



LOCATION PLAN

LEGEND

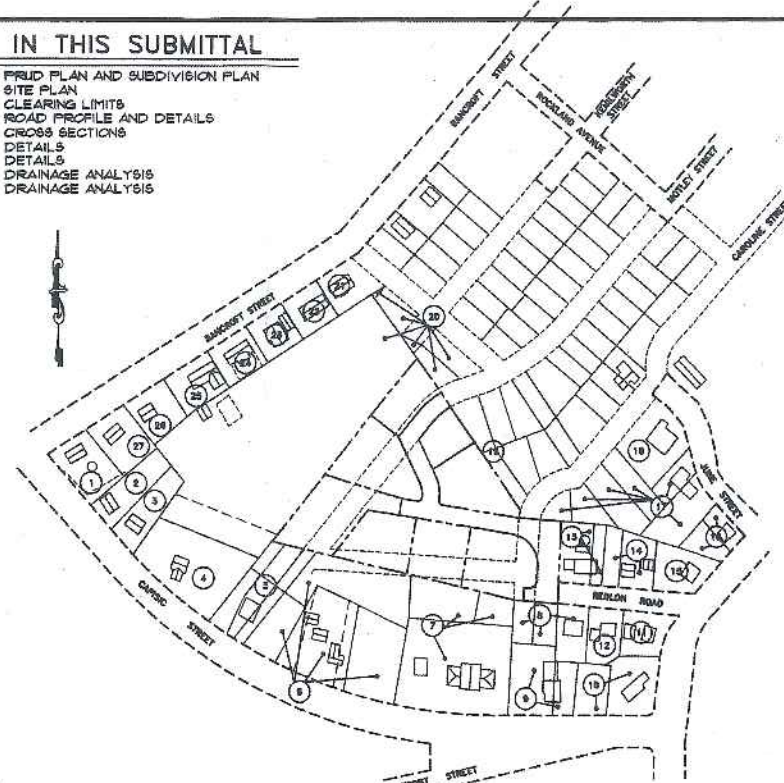
- EXISTING**
- PROPERTY/ROW
  - SETBACK
  - MONUMENT
  - IRON PIPE/ROD
  - BUILDING
  - WETLANDS
  - EDGE OF WETLAND
  - EDGE OF PAVEMENT
- PROPOSED**
- PROPERTY/ROW
  - EASEMENT
  - ROAD CENTERLINE
  - IRON PIPE/ROD
  - PEDESTRIAN EASEMENT

