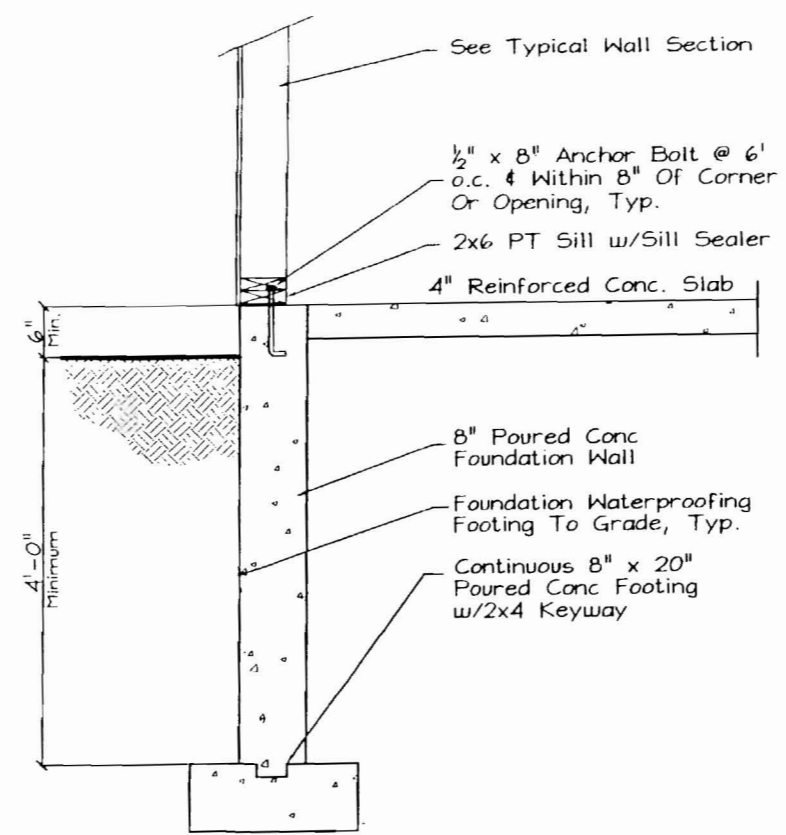
The request for an exemption from site plan review is granted with the one condition that the applicant obtain all required building permits from Portland's Inspection Division.





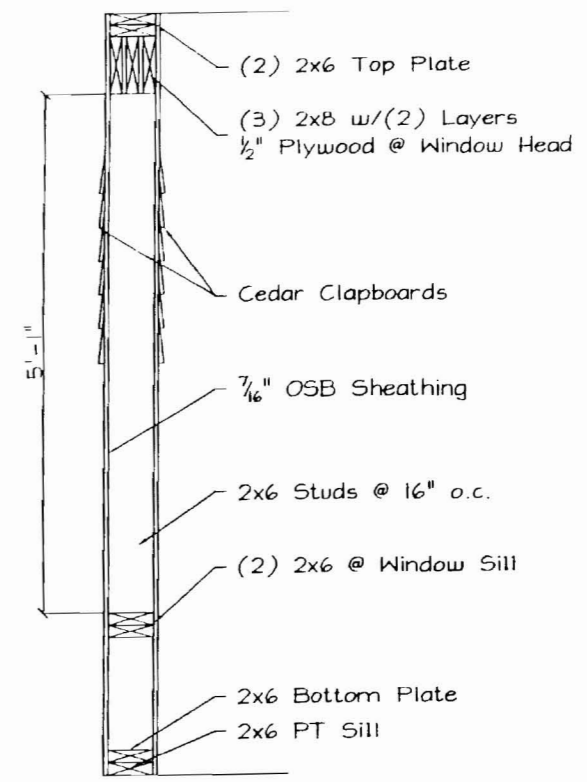
Section A-A

Scale: 3/8" = 1'-0"



Typ. Frost Wall

Scale: 3/4" = 1'-0"

