

193-E-7

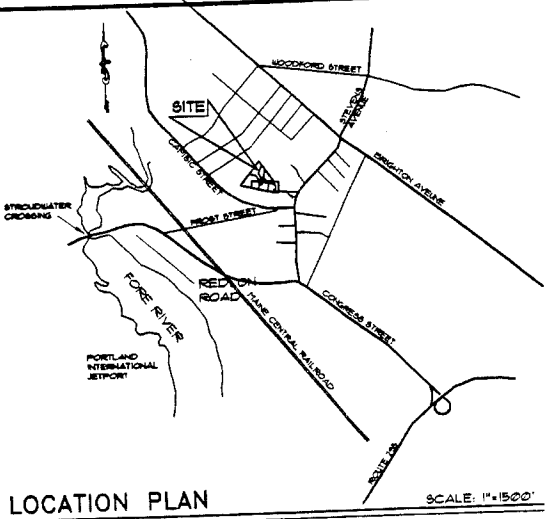
Redlon Road

Redlon Park Subdivision

Cottage Park

on Spreadsheet

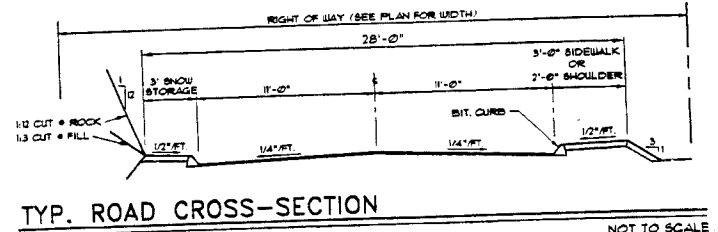
add to file on G: Drive



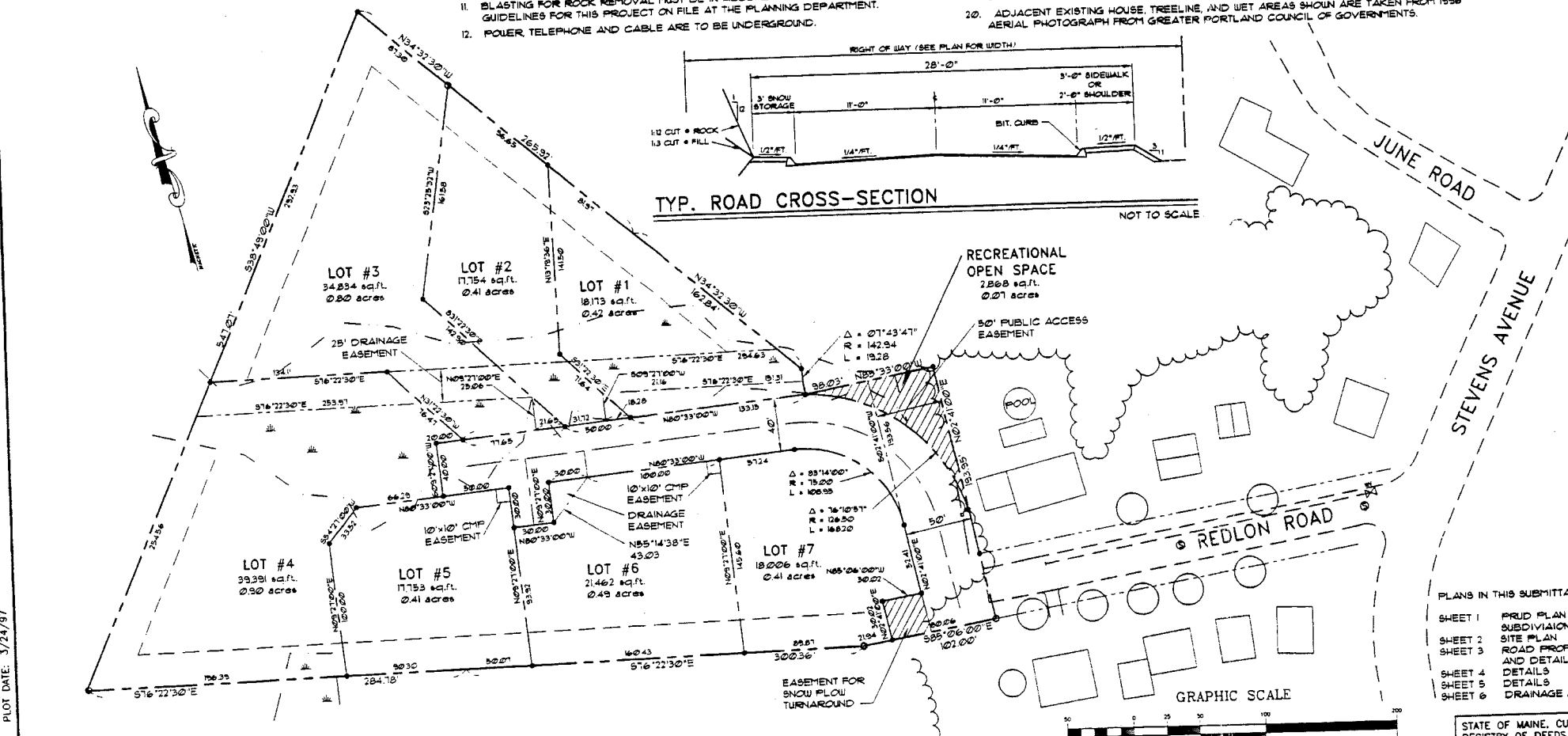
LOCATION PLAN SCALE: 1"=1500'

GENERAL NOTES

- 1. OWNER: HOUSING RESOURCES CORP. 428 CUMBERLAND AVE. PORTLAND, MAINE... 13. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES"...



TYP. ROAD CROSS-SECTION NOT TO SCALE



FILE SCALE: 1"=50' PLOT DATE: 3/24/97 CAD FILE: 97115

LEGEND

Table with columns for EXISTING and PROPOSED features, including PROPERTY/ROW, SETBACK MONUMENT, ROAD CENTERLINE, BUILDING, WETLANDS, EDGE OF WETLAND, SIGN, and EDGE OF PAVEMENT.

ZONE INFORMATION

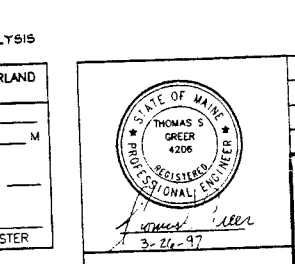
Table detailing R-3 RESIDENTIAL ZONE requirements: PERMITTED USE, SPACE STANDARDS (MINIMUM LOT AREA, STREET FRONTAGE), MAXIMUM NUMBER OF UNITS PER BUILDING, MAXIMUM LENGTH OF BUILDING, MINIMUM BUILDING SETBACK, MINIMUM DISTANCE BETWEEN DWELLING UNITS, and MINIMUM RECREATION OPEN SPACE AREA.

SUBDIVISION AND PRUD PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD. Includes fields for DATE and REGISTER.

- PLANS IN THIS SUBMITTAL: SHEET 1 PRUD PLAN AND SUBDIVISION PLAN, SHEET 2 SITE PLAN, SHEET 3 ROAD PROFILE AND DETAILS, SHEET 4 DETAILS, SHEET 5 DETAILS, SHEET 6 DRAINAGE ANALYSIS

ABUTTORS

Table listing adjacent property owners and their addresses, including DIMILLO, ANTONIO JR., JOHNSON, WILLIAM F., KING, JAMES T., etc.



THIS PLAN IS A RESULT OF A STANDARD BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS FOR CATEGORY I, CONDITION III.

DANIEL J. DALFONSO, PLS. 4172

PRELIMINARY

Project information block including COTTAGE PARK INC., 91 SUMMER PLACE, PORTLAND ME; REDLON PARK, REDLON ROAD, PORTLAND MAINE; PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAN AND SUBDIVISION PLAN; SCALE: AS SHOWN; DATE: FEB. 28, 1997; PROJECT: 97115.

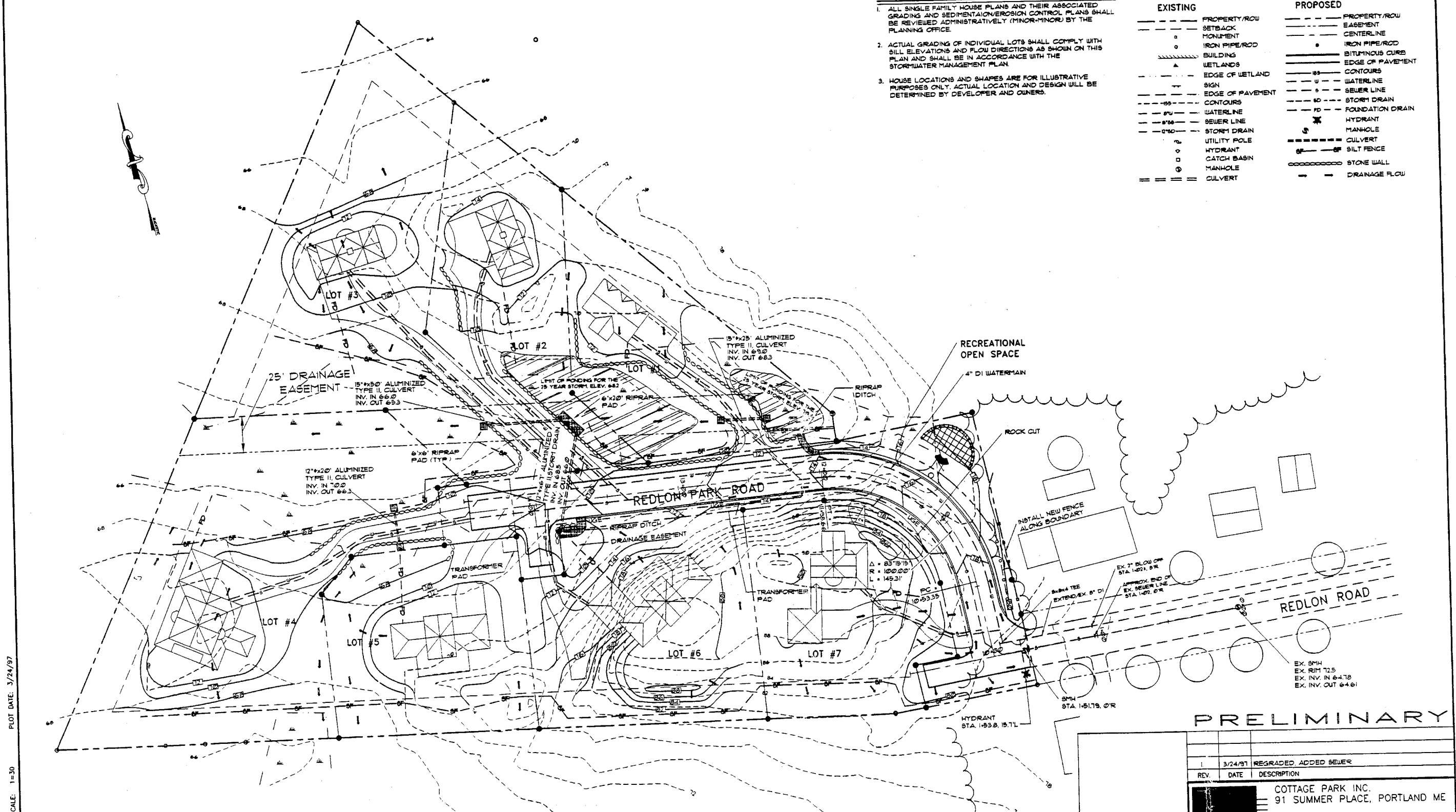
C1

**NOTES**

1. ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION/EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR-MINOR) BY THE PLANNING OFFICE.
2. ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH SILL ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.
3. HOUSE LOCATIONS AND SHAPES ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL LOCATION AND DESIGN WILL BE DETERMINED BY DEVELOPER AND OWNERS.

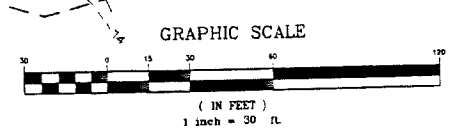
**LEGEND**

EXISTING	PROPOSED
--- PROPERTY ROW	--- PROPERTY ROW
--- SETBACK	--- EASEMENT
o MONUMENT	--- CENTERLINE
o IRON PIPE/ROD	o IRON PIPE/ROD
BUILDING	--- BITUMINOUS CURB
▲ WETLANDS	--- EDGE OF PAVEMENT
--- EDGE OF WETLAND	--- CONTOURS
o SIGN	--- WATERLINE
--- EDGE OF PAVEMENT	--- SEWER LINE
--- CONTOURS	--- STORM DRAIN
--- WATERLINE	--- FOUNDATION DRAIN
--- SEWER LINE	o HYDRANT
--- STORM DRAIN	o MANHOLE
o UTILITY POLE	--- CULVERT
o HYDRANT	o SILT FENCE
o CATCH BASIN	o STONE WALL
o MANHOLE	--- DRAINAGE FLOW
--- CULVERT	



CAD FILE: 97115  
 FILE SCALE: 1"=30'  
 PLOT DATE: 3/24/97

LOT	MIN BASEMENT SLAB	MIN FINISHED FIRST FLOOR
1	69.0	11.0
2	69.0	16.0
3	67.0	15.0
4	67.0	15.0
5	69.0	11.0
6	12.0	80.0
7	80.0	88.0



**PRELIMINARY**

REV.	DATE	DESCRIPTION
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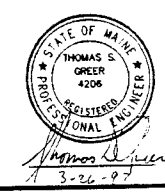
COTTAGE PARK INC.  
 91 SUMMER PLACE, PORTLAND ME

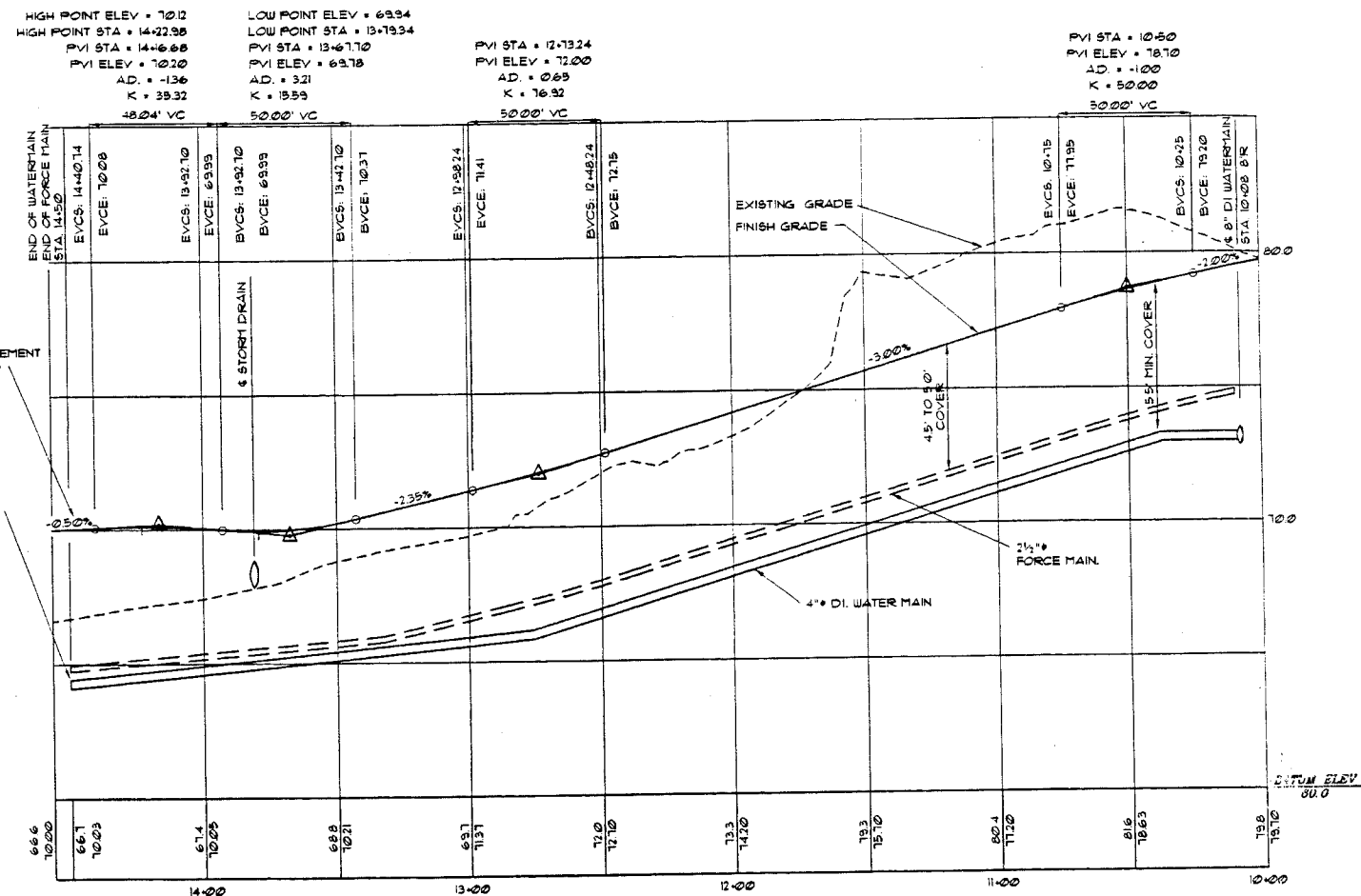
REDLON PARK  
 REDLON ROAD, PORTLAND MAINE

**SITE PLAN**

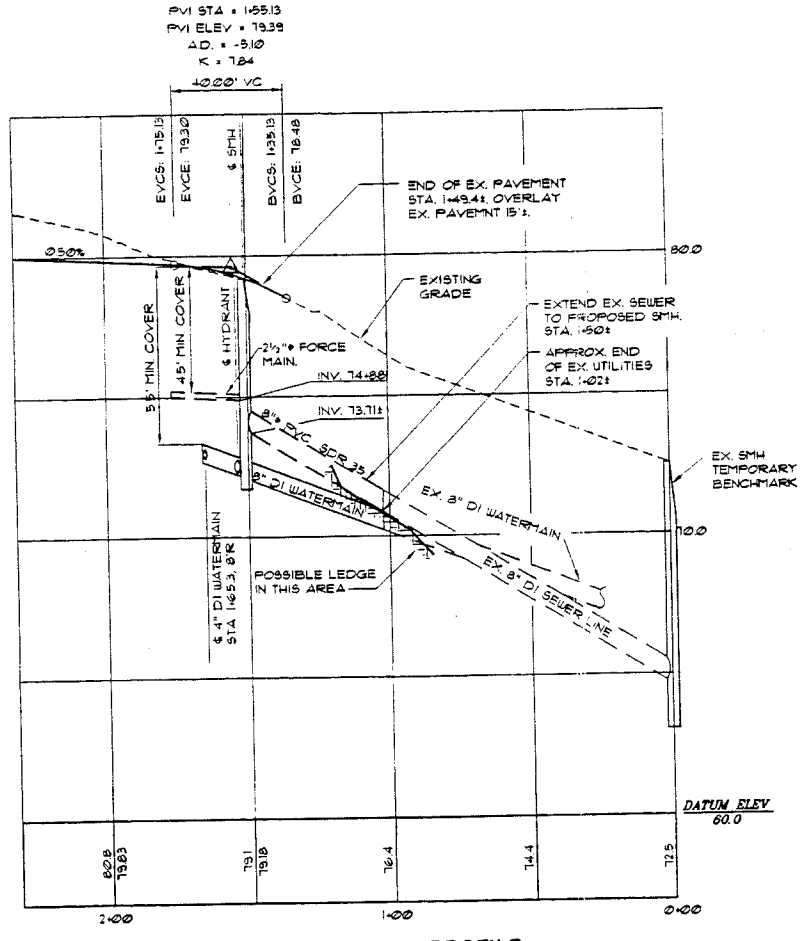
SCALE: AS SHOWN	DRN BY: JDC
DATE: FEB. 28, 1997	DESG BY: TSG
PROJECT: 97115	CHK BY: TSG