GENERAL NOTES

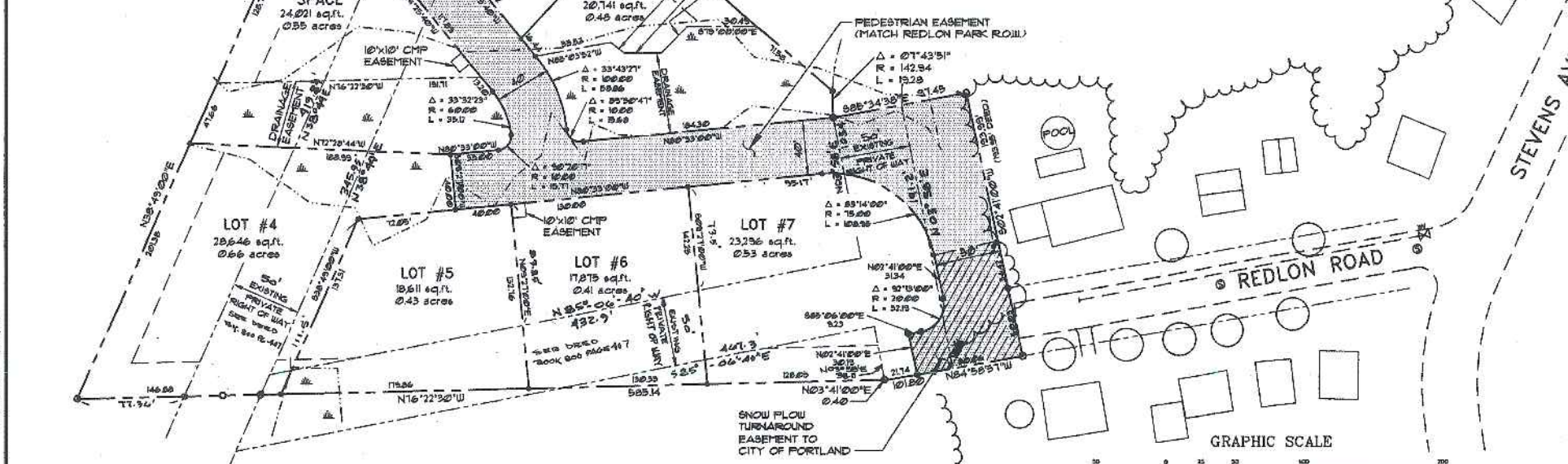
- OWNER: HOUSING RESOURCES CORP., 428 CUMBERLAND AVE, PORTLAND, MAINE
- DEVELOPER: COTTAGE PARK INC., 91 SUMMER PLACE, PORTLAND, ME
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE
- TOPOGRAPHIC INFORMATION PROVIDED BY SEBAGO TECHNIC, WESTBROOK, MAINE
- BOUNDARY INFORMATION PROVIDED BY DANIEL J. DALFONSO, P.L.S., CITY DATUM, SOUTH PORTLAND, MAINE
- WETLAND MAPPING PROVIDED BY ALAN L. BURNELL, HARRISON, MAINE
- TAX MAP REFERENCE: MAP 193/LOT 57.
- TOTAL PARCEL = 4.42 acres.
- AREA IN RIGHT OF WAY: 0.23 acres (5%)
- AREA IN OPEN SPACE: 0.23 acres (5%)
- AREA TO BE SUBDIVIDED INTO SEVEN (7) LOTS: 3.04 acres (69%)
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER. THE PORTLAND WATER DISTRICT IS RESPONSIBLE FOR MAINTENANCE OF THE WATER MAIN. THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF THE PRESSURE SEWER SYSTEM.
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- BLASTING FOR ROCK REMOVAL MUST BE IN ACCORDANCE WITH THE ROCK REMOVAL GUIDELINES FOR THIS PROJECT ON FILE AT THE PLANNING DEPARTMENT.
- POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT. DEPARTMENT OF ENVIRONMENTAL PROTECTION DATED MARCH 1991 OR LATEST EDITION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- NO BUILDINGS OR STRUCTURES ARE TO BE PLACED IN ANY EASEMENTS OR PRIVATE RIGHT OF WAY SHOWN.
- NO CONSTRUCTION OR FILLING OF WETLANDS OTHER THAN THAT SHOWN ON THE PLAN ARE ALLOWED. A NRPA PERMIT IS REQUIRED BY DEP.
- SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- STREET NAME: REDLON PARK ROAD.
- A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND "ARBORICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES". DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR THE COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
- THE ROADWAY WITHIN THIS PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE "HOMEOWNERS ASSOCIATION", INCLUDING, BUT NOT LIMITED TO, DRAINAGE FACILITIES, WALKWAYS, ROADS WITHIN THE COMMON AREAS AND OPEN SPACE. MAINTENANCE OF THE STORM WATER STRUCTURES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. IF THEY FAIL TO MAINTAIN THE SYSTEM THE HOMEOWNERS ASSOCIATION HAS THE RIGHT AND RESPONSIBILITY TO MAINTAIN THE SYSTEM. IN THE EVENT THE HOMEOWNERS ASSOCIATION FAILS TO MAINTAIN THE SYSTEM THE CITY HAS THE RIGHT TO MAINTAIN THE SYSTEM AND CHARGE THE HOMEOWNERS ASSOCIATION FOR ANY COST INCURRED.
- ADJACENT EXISTING HOUSE, TREELINE, AND WET AREAS SHOWN ARE TAKEN FROM 1996 AERIAL PHOTOGRAPHS FROM GREATER PORTLAND COUNCIL OF GOVERNMENTS.
- THE AREA TO BE CLEARED SHALL BE MARKED AND FIELD APPROVED BY THE CITY ARBORIST PRIOR TO ANY WORK WITH A SILT FENCE DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- THE BLASTING CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY FIRE DEPARTMENT PRIOR TO ANY DRILLING OR BLASTING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY "BEST MANAGEMENT PRACTICES." SEE NOTE 13.
- THIS DEVELOPMENT IS SUBJECT TO LANDSCAPE AND DRAINAGE MAINTENANCE AGREEMENTS ON FILE AT THE DEPARTMENT OF PLANNING & URBAN DEVELOPMENT 389 CONGRESS ST., PORTLAND, ME. 04101.