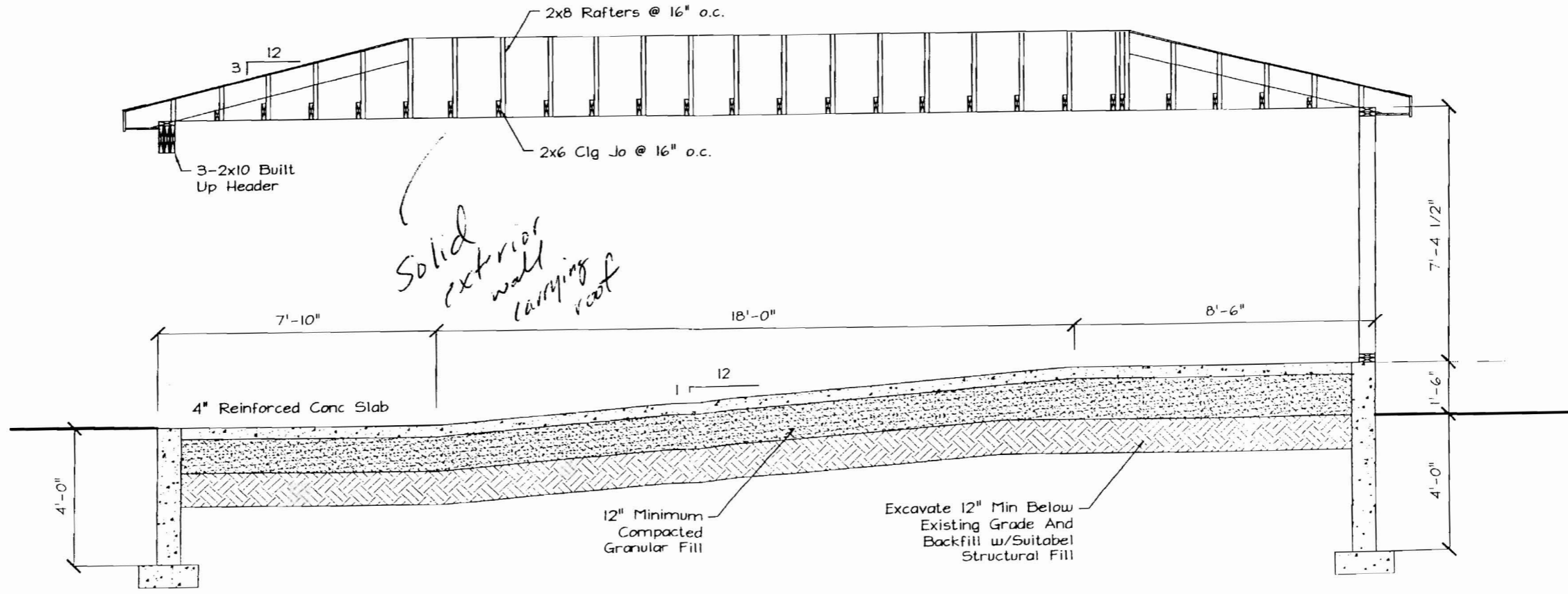


Typ. Exterior Wall

Scale: 3/4" = 1'-0"

House Roof Construction:
 Asphalt Shingles
 Ice & Water Shield
 1/2" CDX Plywood
 2x8 Rafters @ 16" o.c.

Eave/Fascia Construction:
 Ice & Water Shield
 8" Galvanized Dripedge
 Fascia To Match Existing
 Solid Soffit



Section B-B

Scale: 3/8" = 1'-0"

Drafting Plus is not a registered engineering firm. It is the responsibility of the general contractor to have structural beams sized and to ensure this home is built according to all state & local codes in effect at the time of construction.