C2

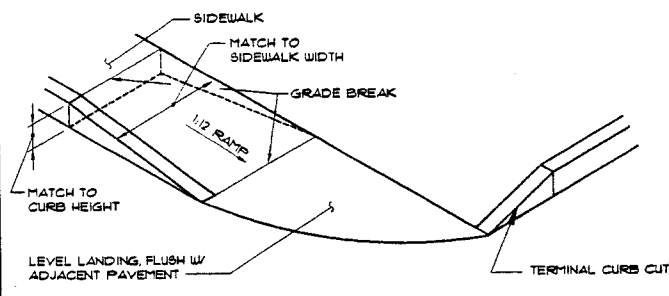




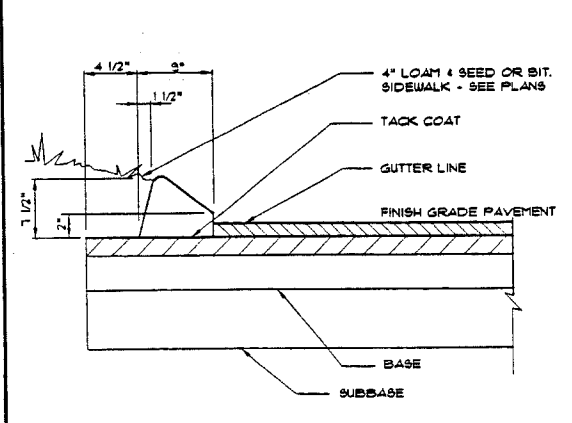
**REDLON PARK ROAD PROFILE**  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=3'



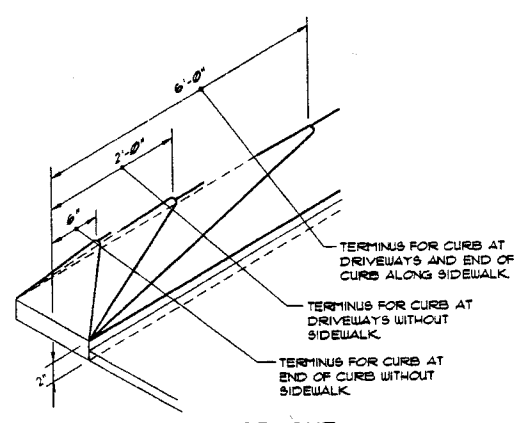
**REDLON ROAD PROFILE**  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=3'



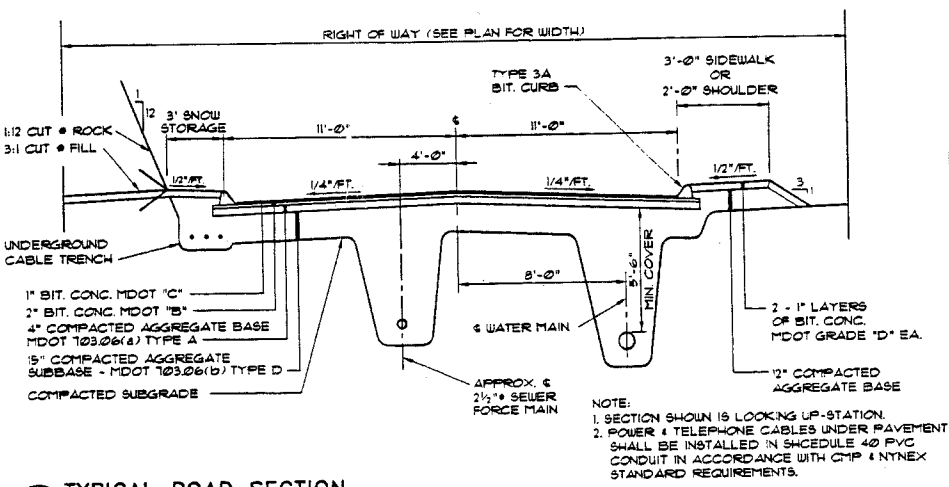
**RAMP DETAIL**  
 NOT TO SCALE



**TYPE 3A BITUMINOUS CURB DETAIL**  
 NOT TO SCALE



**TERMINAL CURB CUT**  
 NOT TO SCALE



**TYPICAL ROAD SECTION**  
 NOT TO SCALE

**PRELIMINARY**

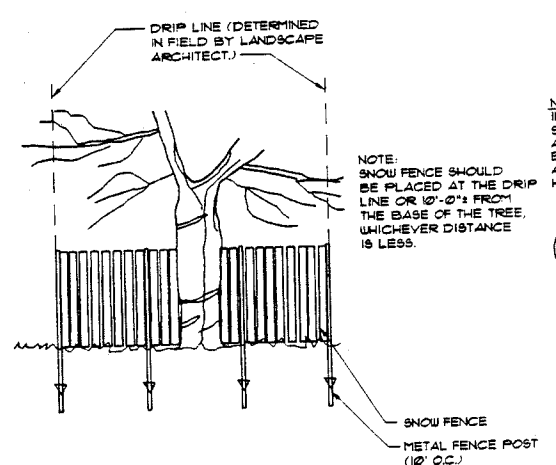
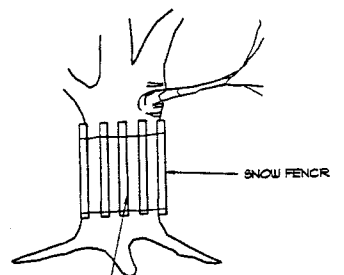
1	3/24/97	REDESIGNED PROFILE
REV.	DATE	DESCRIPTION
COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND ME REDLON PARK REDLON ROAD, PORTLAND MAINE		
ROAD PROFILE & DETAILS		
SCALE:	AS SHOWN	DRN BY: JDC
DATE:	FEB. 28, 1997	DESG BY: TSG
PROJECT:	97115	CHK BY: TSG



CAD FILE: 97115  
 FILE SCALE: 1"=30'  
 PLOT DATE: 3/24/97



PLOT DATE: 3/24/97  
FILE SCALE: 1"=40'  
CAD FILE: 97115C



**TREE PROTECTION FENCE**  
NOT TO SCALE

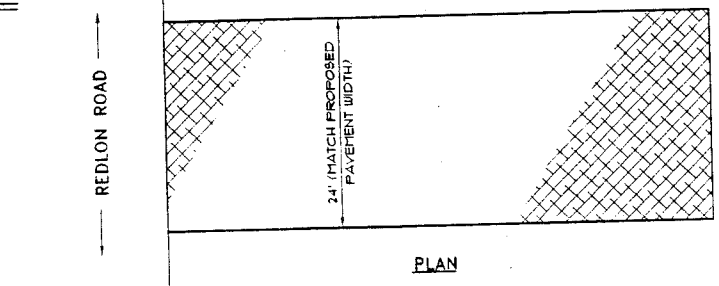
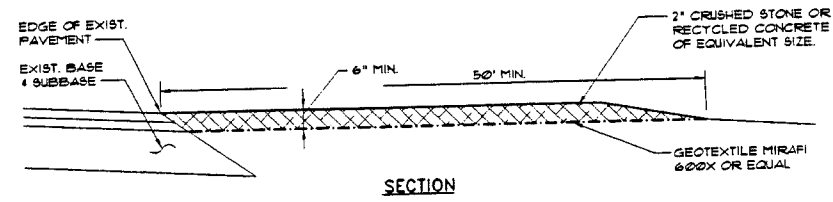
**SLOPE & LENGTH TABLE**

"S" (SLOPE) FT/FT	"L" (LENGTH) FT
0.020	120
0.030	80
0.040	60
0.050	40
0.060	30
0.100	20
0.120	17
0.150	15

L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

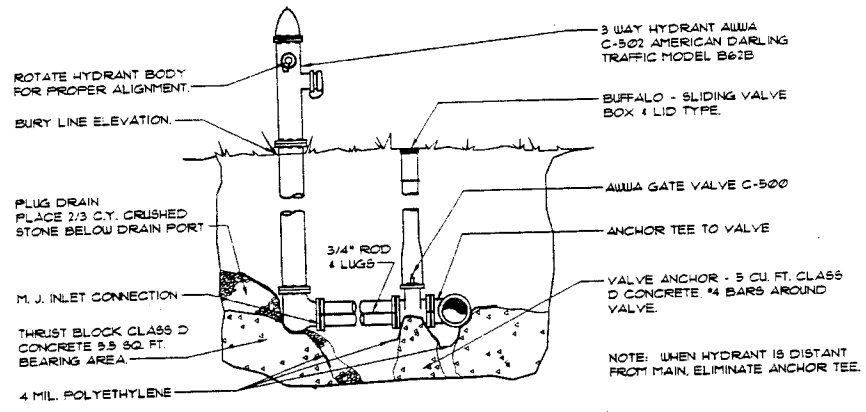
NOTE: WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND DAMS. SEDIMENT SHOULD BE REMOVED FROM BEHIND DAMS WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE DAM.

**STONE CHECK DAM DETAIL**  
NOT TO SCALE

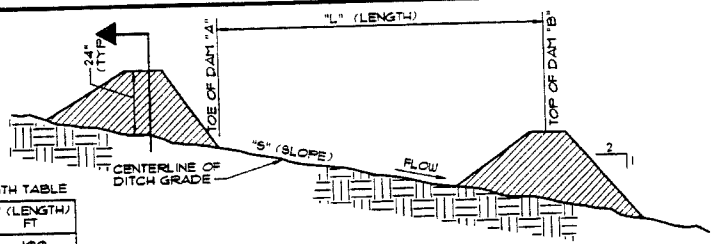


NOTES:  
1. MAINTAIN ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. IF WASHING IS REQUIRED PREVENT SEDIMENT FROM ENTERING WATERWAYS, DITCHES OR STORM DRAINS.  
2. REMOVE STABILIZED CONSTRUCTION ENTRANCE TO FINISH ROAD CONSTRUCTION & PAVEMENT.

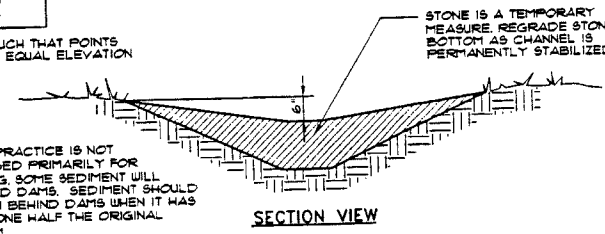
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**TYPICAL HYDRANT**  
NOT TO SCALE



**ELEVATION VIEW**

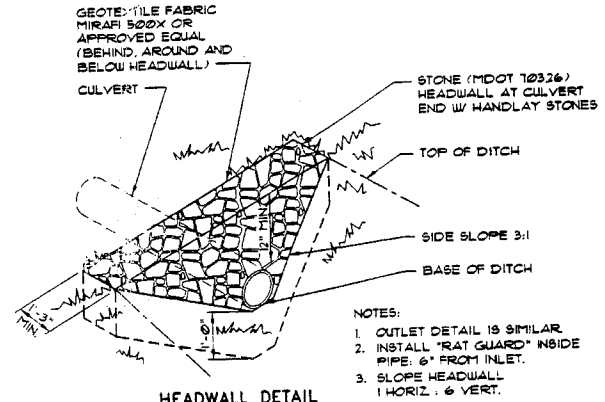


**SECTION VIEW**

STONE IS A TEMPORARY MEASURE. REGRADE STONE INTO BOTTOM AS CHANNEL IS PERMANENTLY STABILIZED.

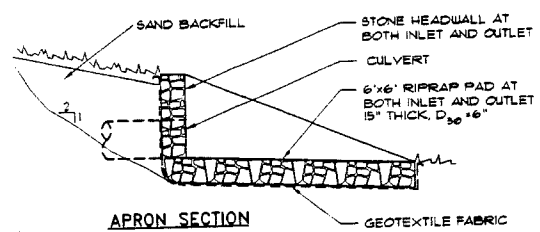
**SEQUENCE OF CONSTRUCTION**

1. INSTALL ALL SILT FENCE AND HAYBALE PROTECTION AROUND THE SITE AND ADJACENT TO THE WETLAND AREA.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. CLEAR AND GRUB WORK AREAS. TEMPORARILY SEED AREAS NOT TO BE WORKED ON WITHIN 14 DAYS.
4. STRIP AND STOCKPILE ON-SITE TOPSOIL. SEED STOCKPILES WITH TEMPORARY SEED MIX.
5. SUBMIT SAMPLES OF TOPSOIL/LOAM FOR LAB WORK. ADJUST LIME AND FERTILIZER ACCORDINGLY.
6. BEGIN EARTHWORK FOR ROADS AND BUILDING FOUNDATIONS.
7. INSTALL AND PROTECT INITIAL STORM DRAINAGE SYSTEMS.
8. BEGIN BUILDING CONSTRUCTION.
9. ROUGH GRADE ROADS AND ROADWAY SIDE SLOPES.
10. FINE GRADE ALL PARKING AND DRIVEWAY SIDE SLOPES AND ROUGH GRADE REMAINDER OF SITE.
11. RE-SEED OR TEMPORARILY SEED ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
12. COMPLETE FINE GRADING AND PAVING OF ROADS, WALKS AND DRIVEWAY AREAS.
13. FINE GRADE, LOAM, SEED AND FERTILIZE REMAINDER OF SITE.
14. REMOVE TEMPORARY SOIL EROSION MEASURES AS THE HOMES ARE COMPLETED AND GRASS GROWTH IS OBTAINED.



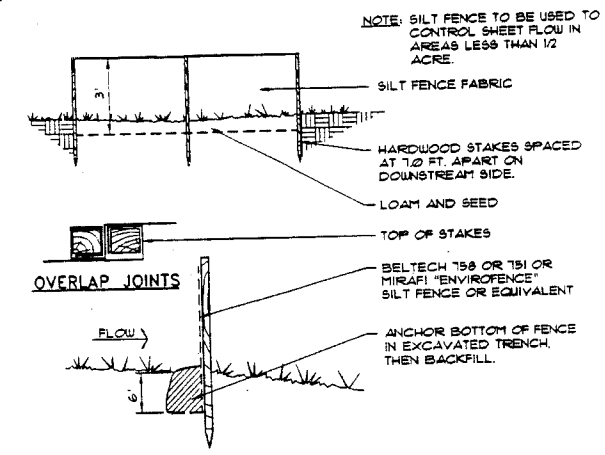
**HEADWALL DETAIL**

NOTES:  
1. OUTLET DETAIL IS SIMILAR.  
2. INSTALL "RAT GUARD" INSIDE PIPE, 6" FROM INLET.  
3. SLOPE HEADWALL 1 HORIZ. : 6 VERT.



**APRON SECTION**

**STONE HEADWALL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

1. THIS DRAWING DEPICTS THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
  1. SOIL EROSION IS KEPT TO A MINIMUM.
  2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
  3. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AT THE EARLIEST TIME POSSIBLE. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND HAY BALE BARRIERS WHICH ACCUMULATE SEDIMENT AND DEBRIS. CLEAN CATCH BASIN SUMPS ON A REGULAR BASIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY ENGINEER OF ANY SIGNIFICANT EROSION PROBLEM.
6. TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 30.
7. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BURYING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
8. SEEDING:
  1. USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
  2. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 3/14, RE-SEED WITH PERMANENT SEED MIX AFTER 3/15.

**PERMANENT SEED:**

SEED TYPE	RATE (LBS/ACRE)	TOTAL SEED RATE
CREeping RED FESCUE	50.00	123.00
KENTUCKY BLUEGRASS	30.25	
KENTUCKY 31 FESCUE	30.25	
WHITE CLOVER	12.50	

**TEMPORARY SEED:**

SEED TYPE	RATE (LBS/ACRE)	PERIOD
OATS	80.00	4/01 - 5/14
ANNUAL RYEGRASS	40.00	5/15 - 8/14
SUDANGRASS	40.00	5/15 - 9/14
ANNUAL RYEGRASS	80.00	9/15 - 9/30
WINTER RYE	112.00	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	112.00	10/01 - 3/31

**LIME AND FERTILIZER:**  
LIME AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

**MULCH:**

MULCH TYPE	AMOUNT (LBS)	AREA
STRAW OR HAY (ANCHORED)	10 - 20	PROTECTED AREAS WINDY AREAS
SHREDDED OR CHOPPED JUTE MESH	185 - 275	
AS REQUIRED	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES

**EXCLOSURE MAT** AS REQUIRED

**MULCH ANCHORING**  
PEG AND TWINE  
MULCH NETTING  
ASPHALT EMULSION

**LIQUID ASPHALT**  
WOOD CELLULOSE FIBER  
CHEMICAL TACK

**PRELIMINARY**

REV.	DATE	DESCRIPTION
1	3/24/97	REMOVED CB RELATED DETAILS

COTTAGE PARK INC.  
91 SUMMER PLACE, PORTLAND ME

REDLON PARK  
REDLON ROAD, PORTLAND MAINE

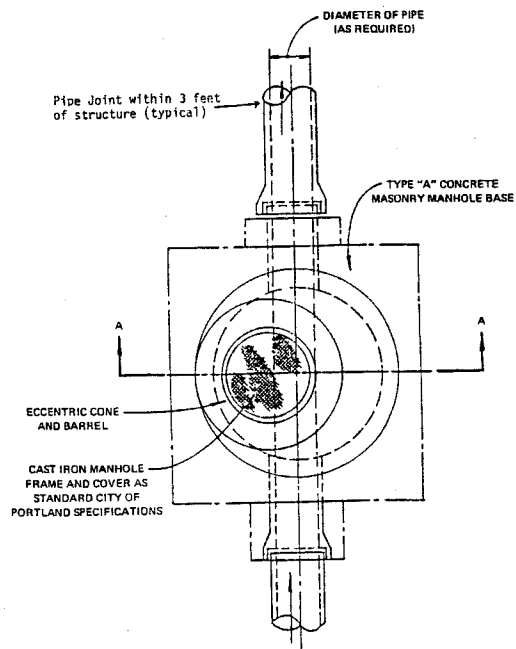
CONSULTING ENGINEERS, INC.  
FALMOUTH, MAINE

