

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

Please Read Application And Notes, If Any, Attached

**PERMIT ISSUED**

Permit Number: 051241

**OCT 3 2005**

**CITY OF PORTLAND**

is to certify that Marino Richard /Richard Marino

permission to Single Family Dwelling w/ attached garage

38 Redlon Park Rd

193 E034001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to **Public Works** for street line and grade if nature of work requires such information.

Notification inspection must be given and written permission procured before this building or part thereof is altered or closed-in.  
**24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
DepartmentName

*[Handwritten Signature]*  
9/29/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

59 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1241	Issue Date: <b>PERMIT ISSUED</b> OCT 3 2005	193 E034001
Owner Name:	Owner Address:	Phone:
Business Name:	Contractor Name:	Phone:
Applicant/Buyer's Name:	Phone:	Permit Type: Single Family
		Zone: R3 PR4

Vacant Land      Single Family Dwelling w/attached garage

\$2,976.00 | \$320,000.00 | 3

**Proposed Project Description:**  
Single Family Dwelling w/ attached garage

DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <i>R3</i> Type <i>SB</i> <i>IRC 2003</i>
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: *dmartin*      Date Applied For: *08/30/2005*

**Zoning Approval**

- 2. Building permits do not include plumbing, septic or electrical work.
- 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2005-0193</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>09/16/05</i>	<b>Zoning Appeal</b> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions Denied Date: <i>[Signature]</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

- - - - Permits-expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

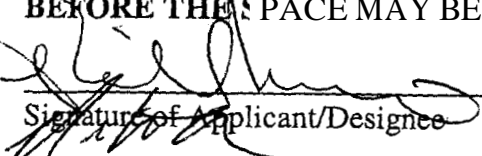
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- 4/10  Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

U If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

U **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

  
Signature of Applicant/Designee

10/3/05  
Date

Signature of Inspections Official

10/3/05  
Date

CBL: 193 E03403 Building Permit #: 051241

**City of Portland, Maine - Building or Use Permit**

9 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1241	<b>Date Applied For:</b> 08/29/2005	<b>CBL:</b> 193 E034001
<b>Location of Construction:</b> 3 Redlon Park Rd	<b>Owner Name:</b> Marino Richard	<b>Owner Address:</b> 38 Redlon Park Rd
<b>Business Name:</b>	<b>Contractor Name:</b> Richard Marino	<b>Contractor Address:</b> 34 Redlon Park Rd Portland
<b>Applicant/Owner/Buyer's Name</b>	<b>Phone:</b>	<b>Phone:</b> (207) 226-74 18
		<b>Permit Type:</b> Single Family

Single Family Dwelling w/ attached garage

- 1) Separate permits are required for any electrical, plumbing, or heating.
- 2) The basement is NOT approved as habitable space.
- 3) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 09/30/2005  
**Note:**      **Ok to Issue:**

- 1) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 2) Total wetland impact shall not exceed the amount that was approved for the Redlon Park Subdivision.
- 3) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**Dept:** Planning      **Status:** Not Applicable      **Reviewer:** Jay Reynolds      **Approval Date:** 09/30/2005  
**Note:**      **Ok to Issue:**

**Comments:**

9/27/2005-tmm: left message for builder - need to get copy of review list

9/29/2005-tmm: ok to issue as soon as Jay signs off for DRC.

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
<b>STRUCTURAL</b>		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	OK—	
① Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	need fabric	OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" @ 6" OC	
Lally Column Type (Section R407)	3 - 1 3/4" x 9 1/2" LVL'S	
Girder & Header Spans (Table R 502.5(2))		
Built-up Wood Center Girder Dimension/Type	-- "	
Sill/Band Joist Type & Dimensions	2x6 PT	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	TSI	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2),)	" "	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	2x8 Chng Joists	OK

R802.4(2))	21'-0" span - over	
② Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x12's - 16" oc - over 17'-6" span in garage area.	OK -
③ Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" walls - 5/8" roof - 3/4" floor	
Fastener Schedule (Table R602.3(1) & (2))	Not shown	OK
<b>Private Garage</b> (Section R309) Living Space? <i>yes</i> (Above or beside)		
Fire separation (Section R309.2)	- OK	
Opening Protection (Section R309.1)	OK	
→ Emergency Escape and Rescue Openings (Section R310)	OK - suggest one in storage room over garage	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	OK	
Attic Access (Section R807)	36 x 30	
④ Chimney Clearances/Fire Blocking (Chap. 10)	Not shown	N/A
⑤ Header Schedule (Section 502.5(1) & (2))	Whats L-1 on framing plans?	OK
⑥ Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-	Cling - R-49 Walls - R-19 Floor - R-11	OK
U - value of windows?		