PLANS IN THIS SUBMITTAL

- SHEET C1 PRUD PLAN AND SUBDIVISION PLAN
- SHEET C2 SITE PLAN
- SHEET C3 CLEARING LIMITS
- SHEET C4 ROAD PROFILE AND DETAILS
- SHEET C5 CROSS SECTIONS
- SHEET C6 DETAILS
- SHEET C7 DETAILS
- SHEET D1 DRAINAGE ANALYSIS
- SHEET D2 DRAINAGE ANALYSIS

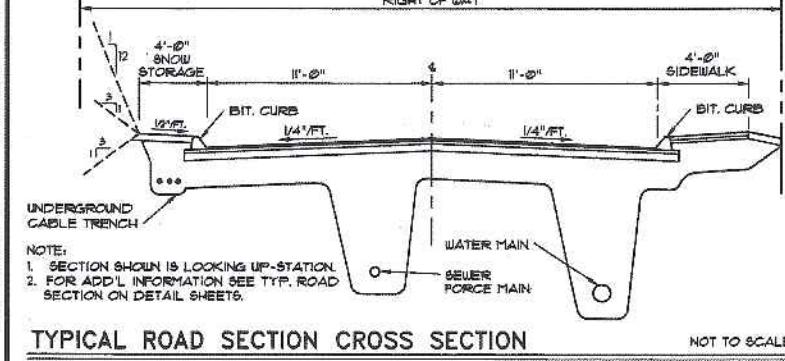


LOT	MINIMUM BASEMENT SLAB	CONCRETE SILL ELEVATION
1	6.92	16.5
2	6.92	16.5
3	6.92	16.5
4	6.15	14.5
5	6.15	15.0
6	7.15	15.0
7	8.22	20.5



ABUTTORS

1	DIMILLO, ANTONIO JR. & KATHLEEN D. 164 BANCROFT ST.	193-E-20	14	CAMPITELLI, ROBERT J. & LINDA 7 REDLON RD.	178-C-15-16
2	JOHNSON, WILLIAM F. & WILLIAM R. JOHNSON 119 CAPISIG ST.	193-E-29	15	PIRONE, ELLEN M. 136 STEVENS AVE.	178-C-18
3	KING, JAMES T. & HELEN J. 113 CAPISIG ST.	193-E-30	16	WYNNE, GERALDENE B. & RAYMOND J. 29 GROVESIDE RD.	178-C-11-12
4	DEVLIN, VINCENT L. 99 CAPISIG ST.	193-E-6	17	NORRIS, RUTH S. 14 JUNE ST.	178-C-2-3-4-5-9-10
5	LEADBETTER, SHEILA ANNE 83 CAPISIG ST.	193-E-9-10-15-16-17-18	18	SWAN, ELVIE G. 24 JUNE ST.	178-C-7
6	BACON, ANNE A. & WILLIAM J. 62 CAPISIG ST.	193-E-8-12-13-14	19	CHENEY, ROBERT J. WEST RIVER RD. WEST BUXTON	193-D-2-3-4-28
7	EUNICE FRYE HOME 37 CAPISIG ST.	194-B-5, 178-C-20 193-E-11	20	HERRICK, STUART B. 150 BANCROFT ST.	193-27
8	THOMPSON, LOUIS D. 29 REDLON ST.	178-C-21-22	21	LUSSIER, THOMAS R. & MELCODY 100 BANCROFT ST.	193-E-21
9	WINSLOW, CARLETON & CHARLOTTE-ANNE 19 CAPISIG ST.	194-E-1-2	22	CUMMINGS, OLIVE P. 110 BANCROFT ST.	193-E-22
10	SHAPAZIAN, PATRICIA 14 STEVENS AVE.	194-B-3, 178-C-25	23	GENDRON, DONNA I. & ROGER J. 110 BANCROFT ST.	193-E-23
11	O'BRIEN, EMMETT M. & MICHAELINE A. 24 STEVENS AVE.	178-C-24	24	LANGELLA, ROBALYN J. 126 BANCROFT ST.	193-E-24
12	AMATO MARY 18 REDLON RD.	178-C-23	25	HERRICK, DIANE E. 130 BANCROFT ST.	193-E-26
13	PERICE, DAUN L. 21 REDLON RD.	178-C-13-14	26	BROOKS, EDWARD C. & ROSE H. 144 BANCROFT ST.	193-E-25
			27	KERN, VIRGINIA L. 54 BANCROFT ST.	193-E-28