**DETAILS**

SCALE: AS SHOWN DRN BY: JDC  
DATE: FEB. 28, 1997 DESG BY: TSG  
PROJECT: 97115 CHK BY: TSG

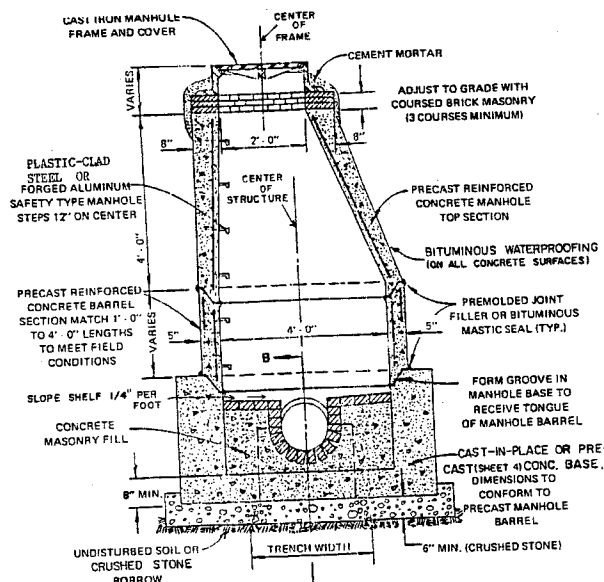


C4



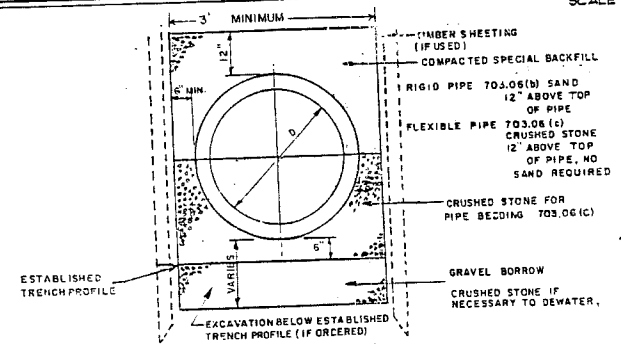
TYPE "A" MANHOLE PLAN

SCALE 1/2"=1'-0"



TYPE "A" MANHOLE SECTION A-A

SCALE 1/2"=1'-0"

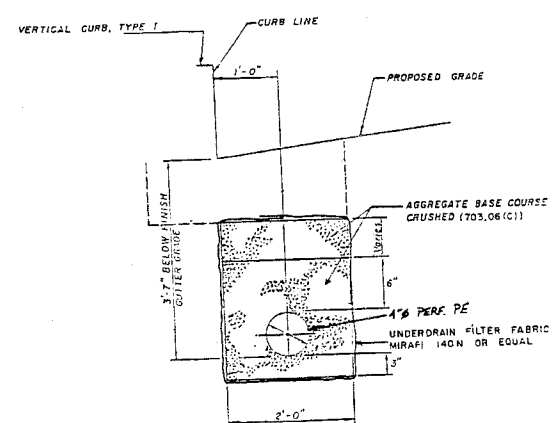


TYPICAL SECTION ALL PIPE

SHEETING DRIVEN BELOW SPRING LINE OF PIPE SHALL NOT BE REMOVED BUT CUT-OFF ONE FOOT ABOVE TOP OF PIPE

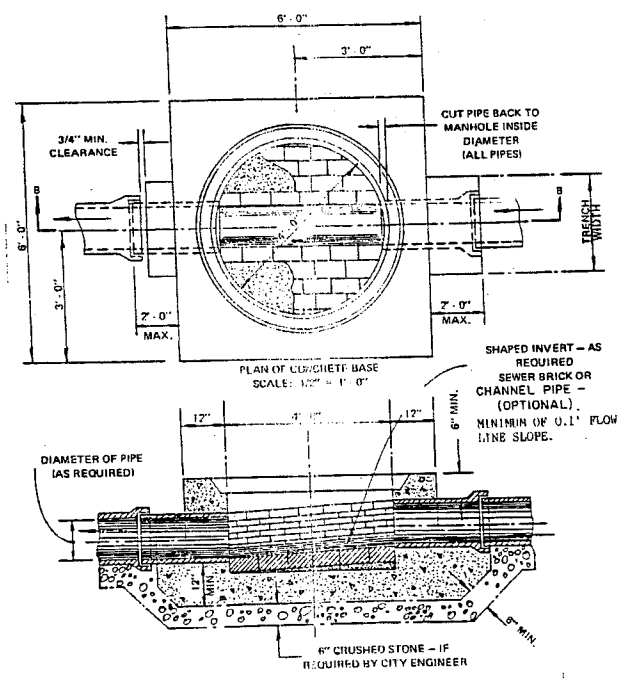
TYPICAL TRENCH SECTION

NOT TO SCALE



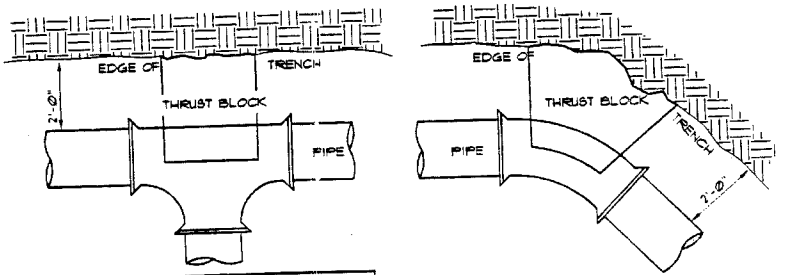
UNDERDRAIN TRENCH SECTION

NOT TO SCALE



TYPE "A" MANHOLE SECTION B-B

SCALE 1/2"=1'-0"



MINIMUM THRUST BLOCK BEARING AREA REQ'D AGAINST UNDISTURBED MATERIAL (SQ. FT.)

PIPE SIZE	90° BEND	TEE	PLUG	45° BEND	22 1/2° AND SMALLER
16"	28	22	20	15	8
12"	16	14	11	9	4
8"	7	6	5	4	2
6"	5	4	3	2	2

SIZE OF THRUST BLOCK MAY BE INCREASED BY THE ENGINEER TO MEET SOIL CONDITIONS FOUND DURING CONSTRUCTION

THRUST AT FITTINGS IN Lbs. AT 100 Lbs. PER SQUARE INCH WATER PRESSURE

PIPE SIZE	90° ELBOW	45° ELBOW	DEAD ENDS	VALVES, TEES AND
4"	2,600	1,420	1,850	
6"	5,400	2,900	3,800	
8"	9,300	5,200	6,900	
10"	13,300	7,550	10,250	
12"	19,100	10,800	13,900	

FOR PIPES SMALLER THAN 6" USE THRUST BLOCK FOR 6" PIPE

THRUST BLOCK DETAIL

NOT TO SCALE

**PRELIMINARY**

REV.	DATE	DESCRIPTION

COTTAGE PARK INC.  
91 SUMMER PLACE, PORTLAND ME

REDLON PARK  
REDLON ROAD, PORTLAND MAINE

**DETAILS**

SCALE: AS SHOWN      DRN BY: JDC  
DATE: FEB. 28, 1997      DESG BY: TSG  
PROJECT: 97115      CHK BY: TSG

STATE OF MAINE  
THOMAS S. GREER  
4206  
REGISTERED PROFESSIONAL ENGINEER

C5

PLOT DATE: 3/24/97  
 FILE SCALE: 1"=40'  
 CAD FILE: 97115C3

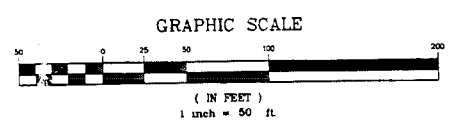
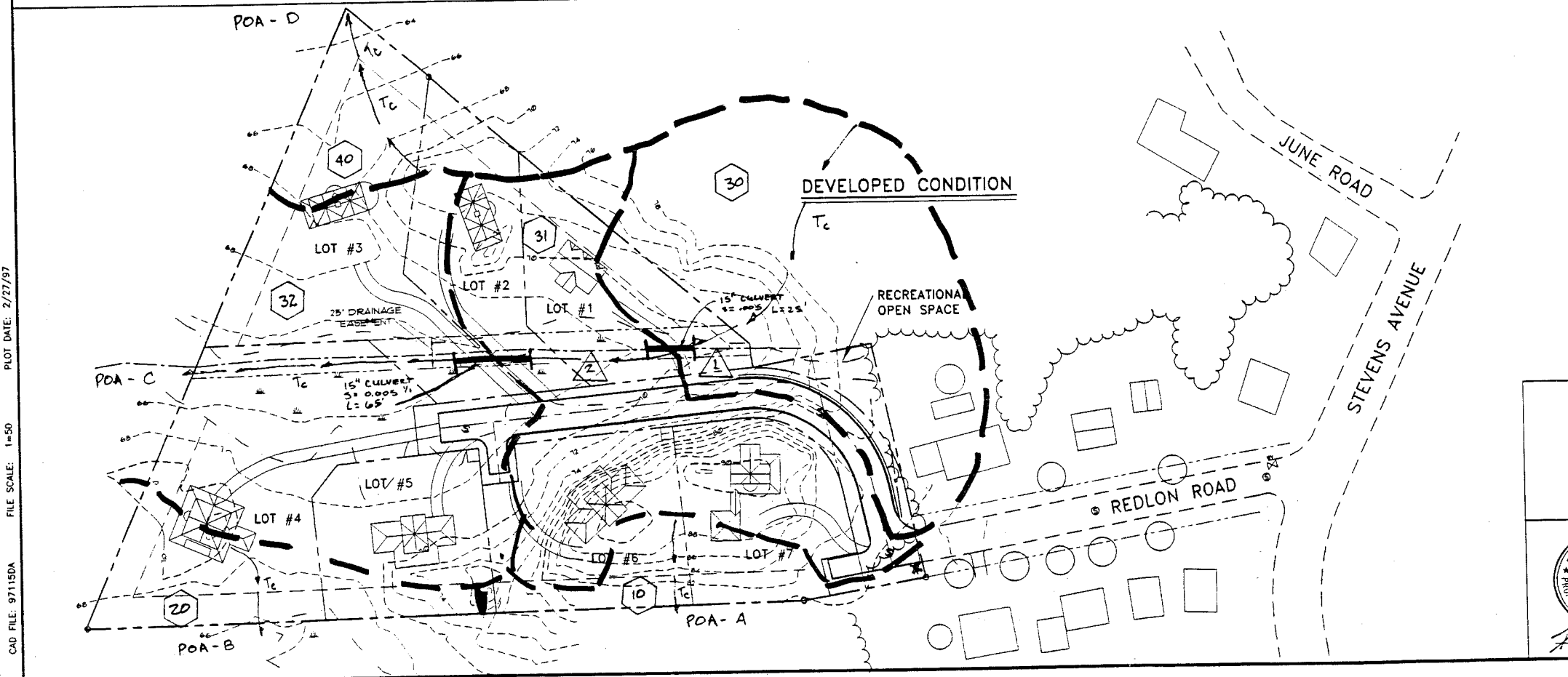
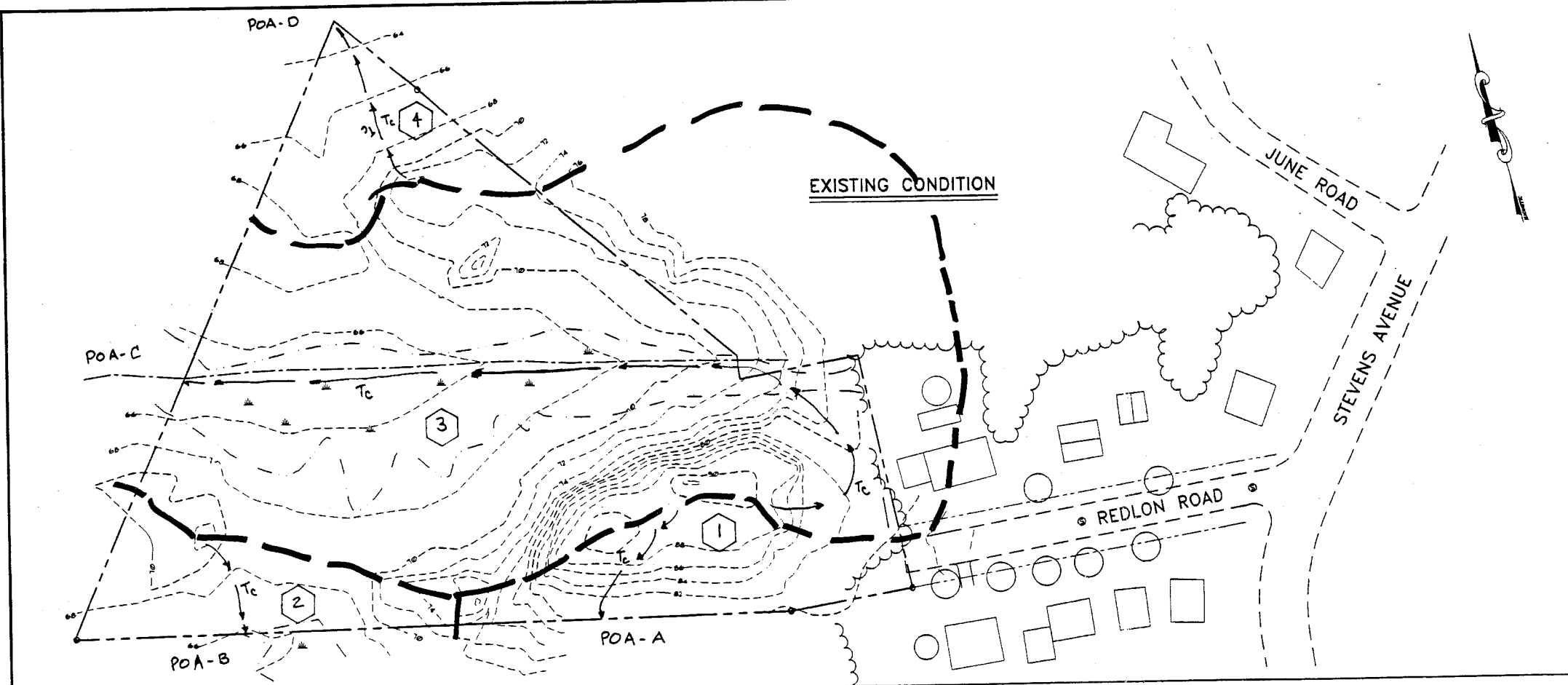
### PLAN LEGEND

EXISTING	PROPOSED
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o	o
o	o
▲	▲
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### DRAINAGE LEGEND

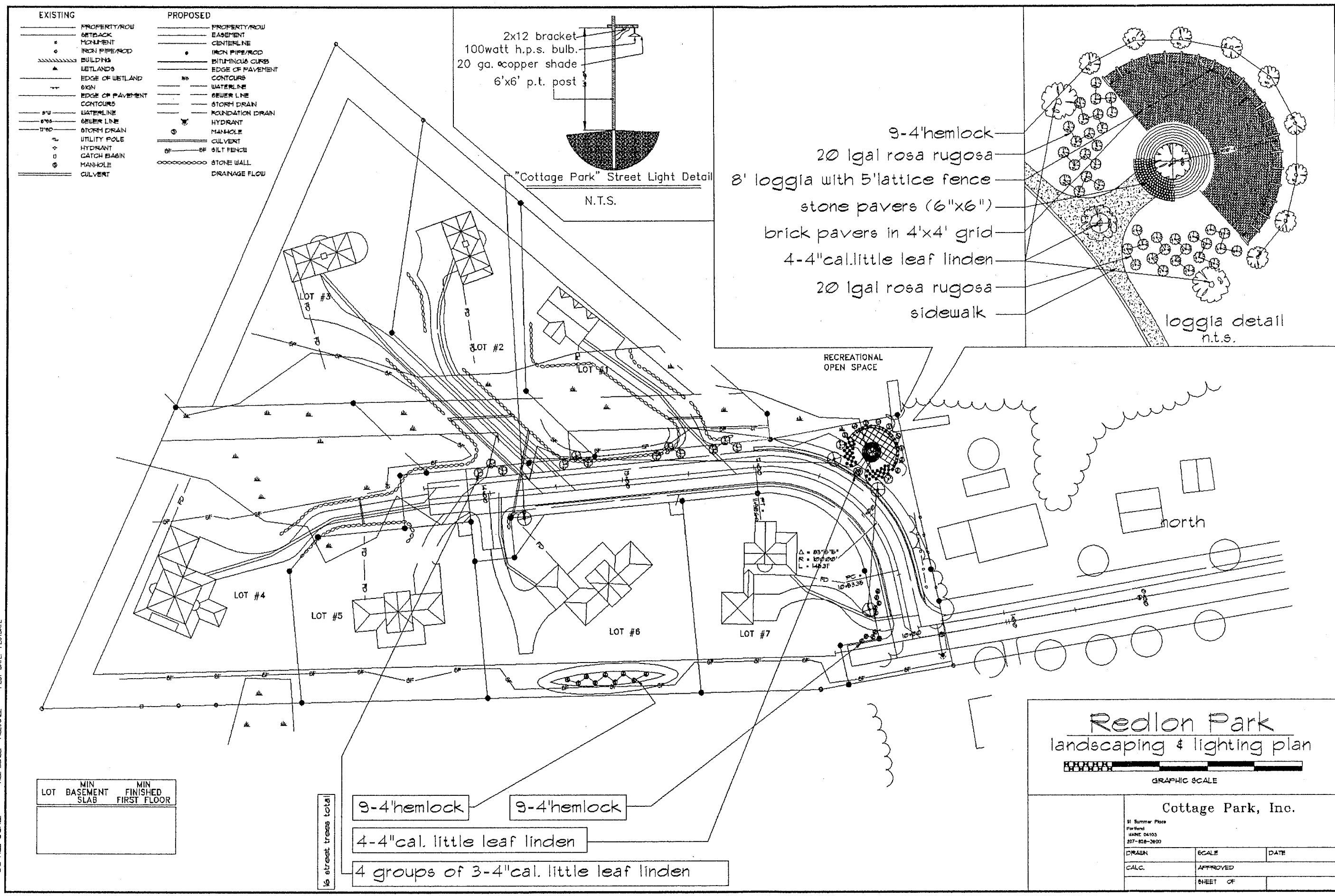
20	SUBCATCHMENT
2	POND FOR ANALYSIS
T <sub>c</sub>	TIME OF CONCENTRATION PATH
---	DRAINAGE DIVIDE
I	CULVERT
POA-B	POINT OF ANALYSIS

NOTE: SEE DRAINAGE REPORT FOR FLOWS AND T<sub>c</sub> ASSUMPTIONS.