Factor Fenestration

Type of Heating System

Not shown

OK

Means of Egress (Sec R311 & R312)

Basement 1

Number of Stairways 3

Interior 3

Exterior 0

Treads and Risers 10" T 7 9/16" R  
(Section R311.5.3)

Width (Section R311.5.1) 3' +

Headroom (Section R311.5.2) 6'-8" +

(Section R312 & R311.5.6 - R311.5.6.3)

1" ballusters

Location and type/Interconnected

Not noted

condition

Dwelling Unit Separation (Section R317) and  
IBC - 2003 (Section 1207)

N/A

Deck Construction (Section R502.2.1)

OK

gta2 architects

44 oak street  
portland, maine 04101  
207.771.5461



9.28.05

Ms. Tammy Munson  
Code Enforcement Officer, Plan Reviewer  
Planning & Deveopment Department  
389 Congress Street  
Portland, Maine 04101

Dear Ms. Munson'

The following are intended to clarify the questions on the plan review sheet for the proposed residence at 38 Redlon Park Road for Richard Marino.

Appropriate portions of this response will also be issued as an ADDENDUM TO THE DOCUMENTS for this project. These items are indicated below in upper case bold face type

Page 1

**ADD FILTER FABRIC AROUND ALL FOUNDATION DRAINAGE TILE, INSIDE AND OUTSIDE OF THE BULIDING**

Page 2

Question concerning use of 2X12 at 16" oc at spans in excess of 21' at roof framing. There are no situations where this occurs, confusion could be a result of the missing lintel at a bearing wall. Lintel is labeled as L-1, this will be clarified to the contractor.

Question concerning use of 2X12 at 16" oc at spans in excess of 17'-6" at roof framing in garage. No spans of 2X12 exceed 16' in this portion of the roof. Bearing wall above the main carrying beam in the clg of the garage is used to limit that span to 16'.

**ADD AS PART OF THE CONSTRUCTION DUCMENTS THE FOLLOWING FASTENER SCHEDULES FROM THE 2003 'INTERNATIONAL BUILDING CODE' FOR ONE AND TWO FAMILY DWELLINGS:**

**TABLE R602.3.1, AND TABLE R602.3.2.2  
(COPY ATTACHED)**

Will suggest to the client the desirability of adding an egress opening to service storage area above garage.

The chimneys will be '0 clearance' type, installed in accordance to local requirements and manufacturers' instructions.

Header L-1 consists of (3) 2X10 with 1/2" plywood fillers. This is noted on sheet ST2 below the plan.

The U-value of the windows specified is .28



Page 3

Heating system is a design build situation using radiant floor heat. The drawings will be provided by the mechanical contractor when applying for his permit for this work.

Smoke detectors will be part of the electrical contractor's package and will be included with his submissions for the electrical permit.

I believe this covers the **issues** in the plan review report. Please feel free to call if you have any others questions.

Sincerely,

 Stephen M. Thomas

WALL CONSTRUCTION

TABLE R602.3(1)  
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER <sup>a,b,c,d</sup>	SPACING OF FASTENERS
Joist to sill or girder, toe nail	3-8d	—
1" x 6" subfloor or less to each joist, face nail	2-8d 2 staples, 1 3/4"	—
2" subfloor to joist or girder, blind and face nail	2-16d	—
Sole plate to joist or blocking, face nail	16d	16" o.c.
Top or sole plate to stud, end nail	2-16d	—
Stud to sole plate, toe nail	3-8d or 2-16d	—
Double studs, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
Sole plate to joist or blocking at braced wall panels	3-16d	16" o.c.
Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d	—
Blocking between joists or rafters to top plate, toe nail	3-8d	—
Rim joist to top plate, toe nail	8d	6" o.c.
Top plates, laps at corners and intersections, face nail	2-10d	—
Built-up header, two pieces with 1/2" spacer	16d	16" o.c. along each edge
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	3-8d	—
Continuous header to stud, toe nail	4-8d	—
Ceiling joist, laps over partitions, face nail	3-10d	—
Ceiling joist to parallel rafters, face nail	3-10d	—
Rafter to plate, toe nail	2-16d	—
1" brace to each stud and plate, face nail	2-8d 2 staples, 1 3/4"	—
1" x 6" sheathing to each bearing, face nail	2-8d 2 staples, 1 3/4"	—
1" x 8" sheathing to each bearing, face nail	3 staples, 1 3/4"	—
Wider than 1" x 8" sheathing to each bearing, face nail	3-8d 4 staples, 1 3/4"	—
Built-up corner studs	10d	24" o.c. as
Roof rafters to ridge, valley or hip rafters: toe nail	4-16d	—
face nail	3-16d	—
	3-8d	—