TYPICAL ROAD SECTION CROSS SECTION

ZONE INFORMATION

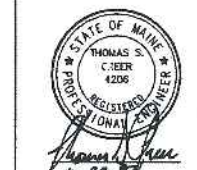
- R-3 RESIDENTIAL ZONE  
PERMITTED USE: PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD)
- | SPACE STANDARDS   | PRUD REQUIREMENT                                 |
|---|--|
| MINIMUM LOT AREA  | 6,500 SQ. FT.                                    |
| MINIMUM STREET FRONTAGE   | 50 FEET  |
| MAXIMUM NUMBER OF UNITS PER BUILDING                              | 2 UNITS  |
| MAXIMUM LENGTH OF BUILDING  | 100' WITHOUT GARAGE<br>140' WITH INTEGRAL GARAGE |
| MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES | 25'  |
| MINIMUM DISTANCE BETWEEN DWELLING UNITS                           | 16'  |
| MINIMUM RECREATION OPEN SPACE AREA                                | 2,100 SQ. FT. (.25 acres)                        |

SUBDIVISION AND PRUD PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

*[Signatures]*

July 23, 1997

STATE OF MAINE, CUMBERLAND COUNTY, REGISTRY OF DEEDS  
RECEIVED November 14, 1997  
at 3 h 11 m P.M.  
AND RECORDED IN PLAN BOOK 197 PAGE 493  
*[Signature]*  
REGISTER



SEAL  
*[Signature]*

THIS PLAN IS A RESULT OF A STANDARD BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS FOR CATEGORY I, CONDITION III.  
*[Signature]*  
DANIEL J. DALFONSO, P.L.S. 10-28-97

SCALE: 1"=200'

7	10/21/97	REV'D PER SURVEYOR REVIEW & CITY CONDITIONS OF APPROVAL, 12/4/97
6	7/15/97	REV'D EASEMENTS & SIDEWALK
5	6/18/97	REV'D LOT 4 ROW LAYOUT
4	6/14/97	REV'D PER PLANNING DEPARTMENT MAY 6 MEMO.
3	5/17/97	ADDED EXISTING EASEMENTS
2	4/16/97	CHANGED DRAINAGE EASEMENT, COMMON OPEN SPACE
1	3/24/97	REVISED NOTES
REV.	DATE	DESCRIPTION

COTTAGE PARK INC.  
91 SUMMER PLACE, PORTLAND ME

REDLON PARK  
REDLON ROAD, PORTLAND MAINE

PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAN AND SUBDIVISION PLAN

CONSULTING ENGINEERS, INC.  
FALMOUTH, MAINE

SCALE: AS SHOWN	DRN BY: DLM/JDC
DATE: FEB. 28, 1997	DESG BY: TSG
PROJECT: 97115	CHK BY: TSG

C1

PLOT DATE: 7/30/97  
FILE SCALE: 1"=50'  
CAD FILE: 97115C1