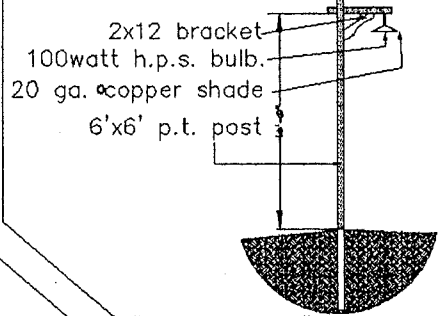


CAD FILE: 97115DA  
 FILE SCALE: 1"=50'  
 PLOT DATE: 2/27/97

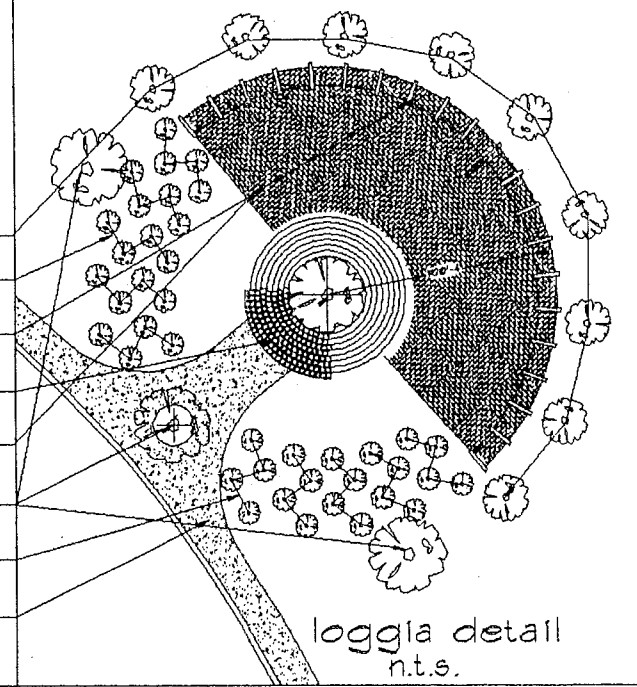
	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV.	DATE	DESCRIPTION				COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND ME <b>REDLON PARK</b> REDLON ROAD, PORTLAND MAINE
	REV.	DATE	DESCRIPTION					
		<b>DRAINAGE ANALYSIS</b>						
SCALE: AS SHOWN    DRN BY: JDC DATE: FEB. 28, 1997    DESG BY: TSG PROJECT: 97115    CHK BY: TSG	<b>D1</b>							
2-25-97								



- | EXISTING         | PROPOSED         |
|------------------|------------------|
| PROPERTY/ROW     | PROPERTY/ROW     |
| SETBACK          | EASEMENT         |
| MONUMENT         | CENTERLINE       |
| IRON PIPE/ROD    | IRON PIPE/ROD    |
| BUILDING         | BITUMINOUS CURB  |
| WETLANDS         | EDGE OF PAVEMENT |
| EDGE OF WETLAND  | CONTOURS         |
| 8'GN             | WATERLINE        |
| EDGE OF PAVEMENT | SEWER LINE       |
| CONTOURS         | STORM DRAIN      |
| 8" W             | FOUNDATION DRAIN |
| WATERLINE        | HYDRANT          |
| 8" S             | MANHOLE          |
| STORM DRAIN      | CULVERT          |
| UTILITY POLE     | 8' SILT FENCE    |
| HYDRANT          | STONE WALL       |
| CATCH BASIN      | DRAINAGE FLOW    |
| MANHOLE          |                  |
| CULVERT          |                  |



- 9-4'hemlock
- 20 1gal rosa rugosa
- 8' loggia with 5' lattice fence
- stone pavers (6"x6")
- brick pavers in 4'x4' grid
- 4-4"cal. little leaf linden
- 20 1gal rosa rugosa
- sidewalk



LOT	MIN BASEMENT SLAB	MIN FINISHED FIRST FLOOR

- 9-4'hemlock
- 9-4'hemlock
- 4-4"cal. little leaf linden
- 4 groups of 3-4"cal. little leaf linden

**Redlon Park**  
landscaping & lighting plan

GRAPHIC SCALE

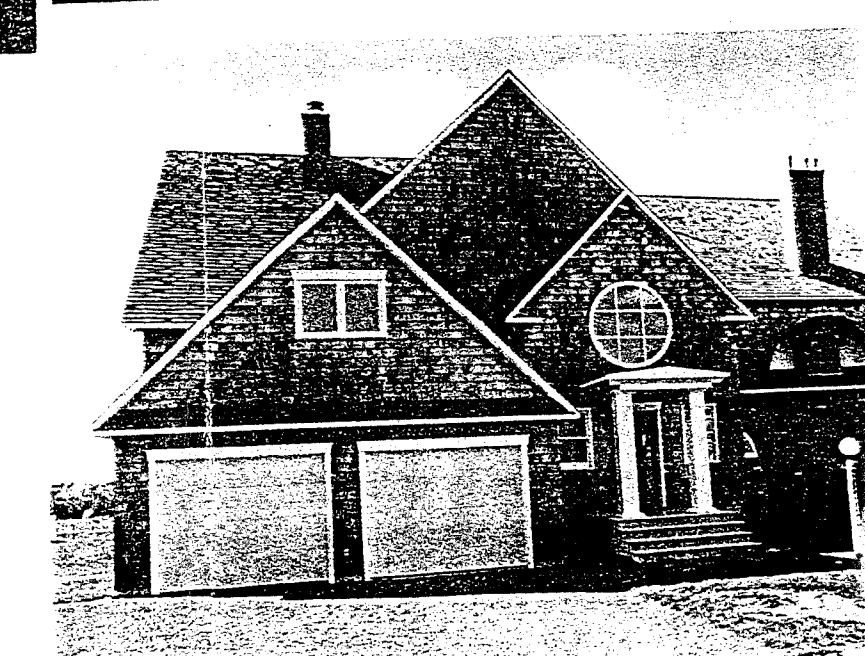
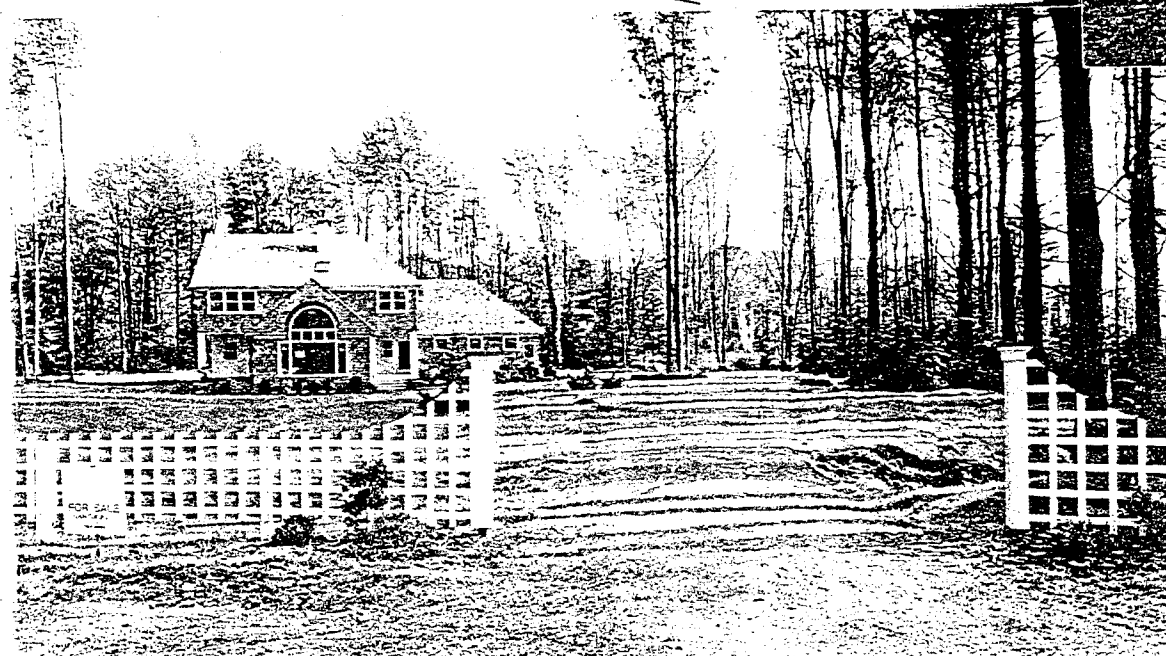
**Cottage Park, Inc.**

91 Summer Place  
Portland  
MAINE 04103  
207-828-3600

DRAWN	SCALE	DATE
CALC.	APPROVED	
	SHEET OF	

CAD FILE: CADFILE FILE SCALE: FILESCALE PLOT DATE: PLOTDATE

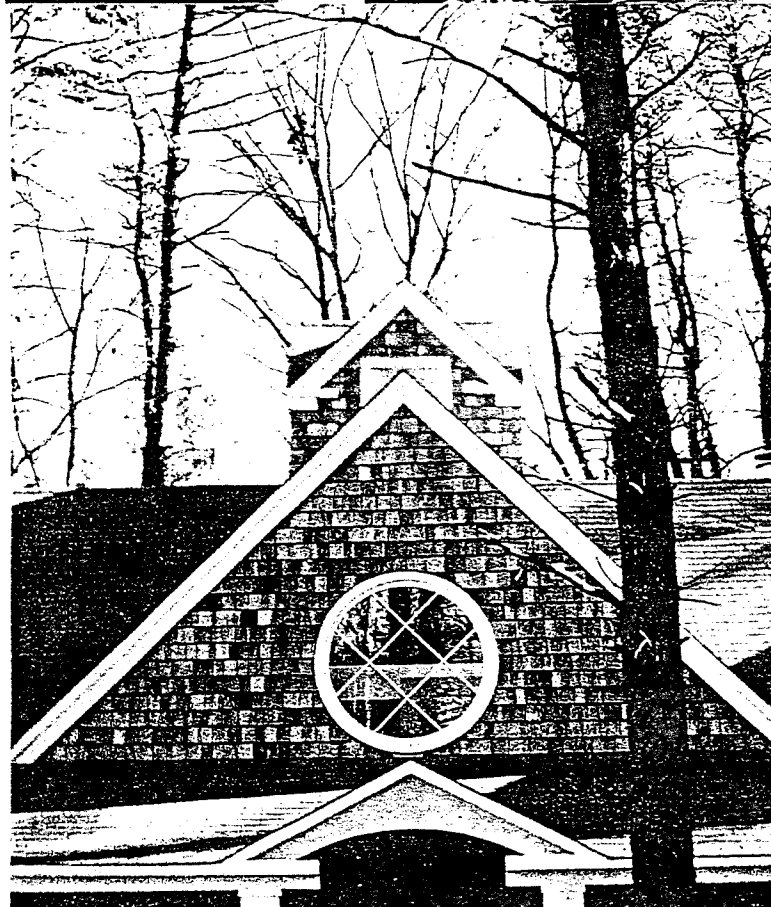
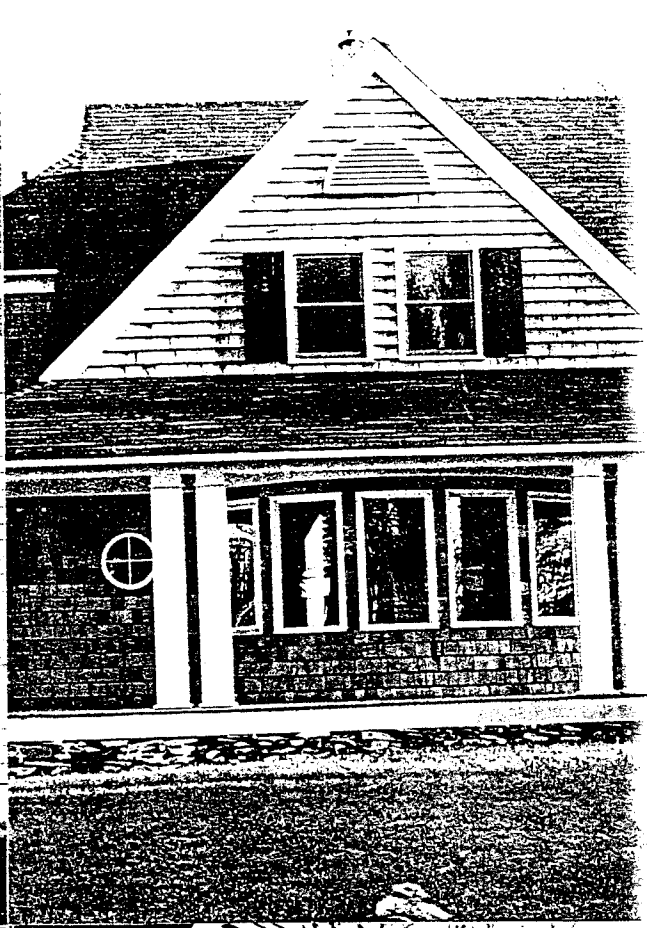
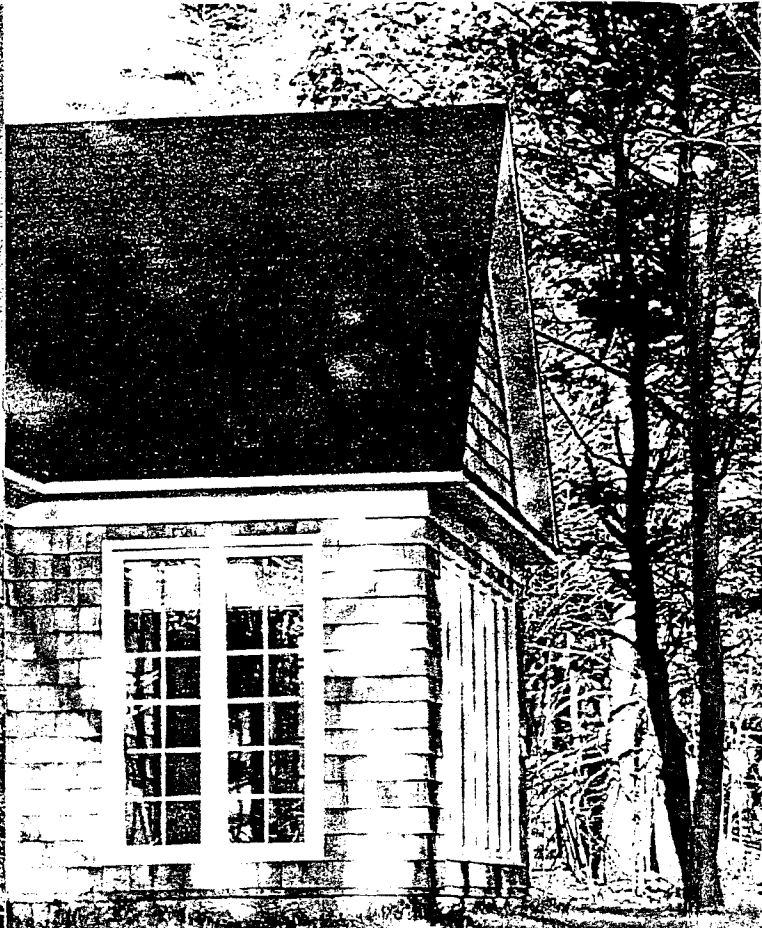
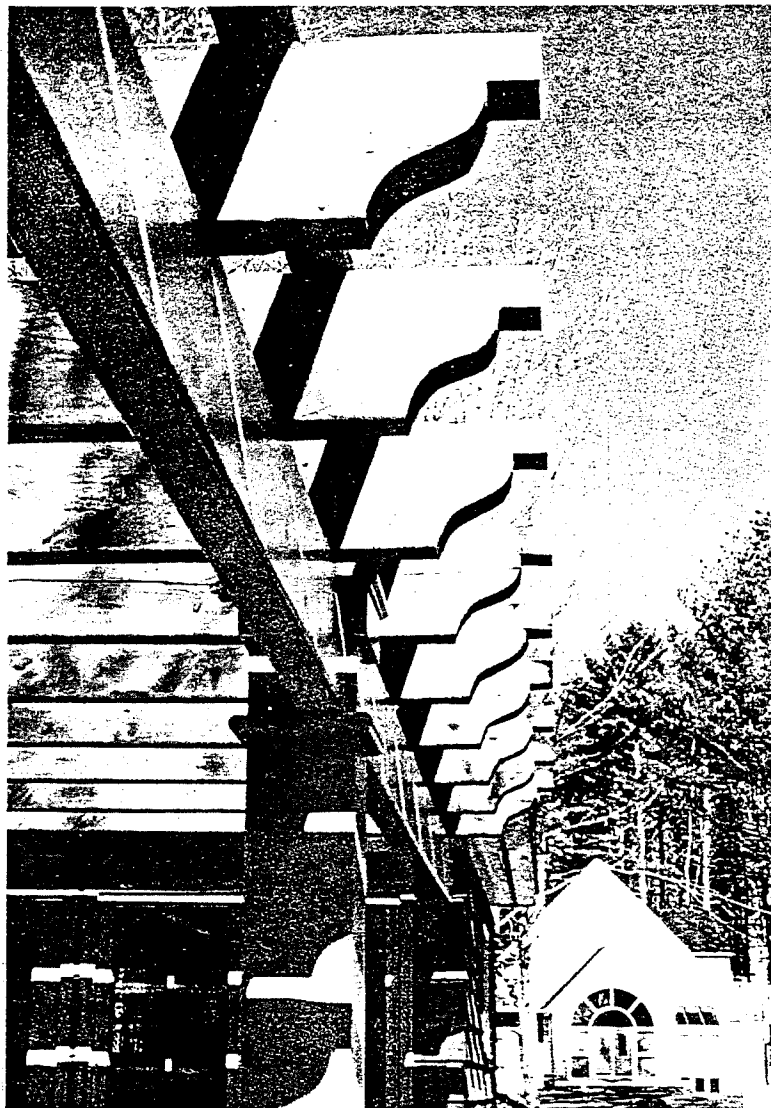










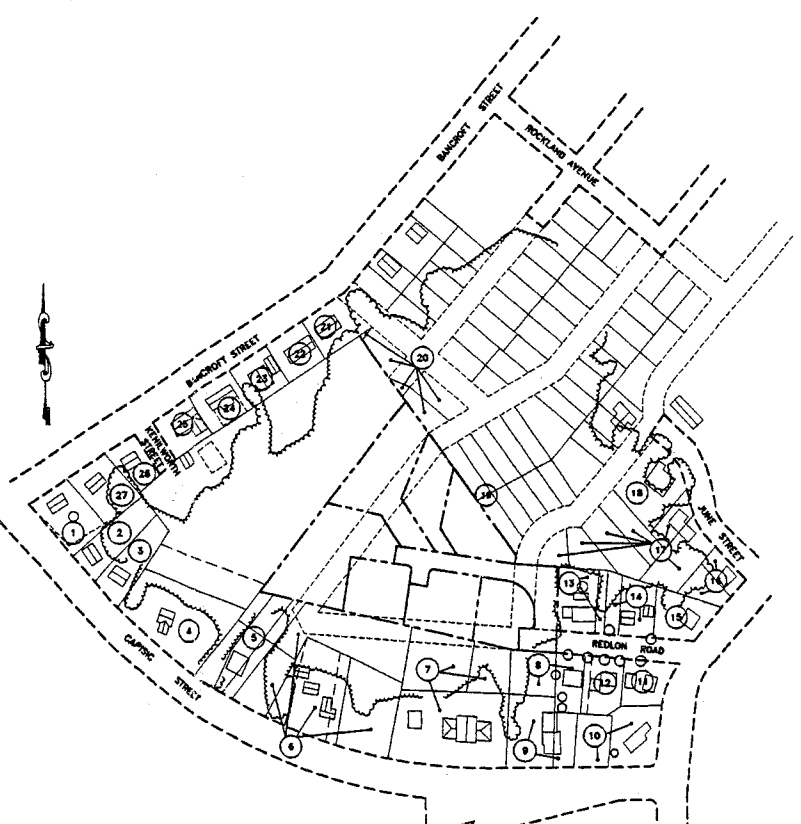
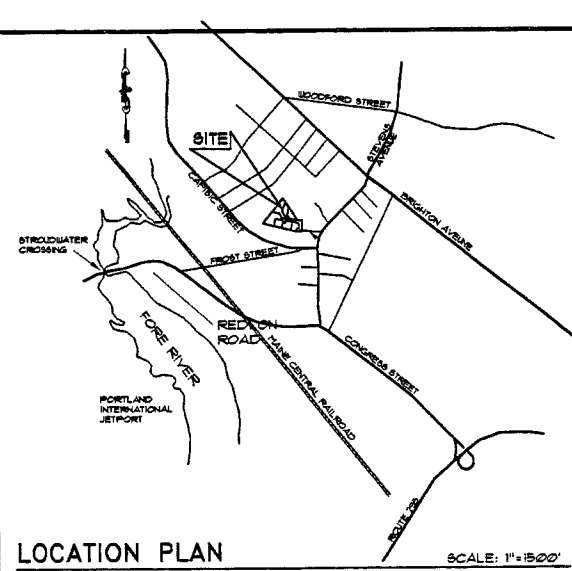