(continued)

TABLE R602.3(1)—continued  
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER <sup>b,c,d,e</sup>	SPACING OF FASTENERS	
		Edges (inches) <sup>i</sup>	Intermediate supports <sup>a,g</sup> (inches)
<b>Wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing</b>			
$5/16$ "- $1/2$ "	6d common nail (subfloor, wall) 8d common nail (roof) <sup>f</sup>	6	12 <sup>a</sup>
$19/32$ "- $1$ "	8d common nail	6	12 <sup>a</sup>
$1 1/8$ "- $1 1/4$ "	10d common nail or 8d deformed nail	6	12
<b>Other wall sheathing<sup>h</sup></b>			
$1/2$ " regular cellulosic fiberboard sheathing	$1 1/2$ " galvanized roofing nail 6d common nail staple 16 ga., $1 1/2$ long	3	6
$1/2$ " structural cellulosic fiberboard sheathing	$1 1/2$ " galvanized roofing nail 8d common nail staple 16 ga., $1 1/2$ long	3	6
$25/32$ " structural cellulosic fiberboard sheathing	$1 3/4$ " galvanized roofing nail 8d common nail staple 16 ga., $1 3/4$ long	3	6
$1/2$ " gypsum sheathing	$1 1/2$ " galvanized roofing nail; 6d common nail; staple galvanized, $1 1/2$ long; $1 1/4$ screws, Type W or S	4	8
$5/8$ " gypsum sheathing	$1 3/4$ " galvanized roofing nail; 8d common nail; staple galvanized, $1 3/8$ " long; $1 3/8$ " screws, Type W or S	4	8
<b>Wood structural panels, combination subfloor underlayment to framing</b>			
$3/4$ " and less	6d deformed nail or 8d common nail	6	12
$7/8$ "- $1$ "	8d common nail or 8d deformed nail	6	12
$1 1/8$ "- $1 1/4$ "	10d common nail or 8d deformed nail	6	12

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 1.609 km/h.

- a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi (551 MPa) for shank diameter of 0.192 inch (20d common nail), 90 ksi (620 MPa) for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi (689 MPa) for shank diameters of 0.142 inch or less.
- b. Staples are 16 gage wire and have a minimum  $7/16$ -inch on diameter crown width.
- c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
- e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- f. For regions having basic wind speed of 110 mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.
- g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.
- h. Gypsum sheathing shall conform to ASTM C 79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AHA 194.1 or ASTM C 208.
- i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