Sisters Of Mercy Church
 Capasic Street
 Portland
 Maine

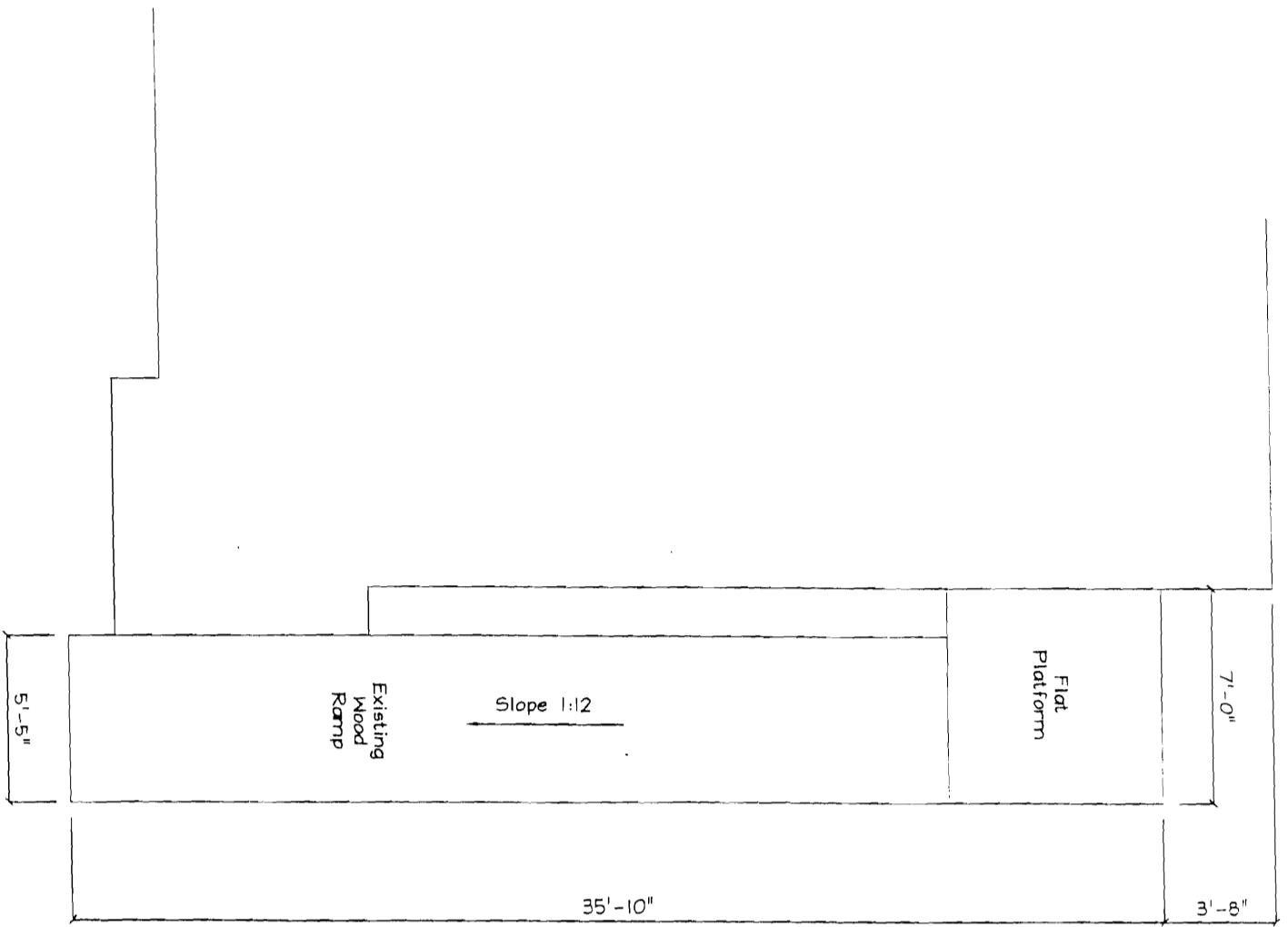
Revisions

DRAFTING PLUS
 ARCHITECTURAL
 DESIGN & DRAFTING
 BOWDOIN, ME