**GENERAL NOTES**

- OWNER: HOUSING RESOURCES CORP., 428 CUMBERLAND, AVE, PORTLAND, MAINE  
RECORDED IN CCRD BOOK 9851, PAGE 226.  
DEVELOPER: COTTAGE PARK INC., 91 SUMMER PLACE, PORTLAND, ME
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHIC INFORMATION PROVIDED BY SEBAGO TECH-NICS, WESTEROCK, MAINE  
BENCH MARK: RIM OF SELLER MANHOLE IN REDLON ROAD = ELEV. 72.9 (STA. 0+00)
- BOUNDARY INFORMATION PROVIDED BY DANIEL J. DALFONSO, PLS., SOUTH PORTLAND, MAINE
- WETLAND MAPPING PROVIDED BY ALAN L. BURNELL, HARRISON, MAINE
- TAX MAP REFERENCE: MAP 193/LOT E7.
- TOTAL PARCEL = 4.43 acres.  
AREA IN RIGHT OF WAY: 0.52 acres (12%)  
AREA IN OPEN SPACE: 0.071 acres (1.6%)  
AREA TO BE SUBDIVIDED INTO SEVEN (7) LOTS: 3.84 acres (86.5%)
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DIVIATION FROM APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER. THE PORTLAND WATER DISTRICT IS RESPONSIBLE FOR MAINTENANCE OF THE WATER MAIN. THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF THE PRESSURE SEWER SYSTEM.
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- BLASTING FOR ROCK REMOVAL MUST BE IN ACCORDANCE WITH THE ROCK REMOVAL GUIDELINES FOR THIS PROJECT ON FILE AT THE PLANNING DEPARTMENT.
- POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION DATED 1991.
- NO CONSTRUCTION OR FILLING OF WETLANDS OTHER THAN THAT SHOWN ON THE PLAN ARE ALLOWED. A NRPA PERMIT IS REQUIRED BY DEP.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMP'S AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- STREET NAME: REDLON PARK ROAD.
- A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND "ARBORICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES". DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR THE COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
- THE ROADWAY WITHIN THIS PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE "HOMEOWNERS ASSOCIATION", INCLUDING, BUT NOT LIMITED TO, DRAINAGE FACILITIES, WALKWAYS, ROADS WITHIN THE COMMON AREAS AND OPEN SPACE. MAINTENANCE OF THE STORM WATER STRUCTURES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. IF THEY FAIL TO MAINTAIN THE SYSTEM THE HOMEOWNERS ASSOCIATION HAS THE RIGHT AND RESPONSIBILITY TO MAINTAIN THE SYSTEM. IN THE EVENT THE HOMEOWNERS ASSOCIATION FAILS TO MAINTAIN THE SYSTEM THE CITY HAS THE RIGHT TO MAINTAIN THE SYSTEM AND CHARGE THE HOMEOWNERS ASSOCIATION FOR ANY COST INCURRED.
- ADJACENT EXISTING HOUSE, TREELINE, AND WET AREAS SHOWN ARE TAKEN FROM 1956 AERIAL PHOTOGRAPH FROM GREATER PORTLAND COUNCIL OF GOVERNMENTS.
- THE AREA TO BE CLEARED SHALL BE MARKED AND FIELD APPROVED BY THE CITY ARBORIST PRIOR TO ANY WORK.
- THE BLASTING CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY FIRE DEPARTMENT PRIOR TO ANY DRILLING OR BLASTING.

**LOCATION PLAN**

SCALE: 1"=150'



- PLANS IN THIS SUBMITTAL**
- SHEET 1 PRUD PLAN AND SUBDIVISION PLAN
  - SHEET 2 SITE PLAN
  - SHEET 3 CLEARING LIMITS
  - SHEET 4 ROAD PROFILE AND DETAILS
  - SHEET 5 CROSS SECTIONS
  - SHEET 6 DETAILS
  - SHEET 7 DETAILS
  - SHEET 8 DRAINAGE ANALYSIS

**ABUTTORS**

1	DIMILLO, ANTONIO JR. & KATHLEEN D. 164 BANCROFT ST.	193-E-20	14	CAMPITELLI, ROBERT J. & LINDA 7 REDLON RD.	178-C-15-16
2	JOHNSON, WILLIAM F. & WILLIAM R. JOHNSON 119 CAPISIG ST.	193-E-29	15	PIRONE, ELLEN M. 136 STEVENS AVE.	178-C-18
3	KING, JAMES T. & HELEN J. 115 CAPISIG ST.	193-E-30	16	WYNE, GERALDENE B. & RAYMOND J. 29 GROVESIDE RD.	178-C-11-12
4	DEVLIN, VINCENT L. 93 CAPISIG ST.	193-E-6	17	NORRIS, RUTH S. 14 JUNE ST.	178-C-2-3-4-5-9-10
5	LEADBETTER, SHEILA ANNE 83 CAPISIG ST.	193-E-9-10-15-16-17-18	18	SWAN, ELVIE G. 24 JUNE ST.	178-C-7
6	BACON, ANNE A. & WILLIAM J. 63 CAPISIG ST.	193-E-8-12-13-14	19	CHENEY, ROBERT J. WEST RIVER RD. WEST BUXTON	193-D-2-3-4-28
7	EUNICE FRYE 37 CAPISIG ST.	194-B-5, 178-C-20 193-E-11	20	HERRICK, STUART B. 130 BANCROFT ST.	193-E-1-2-3-4-5-19-21
8	THOMPSON, LOUIS D. 29 REDLON ST.	178-C-21-22	21	LUSSIER, THOMAS R. & MELODY 100 BANCROFT ST.	193-E-21
9	WINSLOW, CARLETON & CHARLOTTE-ANNE 19 CAPISIG ST.	194-B-1-2	22	CUMMINGS, OLIVE P. 110 BANCROFT ST.	193-E-22
10	SHARAZIAN, PATRICIA 114 STEVENS AVE.	194-B-3, 178-C-25	23	GENDRON, DONNA I. & ROGER J. 118 BANCROFT ST.	193-E-23
11	O'BLEN, EMMET M. & MICHAELNE A. 122 STEVENS AVE.	178-C-24	24	LANGELLA, ROSALYN J. 126 BANCROFT ST.	193-E-24
12	AMATO MARY 18 REDLON RD.	178-C-23	25	HERRICK, DIANE E. 130 BANCROFT ST.	193-E-26
13	DERICE, DAUN L. 21 REDLON RD.	178-C-13-14	26	BROOKS, EDWARD C. & ROSE M. 144 BANCROFT ST.	193-E-25
			27	KERN, VIRGINIA L. 154 BANCROFT ST.	193-E-28

**ZONE INFORMATION**

R-3 RESIDENTIAL ZONE  
PERMITTED USE: PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD)

SPACE STANDARDS	PRUD REQUIREMENT
MINIMUM LOT AREA	6,500 SQ. FT.
MINIMUM STREET FRONTAGE	50 FEET
MAXIMUM NUMBER OF UNITS PER BUILDING:	2 UNITS
MAXIMUM LENGTH OF BUILDING:	100' WITHOUT GARAGE 140' WITH INTEGRAL GARAGE
MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES:	25'
MINIMUM DISTANCE BETWEEN DUELLING UNITS:	16'
MINIMUM RECREATION OPEN SPACE AREA:	2,100 SQ. FT. (.05 acres)

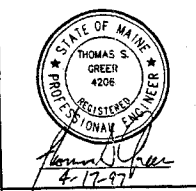
**LEGEND**

EXISTING	PROPOSED
PROPERTY/ROW	PROPERTY/ROW
SETBACK	EASEMENT
MONUMENT	ROAD CENTERLINE
IRON PIPE/ROD	IRON PIPE/ROD
BUILDING	
WETLANDS	
EDGE OF WETLAND	
SIGN	
EDGE OF PAVEMENT	

SUBDIVISION AND PRUD PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE \_\_\_\_\_

STATE OF MAINE, CUMBERLAND REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_  
at \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M  
AND RECORDED IN \_\_\_\_\_  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
REGISTER



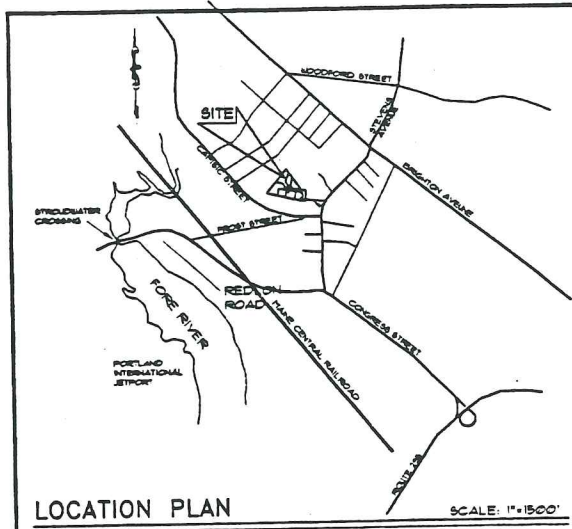
THIS PLAN IS A RESULT OF A STANDARD BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS FOR CATEGORY I, CONDITION III.

DANIEL J. DALFONSO, PLS. #172

**PRELIMINARY**

2	4/16/97	CHANGED DRAINAGE EASEMENT, COMMON OPEN SPACE
1	3/24/97	REVISED NOTES
REV.	DATE	DESCRIPTION
COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND ME <b>REDLON PARK</b> REDLON ROAD, PORTLAND MAINE PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAN AND SUBDIVISION PLAN		
SCALE:	AS SHOWN	DRN BY: JDC
DATE:	FEB. 28, 1997	DESG BY: TSG
PROJECT:	97115	CHK BY: TSG

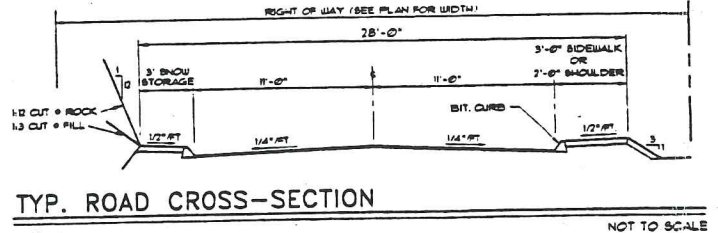
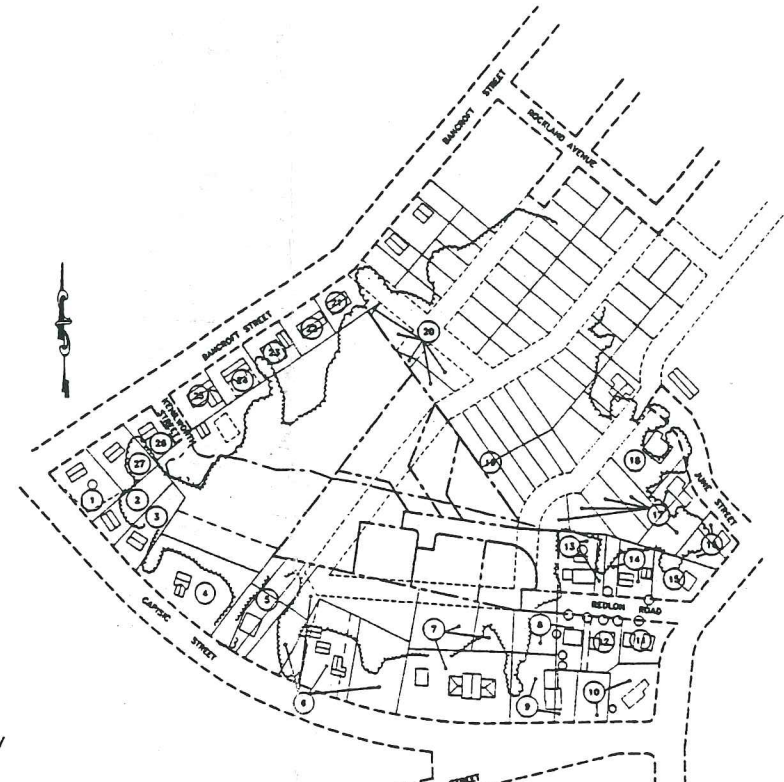




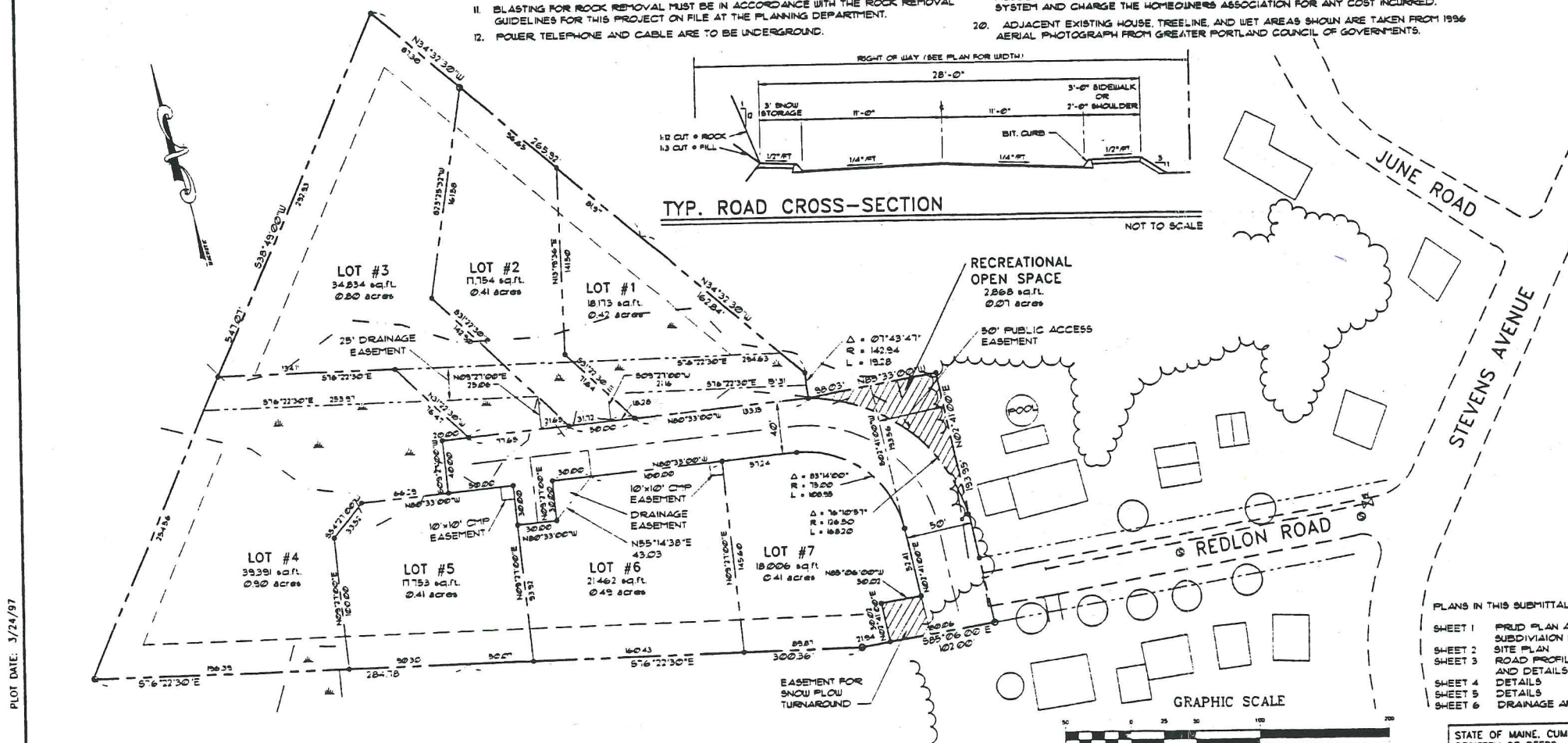
LOCATION PLAN SCALE: 1"=1500'

**GENERAL NOTES**

- OWNER: HOUSING RESOURCES CORP. 428 CUMBERLAND AVE. PORTLAND, MAINE  
RECORDED IN CORD BOOK 9591, PAGE 226  
DEVELOPER: COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND, ME
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS FALMOUTH, MAINE
- TOPOGRAPHIC INFORMATION PROVIDED BY SEBAGO TECHNICS, WESTBROOK, MAINE  
BENCH MARK: RIM OF SEWER MANHOLE IN REDLON ROAD + ELEV. 12.5 (STA. 0+00)
- BOUNDARY INFORMATION PROVIDED BY DANIEL J. DALFONSO, PLS. SOUTH PORTLAND, MAINE
- WETLAND MAPPING PROVIDED BY ALAN L. BURNELL, HARRISON, MAINE
- TAX MAP REFERENCE: MAP 193A.07 ET.
- TOTAL PARCEL = 4.43 acres.  
AREA IN RIGHT OF WAY: 0.52 acres (12%)  
AREA IN OPEN SPACE: 0.27 acres (6%)  
AREA TO BE SUBDIVIDED INTO SEVEN (7) LOTS: 3.64 acres (86.5%)
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DIVISION FROM APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER. THE PORTLAND WATER DISTRICT IS RESPONSIBLE FOR MAINTENANCE OF THE WATER MAIN. THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF THE PRESSURE SEWER SYSTEM.
- LANDSCAPING SHALL MEET THE 'ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES' OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- BLASTING FOR ROCK REMOVAL MUST BE IN ACCORDANCE WITH THE ROCK REMOVAL GUIDELINES FOR THIS PROJECT ON FILE AT THE PLANNING DEPARTMENT.
- POWER TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE 'MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES' CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION DATED 1991.
- NO CONSTRUCTION OR FILLING OF WETLANDS OTHER THAN THAT SHOWN ON THE PLAN ARE ALLOWED. A NRPA PERMIT IS REQUIRED BY DEP.
- SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPER REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK AT THAT TIME. THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- STREET NAME: REDLON PARK ROAD.
- A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND 'ARBORICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES'. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR THE COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
- THE ROADWAY WITHIN THIS PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE 'HOMEOWNERS ASSOCIATION', INCLUDING, BUT NOT LIMITED TO, DRAINAGE FACILITIES, WALKWAYS, ROADS WITHIN THE COMMON AREAS AND OPEN SPACE. MAINTENANCE OF THE STORM WATER STRUCTURES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. IF THEY FAIL TO MAINTAIN THE SYSTEM THE HOMEOWNERS ASSOCIATION HAS THE RIGHT AND RESPONSIBILITY TO MAINTAIN THE SYSTEM. IN THE EVENT THE HOMEOWNERS ASSOCIATION FAILS TO MAINTAIN THE SYSTEM THE CITY HAS THE RIGHT TO MAINTAIN THE SYSTEM AND CHARGE THE HOMEOWNERS ASSOCIATION FOR ANY COST INCURRED.
- ADJACENT EXISTING HOUSE, TREELINE, AND WET AREAS SHOWN ARE TAKEN FROM 1996 AERIAL PHOTOGRAPH FROM GREATER PORTLAND COUNCIL OF GOVERNMENTS.