WALL CONSTRUCTION

TABLE R602.3(2)  
ALTERNATE ATTACHMENTS

NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION <sup>a,b</sup> OF FASTENER AND LENGTH (inches)	SPACING <sup>c</sup> OF FASTENERS	
		Edges (inches)	Intermediate supports (inches)
<b>Wood structural panels subfloor, roof and wall sheathing to framing and particleboard wall sheathing to framing<sup>f</sup></b>			
5/16	0.097 - 0.099 Nail 1 1/2 Staple 15 ga. 1 3/8 Staple 16 ga. 1 3/4	6	12
	Staple 15 ga. 1 3/8	6	12
3/8	0.097 - 0.099 Nail 1 1/2 Staple 16 ga. 1 3/4	4	10
	Staple 16 ga. 1 3/4	6	12
15/32 and 1/2	Staple 15 ga. 1 1/2	6	12
	0.097 - 0.099 Nail 1 3/8	3	6
	Staple 16 ga. 1 3/4	6	12
19/32 and 5/8	0.113 Nail 1 7/8 Staple 15 and 16 ga. 1 3/8	6	12
	0.097 - 0.099 Nail 1 3/4	3	6
23/32 and 3/4	Staple 14 ga. 1 3/4	6	12
	Staple 15 ga. 1 3/4	5	10
	0.097 - 0.099 Nail 1 7/8	3	6
	Staple 16 ga. 2	4	8
1	Staple 14 ga. 2	5	10
	0.113 Nail 2 1/4, Staple 15 ga. 2	4	8
	0.097 - 0.099 Nail 2 1/4	3	6
NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION <sup>a,b</sup> OF FASTENER AND LENGTH (inches)	SPACING <sup>c</sup> OF FASTENERS	
<b>Floor underlayment; plywood-hardboard-particleboard<sup>f</sup></b>			
<b>Plywood</b>			
1/4 and 5/16	1 1/4 ring or screw shank nail—minimum 12 1/2 ga. (0.099") shank diameter	3	6
	Staple 18 ga., 7/8, 3/16 crown width	2	3
11/32, 3/8, 15/32 and 1/2	1 1/4 ring or screw shank nail—minimum 12 1/2 ga. (0.099) shank diameter	6	8*
19/32, 5/8, 23/32 and 3/4	1 1/2 ring or screw shank nail—minimum 12 1/2 ga. (0.099) shank diameter	6	12
	Staple 16 ga. 1 1/4	6	8
<b>Hardboard<sup>f</sup></b>			
0.200	1 1/2 long ring-grooved underlayment nail	6	6
	4d cement-coated sinker nail	6	6
	Staple 18 ga., 7/8 long (plastic coated)	3	6
<b>Particleboard</b>			
1/4	4d ring-grooved underlayment nail	3	6
	Staple 18 ga., 7/8 long, 3/16 crown	3	6
3/8	6d ring-grooved underlayment nail	6	10
	Staple 16 ga., 1 1/8 long, 3/8 crown	3	6
1/2, 5/8	6d ring-grooved underlayment nail	6	10
	Staple 16 ga., 1 1/8 long, 3/8 crown	3	6

For SI: 1 inch = 25.4 mm.

a. Nail is a general description and may be T-head, modified round head or round head.

b. Staples shall have a minimum crown width of 7/16-inch on diameter except as noted.

c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.

d. Fasteners shall be placed in a grid pattern throughout the body of the panel.

e. For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.

f. Refer to ANSI/AHA A135.4.

TABLE R602.3(3)  
ALLOWABLE STUD SPACING FOR WOOD STRUCTURAL PANEL WALL SHEATHING

PANEL SPAN RATING	PANEL NOMINAL THICKNESS (Inch)	MAXIMUM STUD SPACING (Inches)	
		Siding nailed to: <sup>a</sup>	
		Stud	Sheathing
12/0, 16/0, 20/0, or wall —16 o.c.	$\frac{3}{16}$ , $\frac{3}{8}$	16	16 <sup>b</sup>
24/0, 24/16, 32/16 or wall—24 o.c.	$\frac{3}{8}$ , $\frac{7}{16}$ , $\frac{13}{32}$ , $\frac{1}{2}$	24	24 <sup>c</sup>

For SI: 1 inch = 25.4 mm.

a. Blocking of horizontal joints shall not be required.

b. Plywood sheathing  $\frac{3}{8}$ -inch thick or less shall be applied with long dimension across studs.

c. Three-ply plywood panels shall be applied with long dimension across studs.

TABLE R602.3(4)  
ALLOWABLE SPANS FOR PARTICLEBOARD WALL SHEATHING<sup>18\*</sup>

THICKNESS (Inch)	GRADE	STUD SPACING (Inches)	
		When siding is nailed to studs	When siding is nailed to sheathing
$\frac{3}{8}$	M-1 Exterior glue	16	—
$\frac{1}{2}$	M-2 Exterior glue	16	16

For SI: 1 inch = 25.4 mm.

a. Wall sheathing not exposed to the weather, if the panels are applied horizontally, the end joints of the panel shall be offset so that four panels corners will not meet. All panel edges must be supported. Leave a  $\frac{1}{16}$ -inch gap between panels and nail no closer than  $\frac{3}{8}$  inch from panel edges.