 207-282-7744
 SPECIALIZING IN YOUR DREAM HOME

Date:	6/29/09
Issued:	9/24/09
Dr. By:	John A. Perron
Sheet No.	2

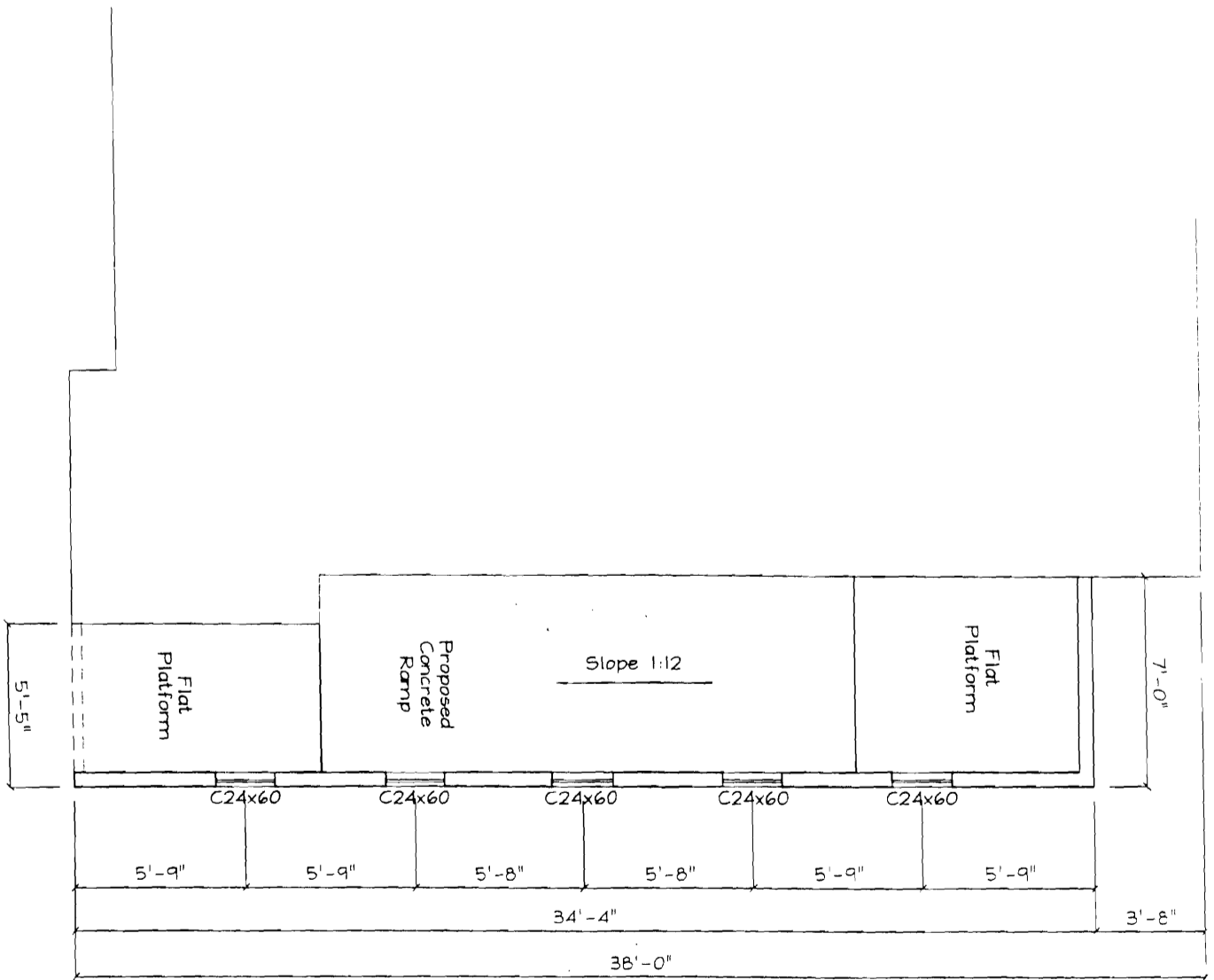
Scale: 1/4" = 1'-0"