TYP. ROAD CROSS-SECTION NOT TO SCALE



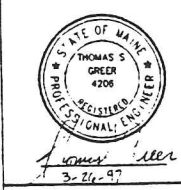
**ABUTTORS**

1 DIMILLO, ANTONIO JR 4 KATHLEEN D 164 BANCROFT ST.	193-E-20	14 CAMPITELLI, ROBERT J. 4 LINDA 7 REDLON RD.	178-C-15-16
2 JOHNSON, WILLIAM F. & WILLIAM R. JOHNSON 119 CAPISSIC ST.	193-E-29	15 PIRONE, ELLEN M. 136 STEVENS AVE.	178-C-18
3 KING, JAMES T. & HELEN J. 113 CAPISSIC ST.	193-E-30	16 WYTHE, GERALDENE B. & RAYMOND J. 29 GROVESIDE RD.	178-C-11-12
4 DEVLIN, VINCENT L. 59 CAPISSIC ST.	193-E-6	17 NORRIS, RUTH S. 14 JUNE ST.	178-C-2-3-4-5-9-10
5 LEADBETTER, SHEILA ANNE 63 CAPISSIC ST.	193-E-9-10-15-16-17-18	18 SWAN, ELVIE G. 24 JUNE ST.	178-C-7
6 BACON, ANNE A. & WILLIAM J. 63 CAPISSIC ST.	193-E-8-12-13-14	19 CHENEY, ROBERT J. WEST RIVER RD. WEST BUXTON	193-D-2-3-4-28
7 EUNICE FRYE 37 CAPISSIC ST.	194-B-5 178-C-20 193-E-11	20 HERRICK, STUART B. 130 BANCROFT ST.	193-E-1-2-3-4-5-15-21
8 THOMPSON, LOUIS D. 25 REDLON ST.	178-C-21-22	21 LUSSIER, THOMAS R. & MELCOY 100 BANCROFT ST.	193-E-21
9 WINSLOW, CARLETON & CHARLOTTE-ANNE 19 CAPISSIC ST.	194-B-1-2	22 CUTTINGS, OLIVE P. 110 BANCROFT ST.	193-E-22
10 SHAPAZIAN, PATRICIA 114 STEVENS AVE.	194-B-3 178-C-25	23 GENDRON, DONNA I. & ROGER 118 BANCROFT ST.	193-E-23
11 O'BRIEN, EMMET M. & MICHAELINE A. 122 STEVENS AVE.	178-C-24	24 LANGELLA, ROSALYN J. 126 BANCROFT ST.	193-E-24
12 AMATO, MARY 18 REDLON RD.	178-C-23	25 HERRICK, DIANE E. 130 BANCROFT ST.	193-E-26
13 DERICE, DAUN L. 21 REDLON RD.	178-C-13-14	26 BROOKS, EDWARD C. & ROSE W. 144 BANCROFT ST.	193-E-25
		27 KERN, VIRGINIA L. 154 BANCROFT ST.	193-E-28

PLANS IN THIS SUBMITTAL  
SHEET 1 PRUD PLAN AND SUBDIVISION PLAN  
SHEET 2 SITE PLAN  
SHEET 3 ROAD PROFILE AND DETAILS  
SHEET 4 DETAILS  
SHEET 5 DETAILS  
SHEET 6 DRAINAGE ANALYSIS

**ABUTTORS**

STATE OF MAINE, CUMBERLAND REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_  
AT \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_  
AND RECORDED IN \_\_\_\_\_  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
REGISTER



**PRELIMINARY**

1	3/24/97	REVISED NOTES
REV.	DATE	DESCRIPTION
		COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND ME
		REDLON PARK REDLON ROAD, PORTLAND MAINE
		PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAN AND SUBDIVISION PLAN
SCALE:	AS SHOWN	DRN BY: JDC
DATE:	FEB. 28, 1997	DESIGN BY: TSG
PROJECT:	97115	CHK BY: TSG

**ZONE INFORMATION**

R-3 RESIDENTIAL ZONE PERMITTED USE: PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD)	
<b>SPACE STANDARDS</b>	<b>PRUD REQUIREMENT</b>
MINIMUM LOT AREA	6,500 SQ. FT.
MINIMUM STREET FRONTAGE	50 FEET
MAXIMUM NUMBER OF UNITS PER BUILDING	2 UNITS
MAXIMUM LENGTH OF BUILDING	100' WITHOUT GARAGE 140' WITH INTEGRAL GARAGE
MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES	25'
MINIMUM DISTANCE BETWEEN DWELLING UNITS	16'
MINIMUM RECREATION OPEN SPACE AREA:	2,100 SQ. FT. (.29 acres)

SUBDIVISION AND PRUD PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE \_\_\_\_\_

THIS PLAN IS A RESULT OF A STANDARD BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF THE MAINE BOARD OF LICENSES FOR LAND SURVEYORS FOR CATEGORY I, CONDITION III.

DANIEL J. DALFONSO PLS 9172

FILE SCALE: 1"=50'  
PLOT DATE: 3/24/97  
CAD FILE: 97115

**LEGEND**

EXISTING	PROPOSED
PROPERTY/ROW SETBACK MONUMENT	PROPERTY/ROW EASEMENT
IRON PIPE/ROD	ROAD CENTERLINE
BUILDING	IRON PIPE/ROD
WETLANDS	
EDGE OF WETLAND	
SIGN	
EDGE OF PAVEMENT	

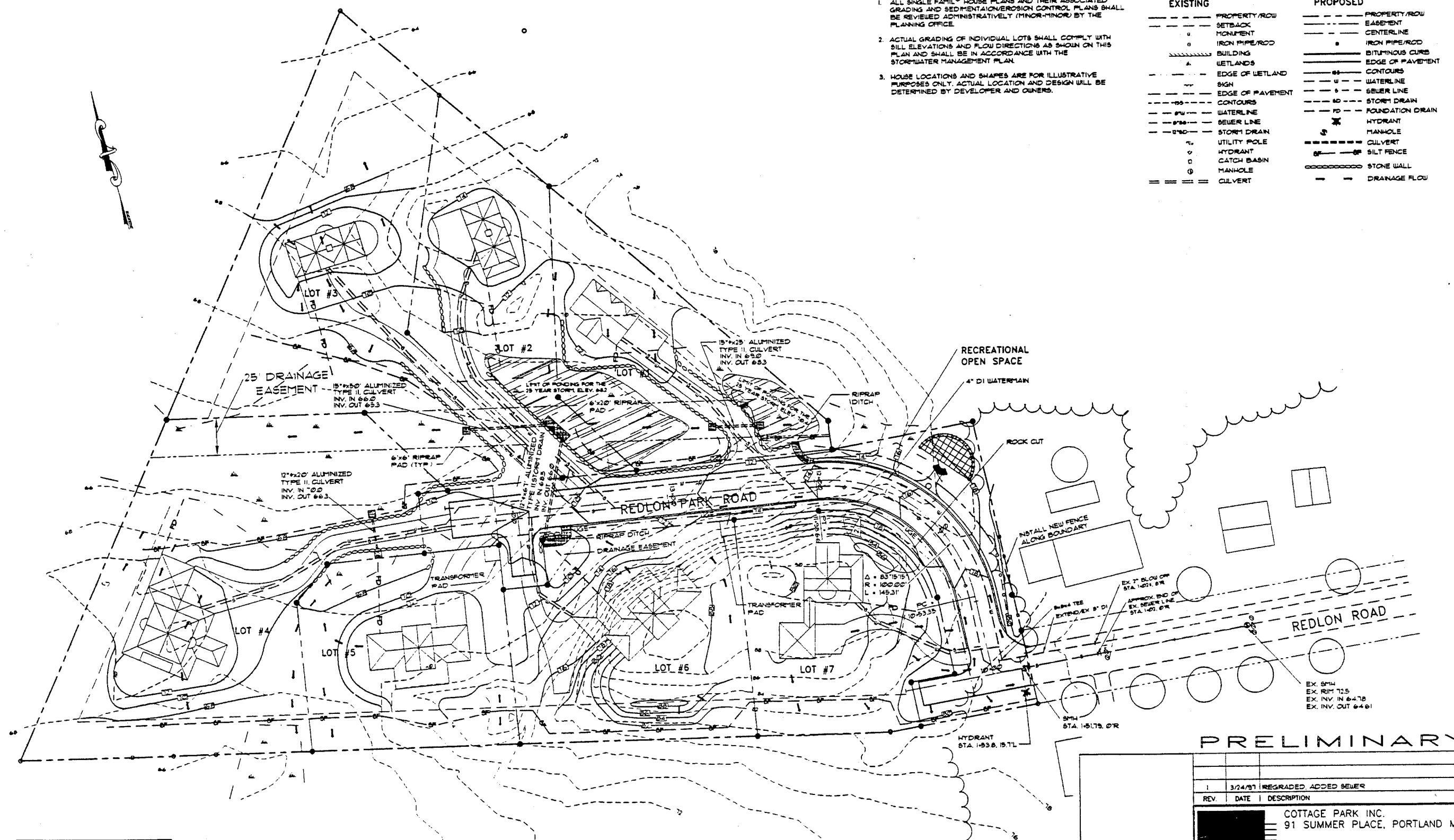


**NOTES**

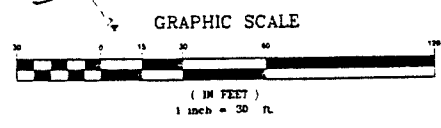
1. ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION/EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR-MINOR) BY THE PLANNING OFFICE.
2. ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH SILL ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.
3. HOUSE LOCATIONS AND SHAPES ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL LOCATION AND DESIGN WILL BE DETERMINED BY DEVELOPER AND OWNERS.

**LEGEND**

EXISTING		PROPOSED	
---	PROPERTY/ROW	---	PROPERTY/ROW
---	SETBACK	---	EASEMENT
U	MONUMENT	---	CENTERLINE
o	IRON PIPE/ROD	o	IRON PIPE/ROD
	BUILDING	---	BITUMINOUS CURB
▲	WETLANDS	---	EDGE OF PAVEMENT
---	EDGE OF WETLAND	---	CONTOURS
---	SIGN	---	WATERLINE
---	EDGE OF PAVEMENT	---	SEWER LINE
---	CONTOURS	---	STORM DRAIN
---	WATERLINE	---	FOUNDATION DRAIN
---	SEWER LINE	---	HYDRANT
---	STORM DRAIN	---	MANHOLE
---	UTILITY POLE	---	CULVERT
o	HYDRANT	---	SILT FENCE
o	CATCH BASIN	---	STONE WALL
o	MANHOLE	---	DRAINAGE FLOW
---	CULVERT	---	

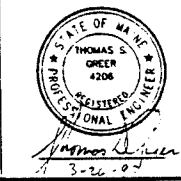


LOT	MIN BASEMENT SLAB	MIN FINISHED FIRST FLOOR
1	62.0	71.0
2	68.0	76.0
3	67.0	75.0
4	67.0	75.0
5	65.0	71.0
6	72.0	80.0
7	80.0	88.0



**PRELIMINARY**

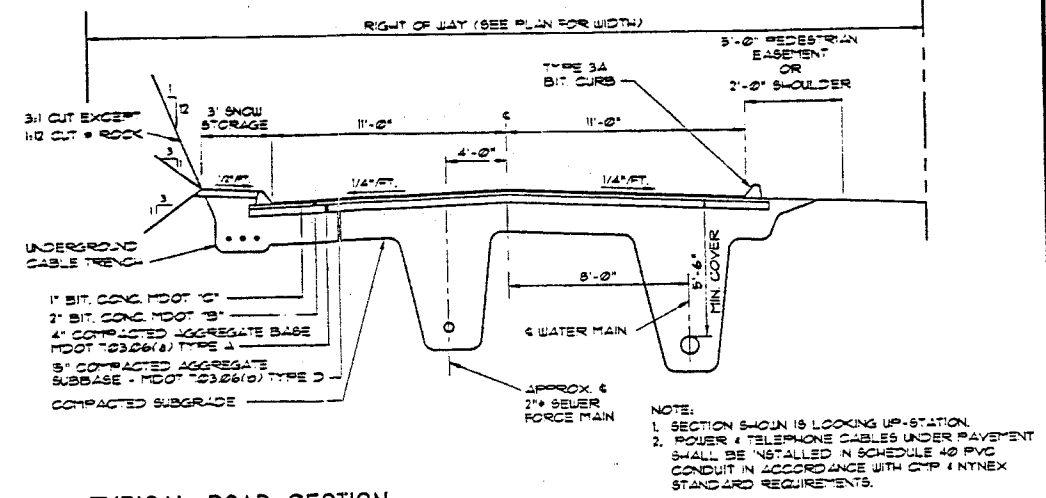
1	3/24/97	REGRADED ADDED SEWER
REV.	DATE	DESCRIPTION
COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND ME		
REDLON PARK REDLON ROAD, PORTLAND MAINE		
PINKHAM & GREER CONSULTING ENGINEERS, P.C. FELLSBORO, MAINE		
SITE PLAN		
SCALE: AS SHOWN	DRN BY: JDC	C2
DATE: FEB. 28, 1997	DESG BY: TSG	
PROJECT: 97115	CHK BY: TSG	



CAD FILE: 97115 FILE SCALE: 1"=30' PLOT DATE: 3/24/97

**NOTES**

1. ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION/EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR-MINOR) BY THE PLANNING OFFICE.
2. ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH 8'± ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.
3. HOUSE LOCATIONS AND SHAPES ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL LOCATION AND DESIGN WILL BE DETERMINED BY DEVELOPER AND OWNERS.
4. SEWER TO BE 2" FORCE MAIN IN THE STREET AND 1 1/4" SERVICE FROM STREET TO HOUSES. PROVIDE TERMINAL FLUSHING CONNECTION AT STA. 14+00.

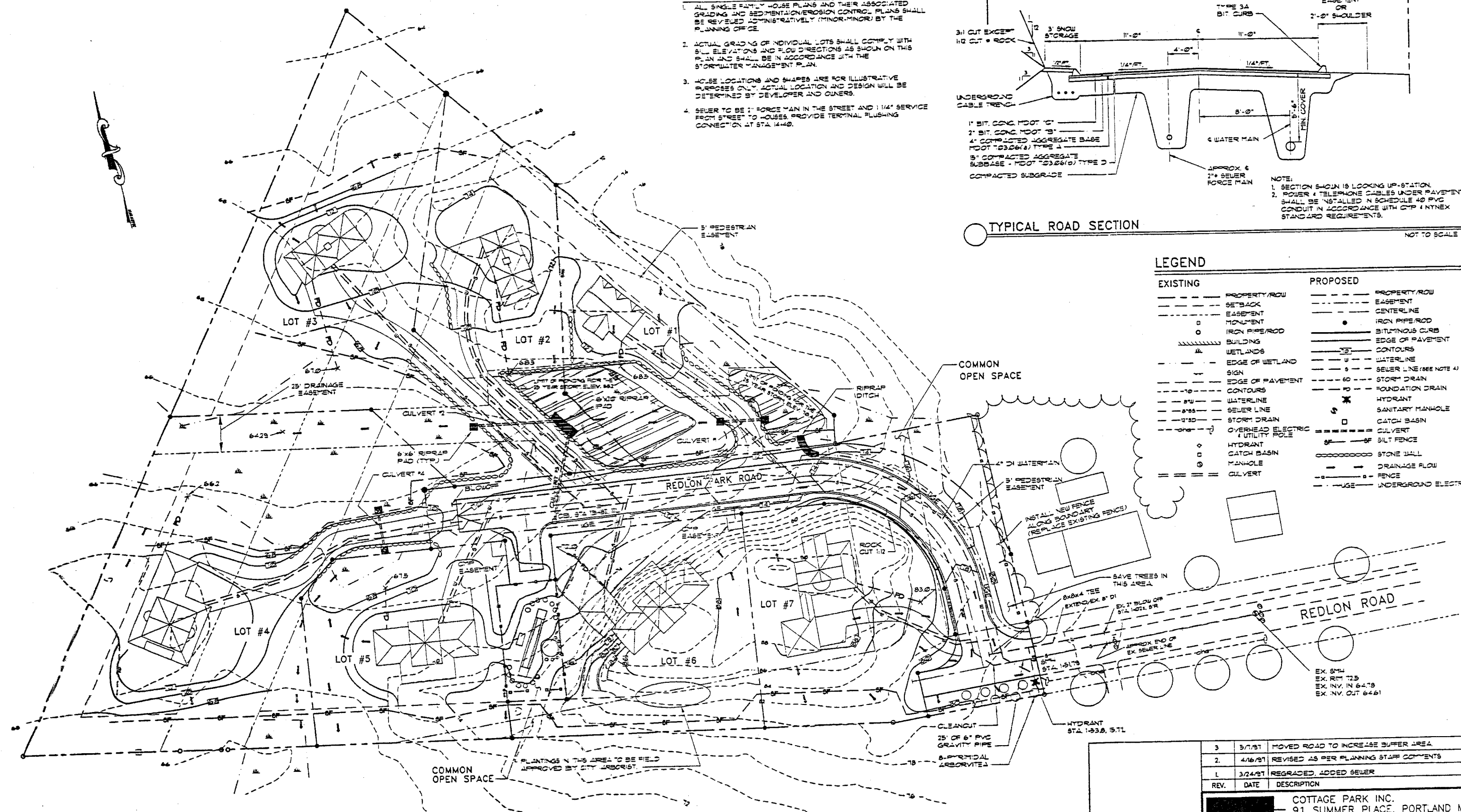


TYPICAL ROAD SECTION

NOT TO SCALE

**LEGEND**

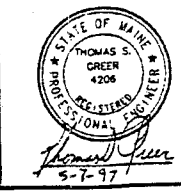
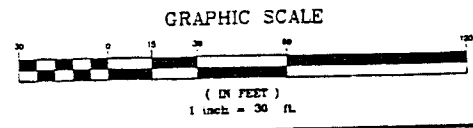
EXISTING	PROPOSED
--- PROPERTY/ROW	--- PROPERTY/ROW
--- SETBACK	--- EASEMENT
--- EASEMENT	--- CENTERLINE
--- MONUMENT	--- IRON PIPE/ROD
o IRON PIPE/ROD	--- BITUMINOUS CURB
BUILDING	--- EDGE OF PAVEMENT
WETLANDS	--- CONTOURS
--- EDGE OF WETLAND	--- WATERLINE
--- SIGN	--- SEWER LINE (SEE NOTE 4)
--- EDGE OF PAVEMENT	--- STORM DRAIN
--- CONTOURS	--- FOUNDATION DRAIN
--- WATERLINE	--- HYDRANT
--- SEWER LINE	--- SANITARY MANHOLE
--- STORM DRAIN	--- CATCH BASIN
--- OVERHEAD ELECTRIC & UTILITY POLE	--- CULVERT
o HYDRANT	--- SILT FENCE
o CATCH BASIN	--- STONE WALL
o MANHOLE	--- DRAINAGE FLOW
--- CULVERT	--- FENCE
	--- UNDERGROUND ELECTRIC