TABLE R602.3(5)  
SIZE, HEIGHT AND SPACING OF WOOD STUDS<sup>18\*</sup>

STUD SIZE (Inches)	BEARING WALLS BEARING WALLS				NONBEARING WALLS NONBEARING WALLS		
	Laterally unsupported stud height <sup>a</sup> (feet)	Maximum spacing when supporting roof and ceiling only (Inches)	Maximum spacing when supporting one floor, roof and ceiling (Inches)	Maximum spacing when supporting two floors, roof and ceiling (Inches)	Maximum spacing when supporting one floor only (Inches)	Laterally unsupported stud height <sup>a</sup> (feet)	Maximum spacing (Inches)
2 x 3 <sup>b</sup>	—	—	—	—	—	10	16
2 x 4	10	24	16	—	24	14	24
3 x 4	10	24	24	16	24	14	24
2 x 5	10	24	24	—	24	16	24
2 x 6	10	24	24	16	24	16	24
						20	24

For SI: 1 inch = 25.4 mm.

a. Listed heights are distances between points of lateral support placed perpendicular to the plane of the wall. Increases in unsupported height are permitted where justified by analysis.

b. Shall not be used in exterior walls.

Permit Number
CheckedBy/Date



# Generated by REScheck Package Generator Compliance Certificate

Project Title: Untitled

Energy Code: **1995 MEC**  
 Location: **Portland, Maine**  
 Construction Type: **Single Family**  
 Window-to-Wall Ratio: **0.15**  
 Heating Degree Days: **7378**

Report Date:

Date of Plans:

Project Information:

Builder information:

Project Notes:

Assembly	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor
Ceiling:	49.0	0.0	
Wall:	19.0	0.0	
Window:			0.280
Door:			0.350
Floor:	19.0	0.0	

Statement of Compliance: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 1995 MEC requirements in the REScheck Package Generator and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

\_\_\_\_\_  
Builder/Designer

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Date



Generated by REScheck Package Generator

# REScheck Inspection Checklist

Project Title: Untitled

Ceilings:

- Ceiling: , R-49.0 cavity insulation

Comments: \_\_\_\_\_

Above-Grade Walls:

- Wall: , R-19.0 cavity insulation

Comments: \_\_\_\_\_

Windows:

- Window: , U-factor: 0.280

For windows without labeled U-factors, describe features:

#Panes \_\_\_\_\_ Frame Type \_\_\_\_\_ Thermal Break? \_\_\_\_\_ Yes \_\_\_\_\_ No

Comments: \_\_\_\_\_

Doors:

- Door: , U-factor: 0.350

Comments: Front door exempt

**Floors:**

- Floor: , R-19.0 cavity insulation

Comments: \_\_\_\_\_

Air Leakage:

- Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed.  
 Recessed lights must be 1) Type IC rated, or 2) installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

Vapor Retarder:

- Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

Materials Identification:

- Materials and equipment must be identified so that compliance can be determined.  
 Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided.  
 Insulation R-values and glazing U-factors must be clearly marked on the building plans or specifications.

Duct Insulation:

- Ducts in unconditioned spaces must be insulated to R-5. Ducts outside the building must be insulated to R-8.0.

Duct Construction:

- All ducts must be sealed with mastic and fibrous backing tape. Pressure-sensitive tape may be used for fibrous ducts. Duct tape is not permitted.  
 The HVAC system must provide a means for balancing air and water systems.

Temperature Controls:

- Thermostats are required for each separate HVAC system. A manual or automatic means to partially restrict or shut off the heating and/or cooling input to each zone or floor shall be provided.

Circulating Hot Water Systems:

- Insulate circulating hot water pipes to the levels in Table 1.

Swimming Pools:

- All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

Heating and Cooling Piping Insulation:

- HVAC piping conveying fluids above 120°F or chilled fluids below 55°F must be insulated to the levels in Table 2.



**Table 7: Minimum Insulation Thickness for Circulating Hot Water Pipes**

Heated Water Temperature (°F)	Insulation Thickness in Inches by Pipe Sizes			
	Non-Circulating Runouts		Circulating Mains and Runouts	
	up to 1"	up to 1.25"	1.5" to 2.0"	Over 2"
170-180	0.5	1.0	1.5	2.0
140-160	0.5	0.5	1.0	1.5
100-130	0.5	0.5	0.5	1.0

**Table 2: Minimum Insulation Thickness for HVAC Pipes. Hot Water Pipes**

Piping System Types	Fluid Temp. Range (°F)	Insulation Thickness in Inches by Pipe Sizes			
		2' Runouts	1" and Less	1.25" to 2.0"	2.5" to 4"
<b>Heating Systems</b>					
Low Pressure/Temperature	201-250	1.0	1.5	1.5	2.0
Low Temperature	120-200	0.5	1.0	1.0	1.5
Steam Condensate (for feed water)	Any	1.0	1.0	1.5	2.0
<b>Cooling Systems</b>					
Chilled Water, Refrigerant and Brine	40-55	0.5	0.5	0.75	1.0
	Below 40	1.0	1.0	1.5	1.5