Partial Existing Floor Plan



Scale: 1/4" = 1'-0"

Proposed Floor Plan



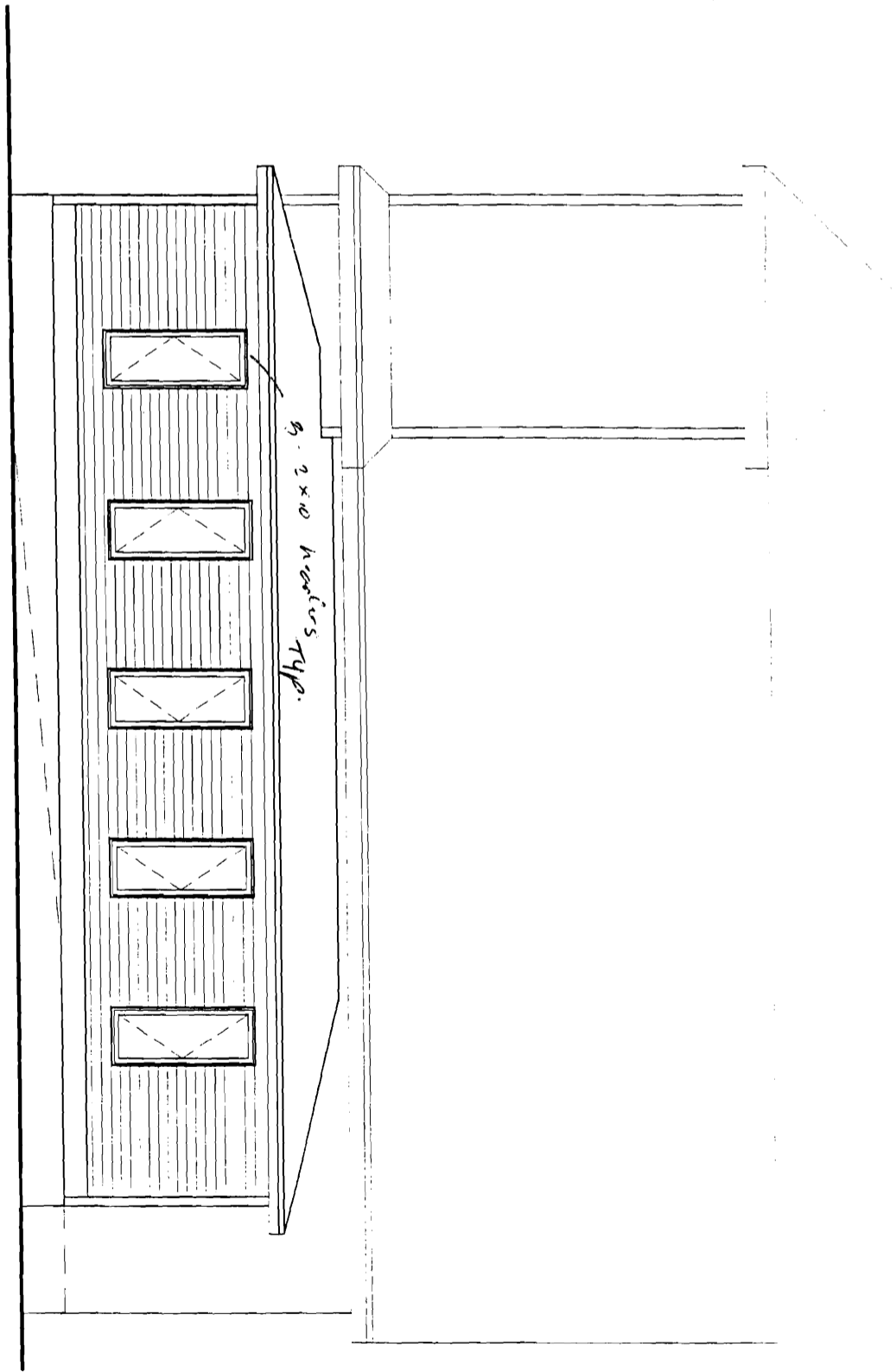
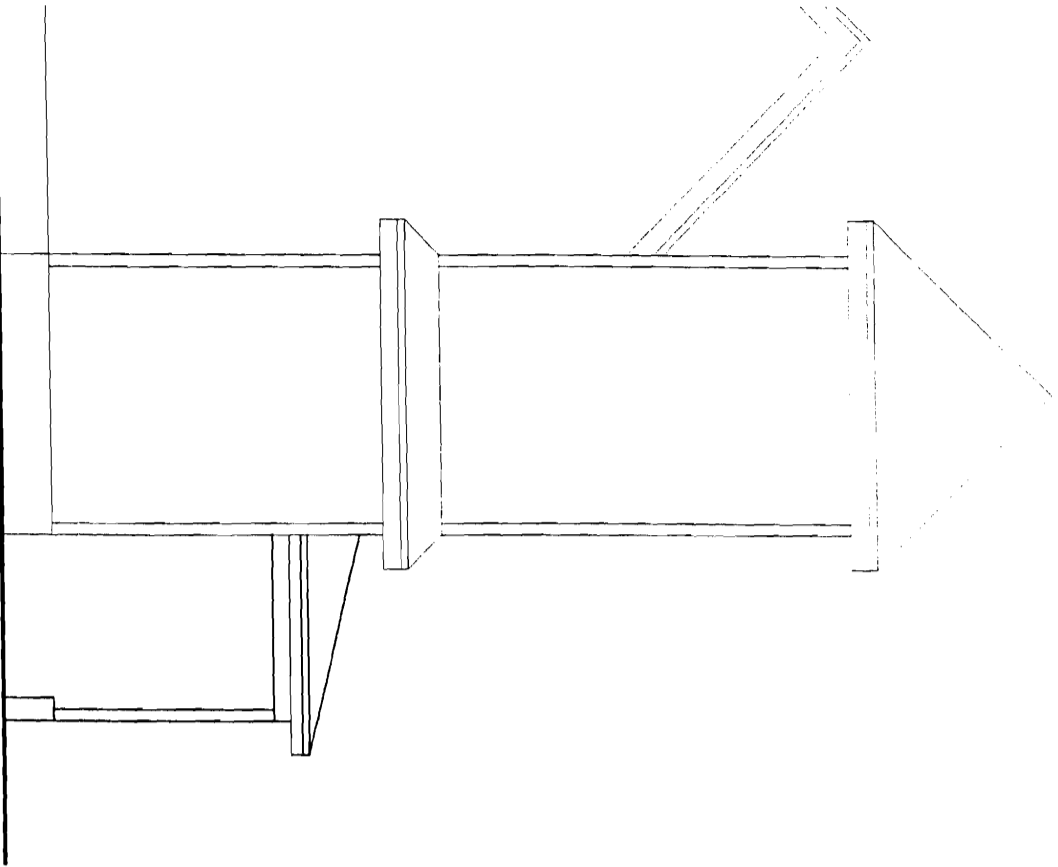
Date: 6/29/08
 Revised: 9/24/08
 Dr. By: John A. Perron
 Sheet No. 2/2

DRAFTING PLUS
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 BIDDEFORD, ME
 207-282-7744
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Revisions

Sisters Of Mercy Church
 Capisic Street
 Portland Maine

Drafting Plus is not a r...
 engineering firm. It is
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 beams sized and to ensu...
 this home is built accor...
 all state & local codes i...
 at the time of construct...



Partial Front Elevation

Right Elevation

Scale: 1/4" = 1'-0"

Date: 6/29/08
 Revised: 9/24/08
 Dr. By: John A. Perron
 Sheet No. 1

DRAFTING PLUS
 ARCHITECTURAL
 DESIGN & DRAFTING
 BIDDEFORD, ME
 207-282-7744

Revisions

Sisters Of Mercy Church

Capisic Street
 Portland Maine

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