**NET RESIDENTIAL DENSITY REQUIREMENTS**

TOTAL PARCELS:	192,578 s.f.
WETLANDS, EASEMENTS AND STEEP SLOPES:	83,273 s.f.
TOTAL:	109,303 s.f.
MINUS 20%:	87,442 s.f.
DIVIDED BY 6,500 s.f.:	13.45
TOTAL LOTS POSSIBLE:	13 LOTS

LOT	MIN BASEMENT SLAB	MIN FINISHED FIRST FLOOR
1	68.0	71.0
2	68.0	76.0
3	67.0	76.0
4	67.0	76.0
5	67.0	71.0
6	67.0	80.0
7	63.0	91.0



3	3/7/97	MOVED ROAD TO INCREASE BUFFER AREA
2	4/16/97	REVISED AS PER PLANNING STAFF COMMENTS
1	3/24/97	REGRADED, ADDED SEWER
REV.	DATE	DESCRIPTION

**COTTAGE PARK INC.**  
91 SUMMER PLACE, PORTLAND ME

**REDLON PARK**  
REDLON ROAD, PORTLAND MAINE

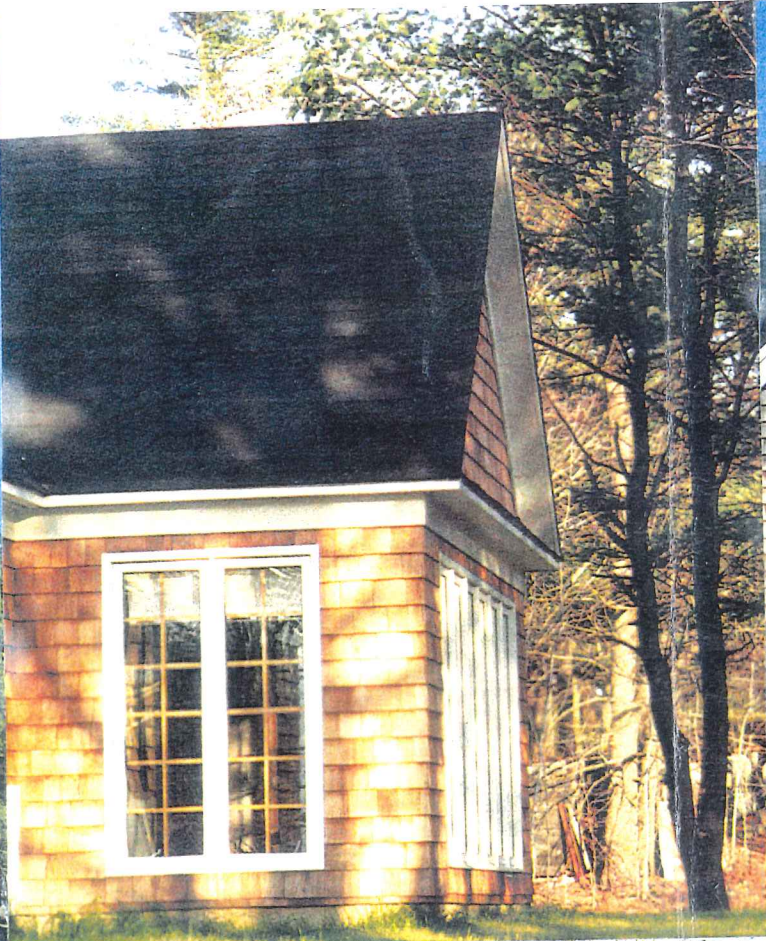
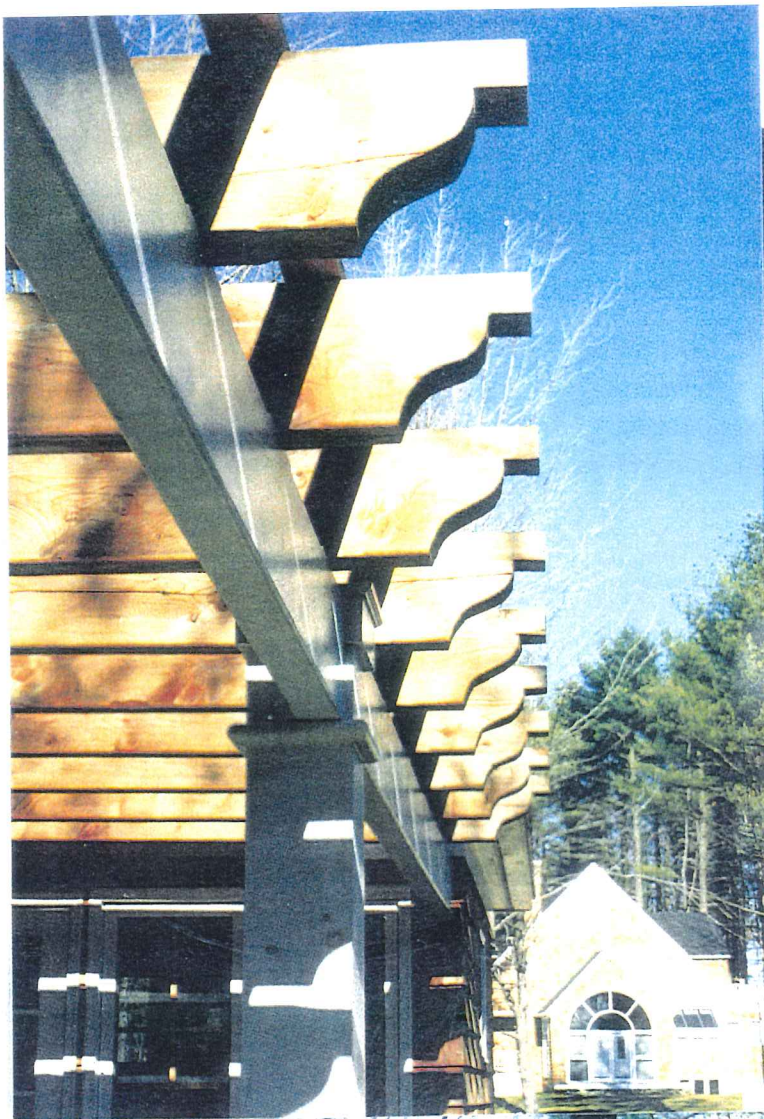
**PINKHAM & GREER**  
CONSULTING ENGINEERS, INC.  
FAIRBANKS, MAINE

**SITE PLAN**

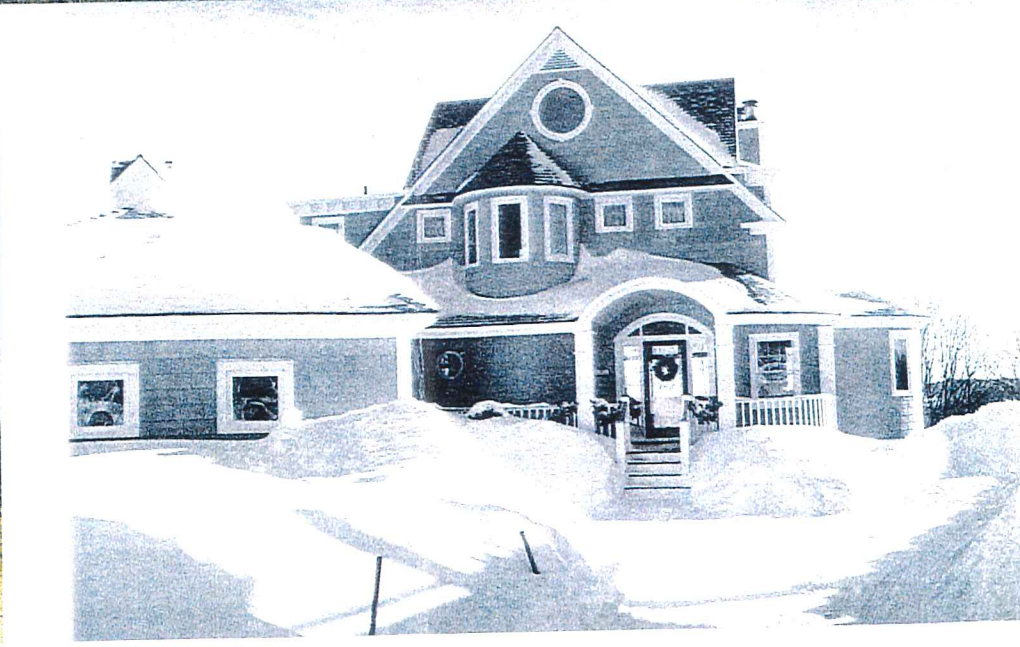
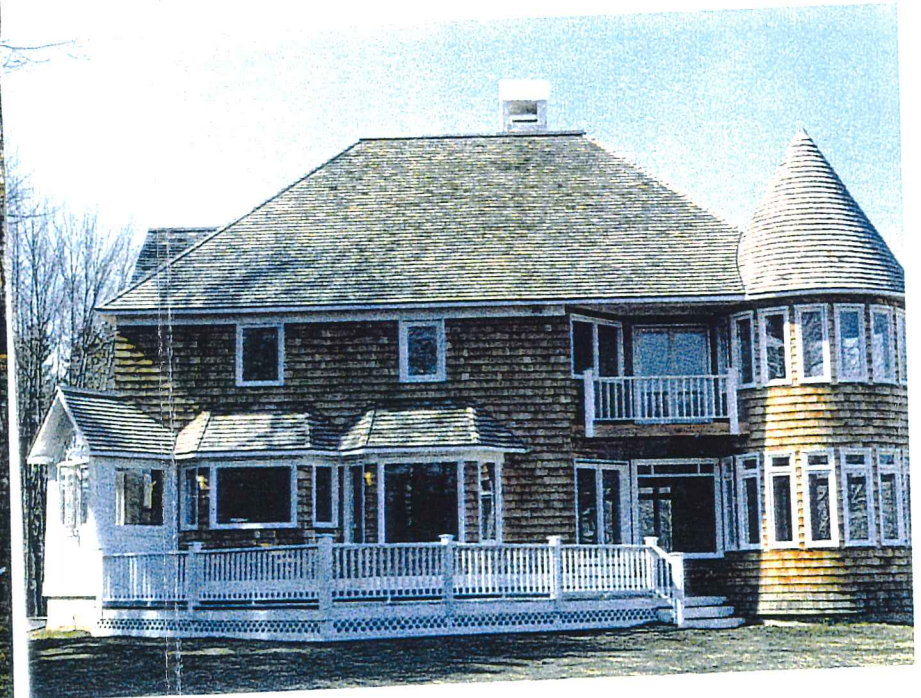
SCALE:	AS SHOWN	DRN BY:	DLM/JDC
DATE:	FEB. 28, 1997	DESG BY:	TSG
PROJECT:	97115	CHK BY:	TSG

CAD FILE: 97115C2 FILE SCALE: 1"=30' PLOT DATE: 5/7/97













The Cottage Design Company

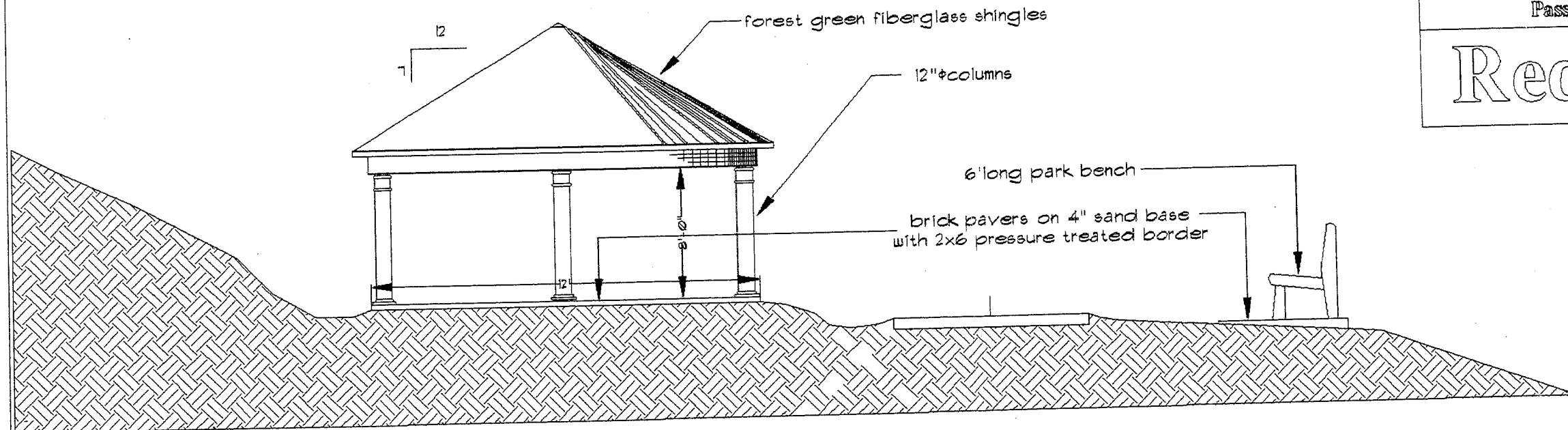
PLAN NUMBER 12CP20

SCALE: 1/8"=1'-0"



WEST ELEVATION

# GAZEBO ELEVATION



SECTION A-A  
SCALE 1/4" = 1'



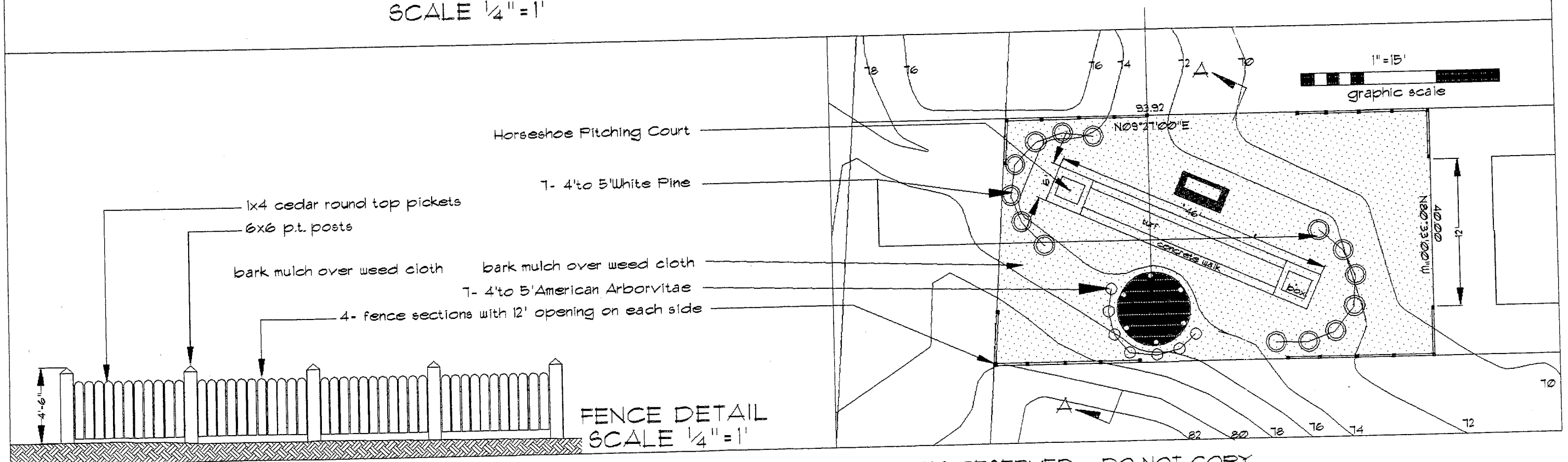
The Cottage Design Company

Passive/Active Recreation Area = 2813 sq.ft.