**NOTES TO FIELD:** (Building Department Use Only)

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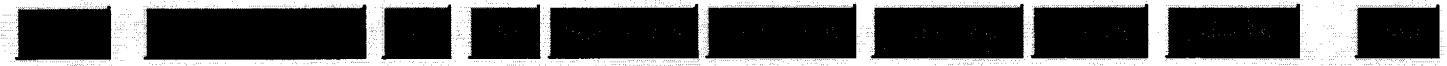
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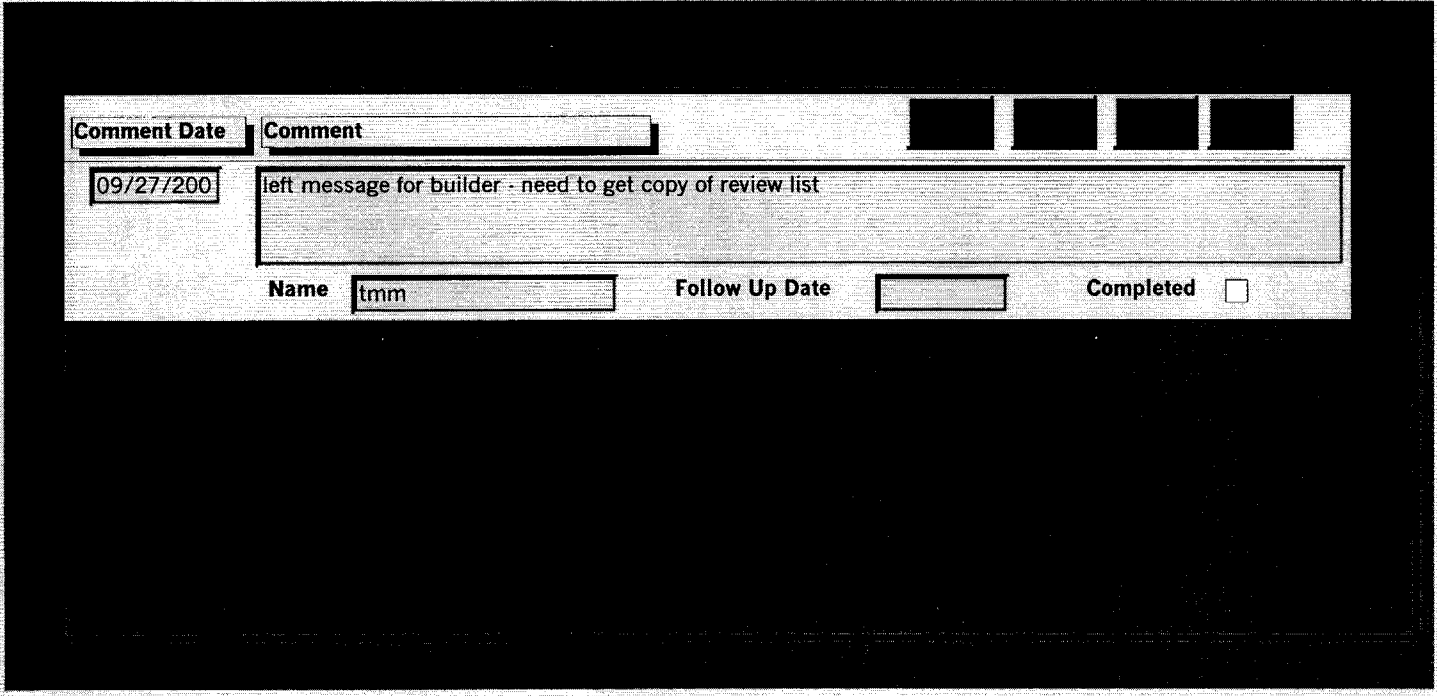


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Prmt  Text93  28280  Constr Type  New  Num1  51241

Permit Nbr  05-1241  Location of Construction  38  Redlon Park Rd  Appl. Date  08/29/2005  
Status  Hold  Permit Type  Single Family  Issue Date   
CBL  193 E034001  District Nbr  3  Estimated Cost  \$320,000.00  Date Closed



Comment Date	Comment				
<input type="text"/> 09/27/200	<input type="text"/> left message for builder - need to get copy of review list				
		Name <input type="text"/> tmm	Follow Up Date <input type="text"/>	Completed	<input type="checkbox"/>

CreatedBy  dmartin  CreateDate  08/30/2005  ModBy  tmm  ModDate  09/27/2005

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property Within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Redlon Park lot #4</u>		
Total Square Footage of Proposed Structure <u>1st-1612SF/GARAGE 776# = 2388 SF</u> <u>2ND-1502.SF/ UNFINISHED GARAGE - 576 SF</u>		Square Footage of Lot <u>28,646 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>193</u> Block# <u>E 034</u> Lot# <u>6</u>		Owner: <u>RICHARD MARINO</u> <u>34 REDLON PARK ROAD</u> <u>PORTLAND, MAINE 04102</u>
Lessee/Buyer's Name (If Applicable)		Telephone: <u>226-7418</u>
Applicant name, address & telephone: <u>RICHARD MARINO</u> <u>34 REDLON PARK ROAD</u> <u>PORTLAND, MAINE 04102</u>		Cost Of Work: \$ <u>320,000</u> Fee: \$ <del>3276</del> <u>3,276.00</u> <sup>300 site 750</sup>
Current use: <u>VACANT LOT</u>		
If the location is currently vacant, what was prior use: <u>VACANT LOT</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>SINGLE FAMILY DWELLING</u>		
Project description: <u>3 BR DWELLING , ATTACHED GARAGE</u>		
Contractor's name, address & telephone: <u>RICHARD MARINO</u> <u>34 REDLON PARK ROAD</u> <u>PORTLAND, ME 04102</u> — TEL <u>226-7418</u>		
Who should we contact when the permit is ready: <u>RICHARD MARINO</u>		
Mailing address: <u>34 REDLON PARK ROAD</u> <u>PORTLAND, MAINE 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>226-7418</u> or <u>Stephen 771.5461</u> <u>Thomas</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>S. THOMAS</u>	Date: <u>8.29.05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2005-0193**

Application I. D. Number

**8/29/2005**

Application Date

**Lot #4 Marino House**

Project Name/Description

**Marino Richard**

Applicant

**38 Redlon Park Rd , Portland, ME 04102**

Applicant's Mailing Address

**Marino Richard**

Consultant/Agent

**Agent Ph: (207)226-7418**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**Marge Schmuckal**

**38 - 38 Redlon Park Rd, Portland, Maine**

Address of Proposed Site

**193 E034001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify)

**2388 sf**

Proposed Building square Feet or # of Units

**28646**

Acreage of Site

Zoning

**Check Review Required:**

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> Site Plan<br>(major/minor)         | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **8/29/2005**

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions  
See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets  
Attached

Condition Compliance \_\_\_\_\_  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

Applicant/Owner: Richard Marino Date: 9/16/05

Address: 38 Redlon Park R C-B-L: 193-8-034

CHECK-LIST FOR ZONING COMPLIANCE - PRUDS

Permit Application Number: 05-1241  
Permit Application Number: 05-1241

New or Existing Development: → 1 of 7 lots

Zone Location: R-3 PRUD (one of the last single family detached PRUDS)

Proposed Work/Use to construct new single family

Interior or corner lot:

Sewage Disposal: City

Street Frontage: ~~30'~~ 40' min - 40' approved on site plan

Max. Height: 35' - 35' from absolute lowest (garage) to highest K100 ft  
The average grade is measure to 1/2 pt well under 35'

Max. Length of Bldg (with/without attached garage(s): 140' max - 90' scaled

Min. Setbacks from External Subdivision Property Lines: 25' min - 28' scaled

Min. Distance Between Detached PRUD Buildings: 16' min - well over 16' from any other

Required Recreation Open Space: N/A before text change " " " " " "

Lot Area Required:

Net Land Area Per Dwelling Unit: 6,500 sq ft

Off-street Parking: 2 required - 2 car garage shown

Site Plan: minor/minor #2005-0193

Shoreland/Stream Protection: N/A

Flood Plain: Panel 13 - Zone C

Be sure they do not Bld on the R.O.W  
in front  
Blasting req.

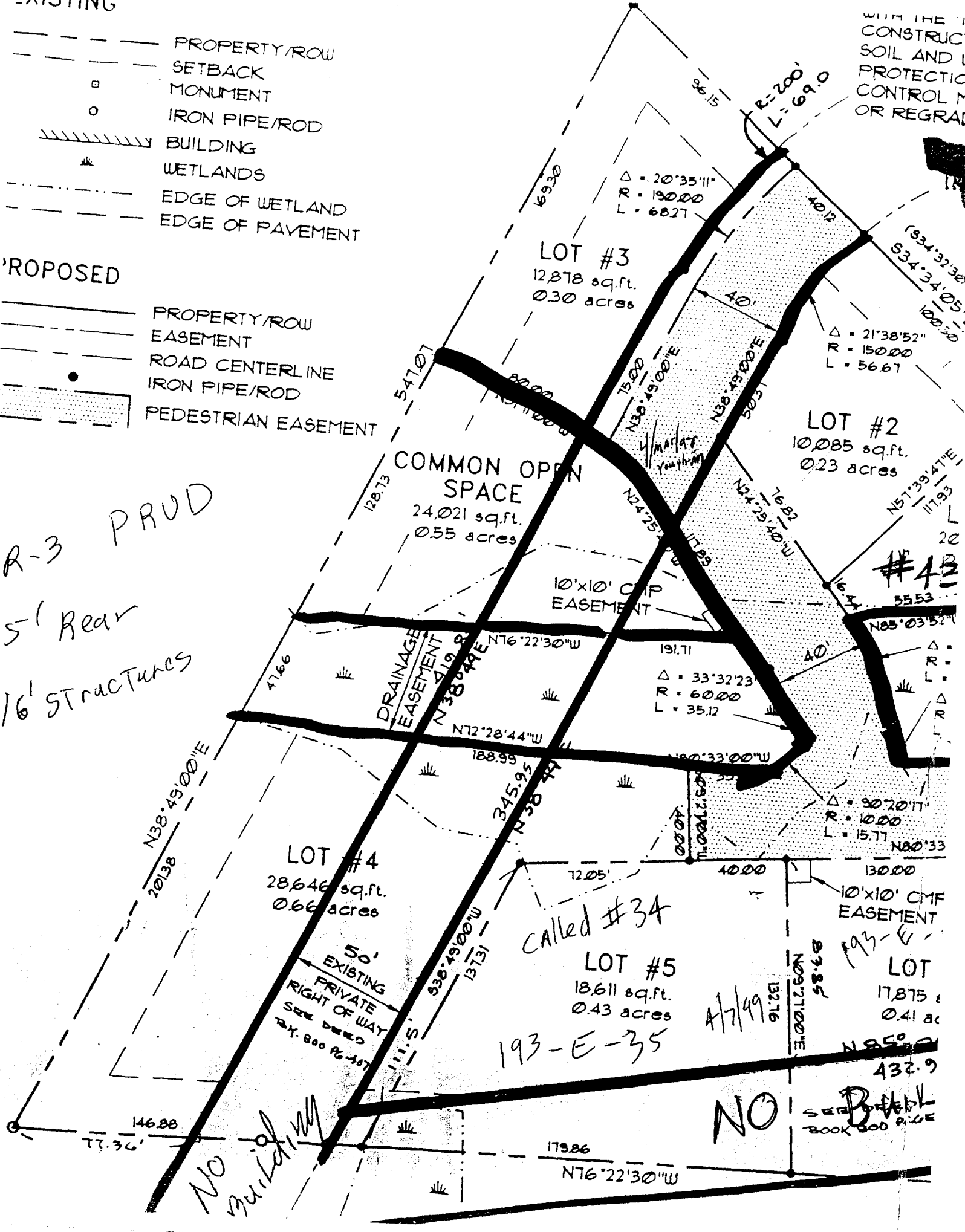
**EXISTING**

- PROPERTY/ROW
- SETBACK
- MONUMENT
- IRON PIPE/ROD
- ||||| BUILDING
- ⋆ WETLANDS
- - - EDGE OF WETLAND
- - - EDGE OF PAVEMENT

**PROPOSED**

- PROPERTY/ROW
- EASEMENT
- ROAD CENTERLINE
- IRON PIPE/ROD
- ||||| PEDESTRIAN EASEMENT

*R-3 PRUD*  
*25' Rear*  
*16' Structures*



WITH THE INTENT TO CONSTRUCT SOIL AND WATER PROTECTION CONTROL MEASURES OR REGRADING

**#42**  
5553

*called #34*  
*LOT #5*  
*18,611 sq.ft.*  
*0.43 acres*  
*193-E-35*

**NO BANK**

SEE DEED BOOK 800 PAGE

*No Building*

*4/7/99*