# Redlon Park

4/14/97

12' Ø GAZEBO



Horseshoe Pitching Court

7- 4'to 5' White Pine

1x4 cedar round top pickets  
6x6 p.t. posts

bark mulch over weed cloth

bark mulch over weed cloth

7- 4'to 5' American Arborvitae

4- fence sections with 12' opening on each side

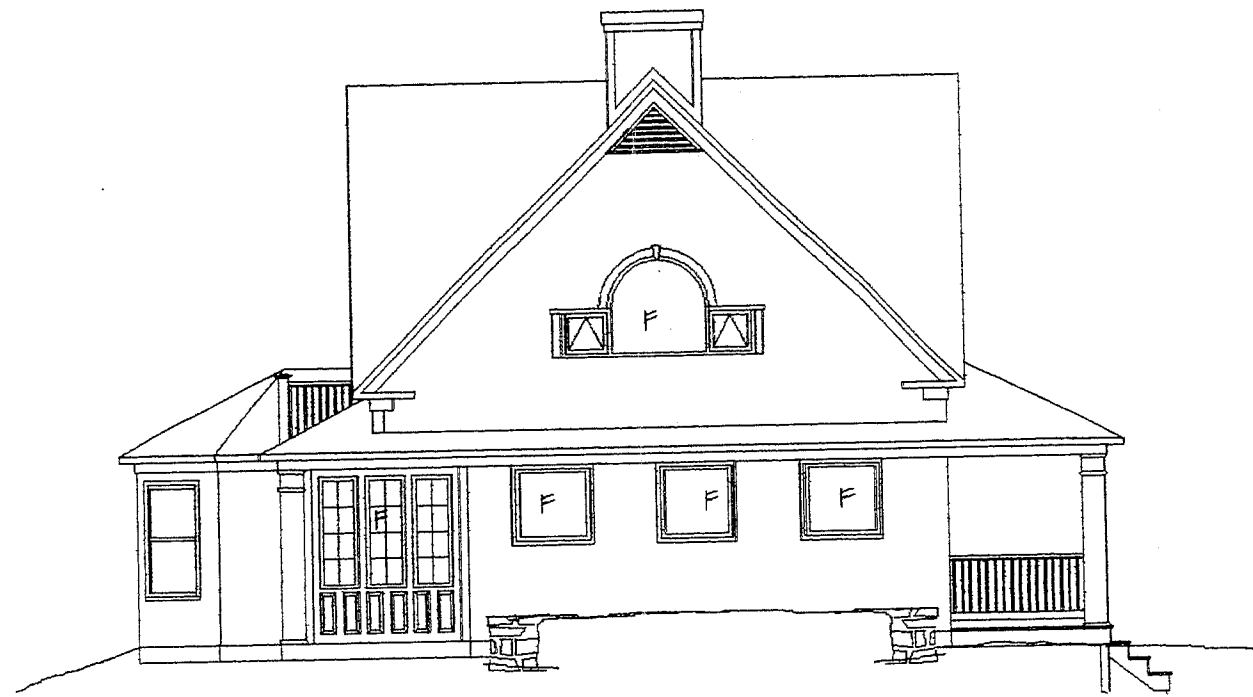
FENCE DETAIL  
SCALE 1/4" = 1'



The Cottage Design Company

PLAN NUMBER 12CP20

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

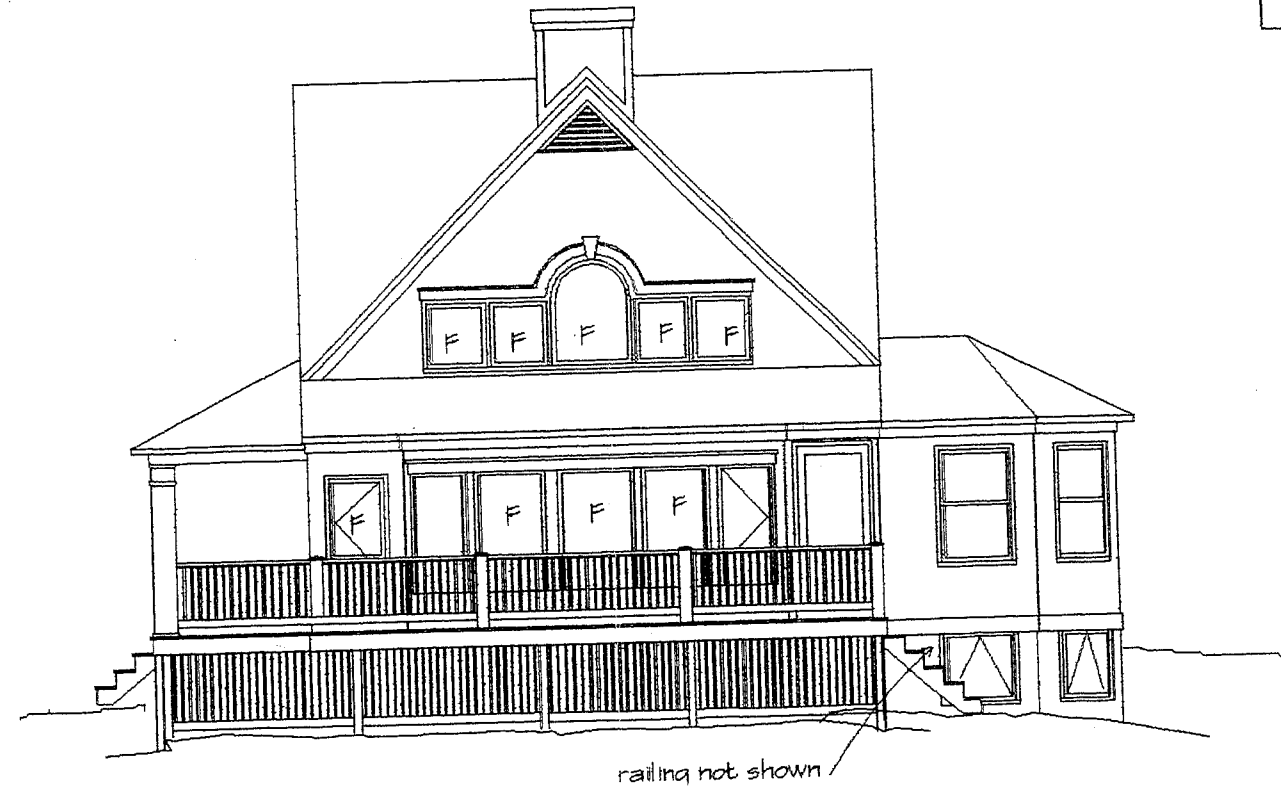




The Cottage Design Company

PLAN NUMBER 12CP20

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

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The Cottage Design Company

PLAN NUMBER 12CP20

SCALE: 1/8" = 1'-0"



EAST ELEVATION



The Cottage Design Company

PLAN NUMBER 7-SUM3

SCALE: 1/8" = 1'-0"



FRONT EVELATION

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The Cottage Design Company

PLAN NUMBER 7-SUM3

SCALE: 1/8"=1'-0"



REAR ELEVATION

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The Cottage Design Company

PLAN NUMBER 7-SUM3

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

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The Cottage Design Company

PLAN NUMBER 7-SUM3

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

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The Cottage Design Company

REDLON PARK

SCALE: 1/8" = 1'-0"



EAST ELEVATION



The Cottage Design Company

REDLON PARK

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

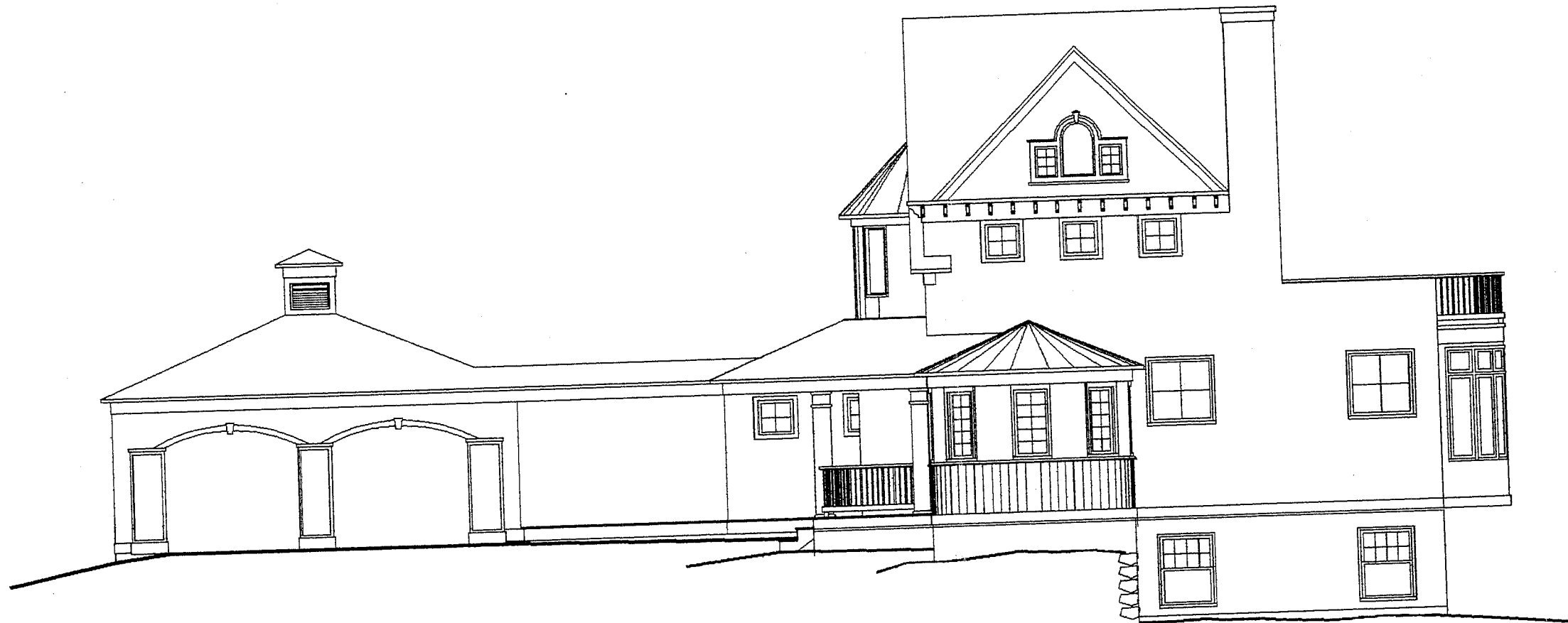




The Cottage Design Company

REDLON PARK

SCALE: 1/8" = 1'-0"



NORTH ELEVATION



The Cottage Design Company

REDLON PARK

SCALE: 1/8" = 1'-0"



WEST ELEVATION



The Cottage Design Company

REDLON PARK

SCALE: 1/8" = 1'-0"



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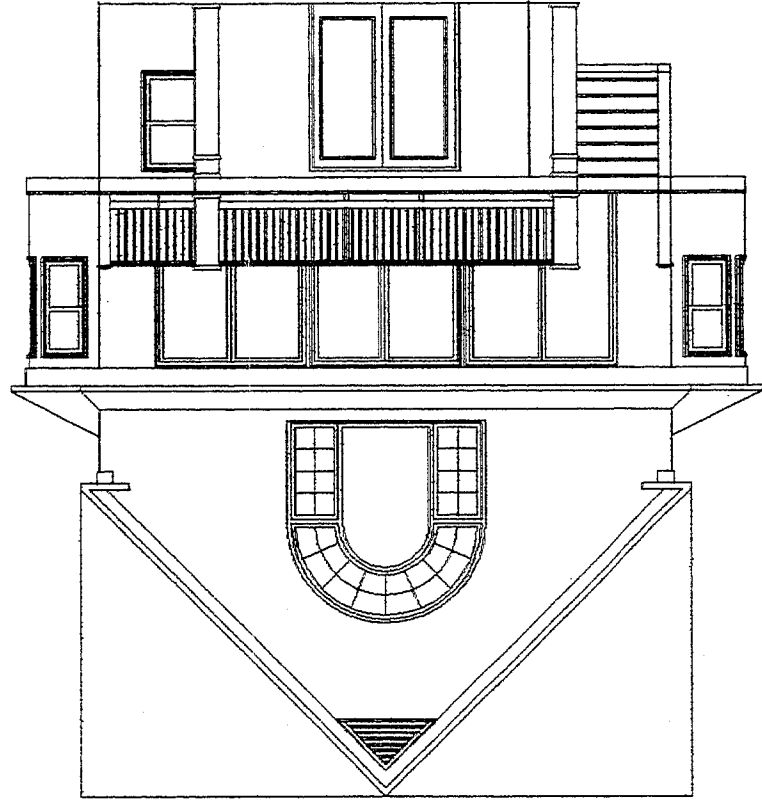
The Cottage Design Company

REDLON PARK

SCALE: 1/8" = 1'-0"



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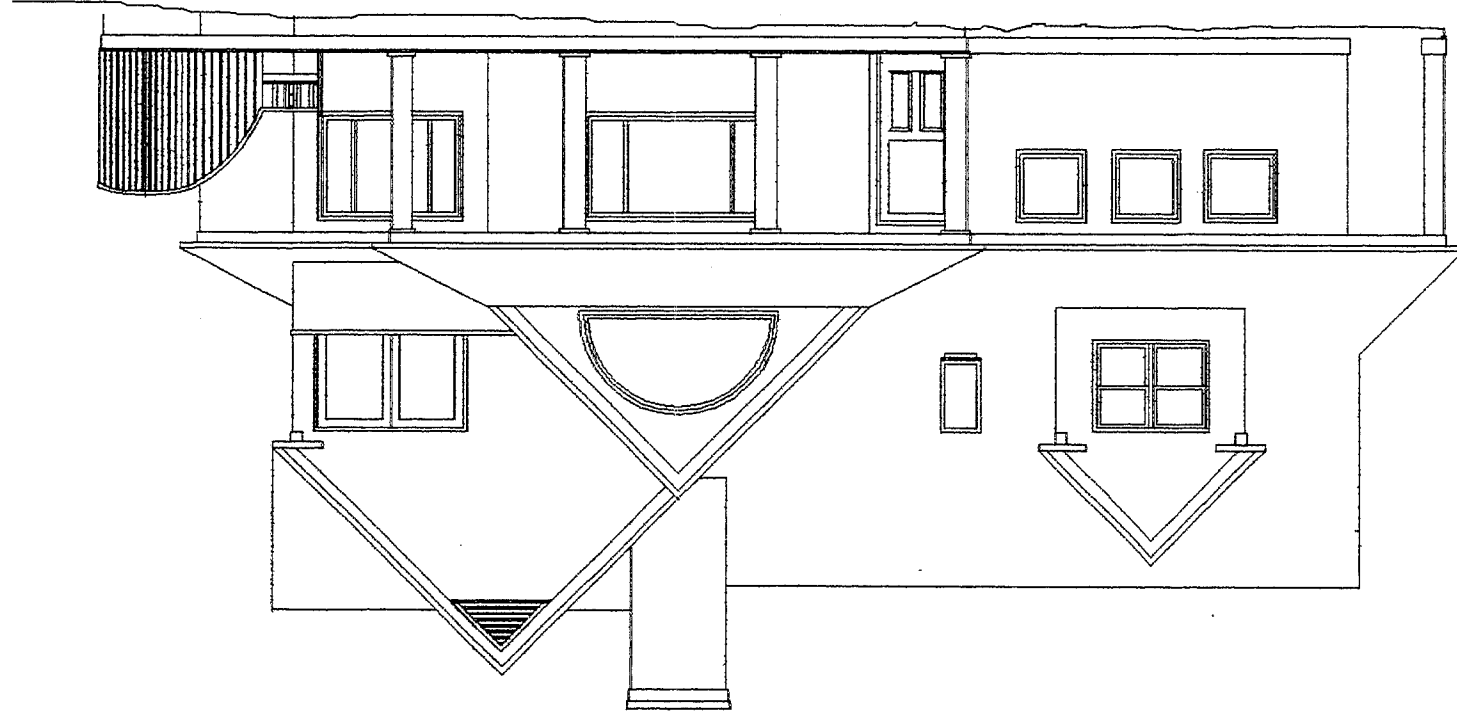
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REDLON PARK

The Cottage Design Company



FRONT ELEVATION



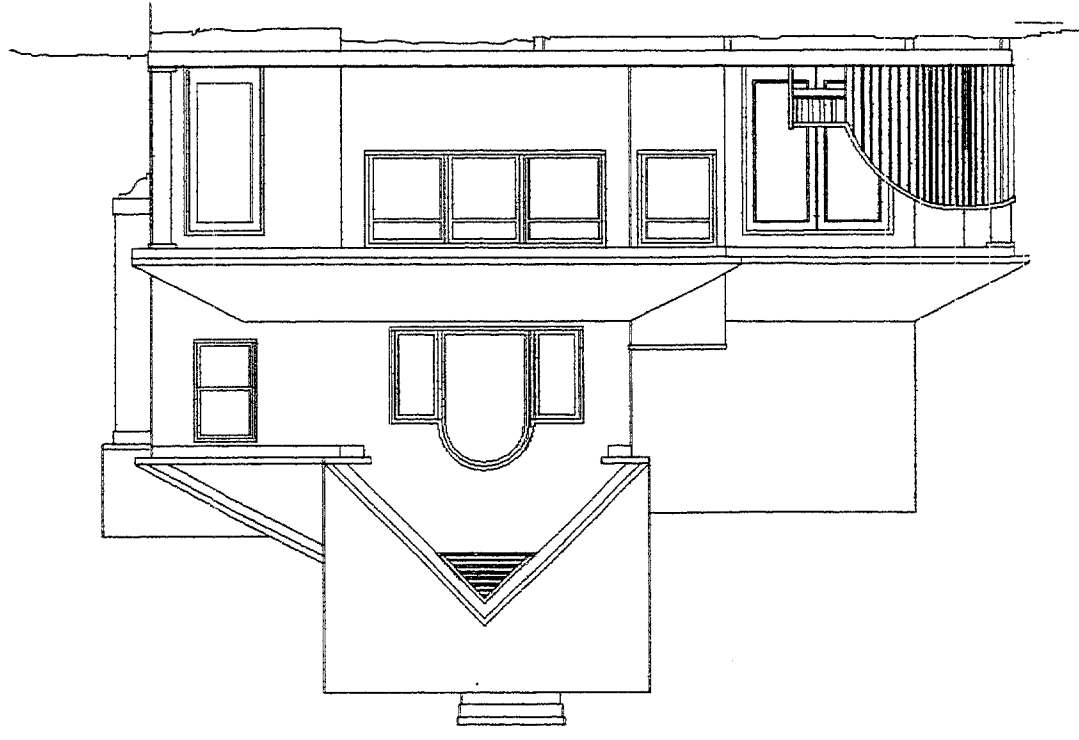
SCALE: 1/8" = 1'-0"

PLAN NUMBER 5-CP14

The Cottage Design Company



RIGHT ELEVATION



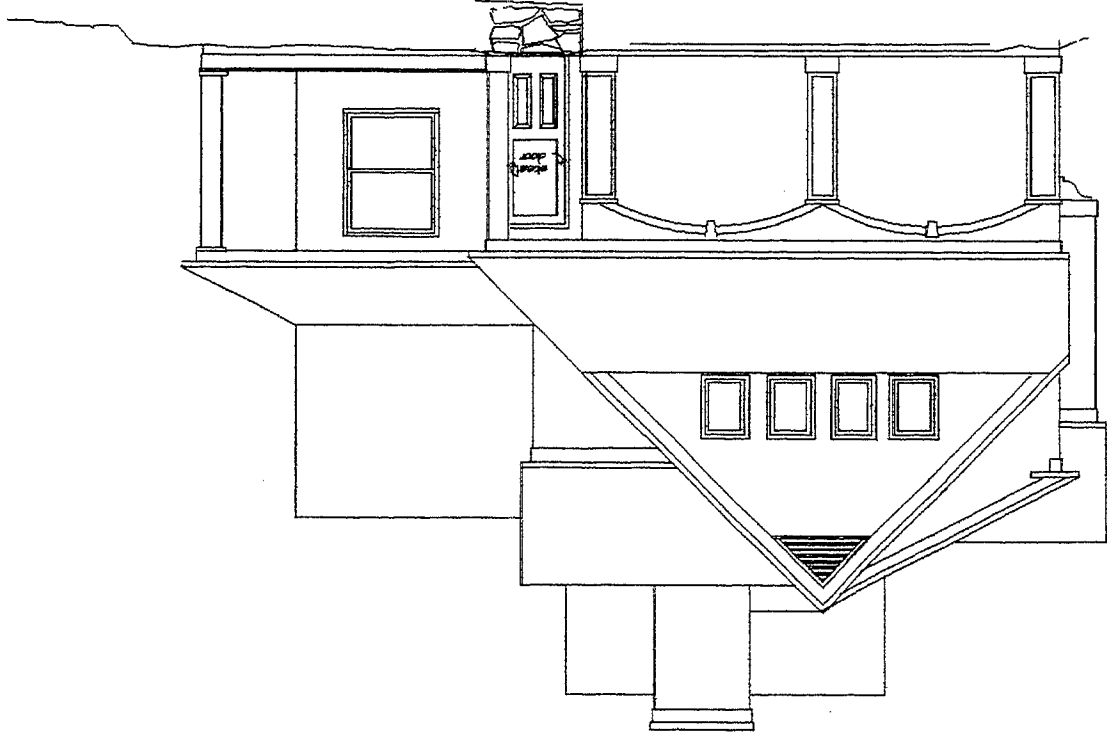
SCALE: 1/8"=1'-0"

PLAN NUMBER 5-CPI14

The Cottage Design Company



LEFT ELEVATION



SCALE: 1/8" = 1'-0"

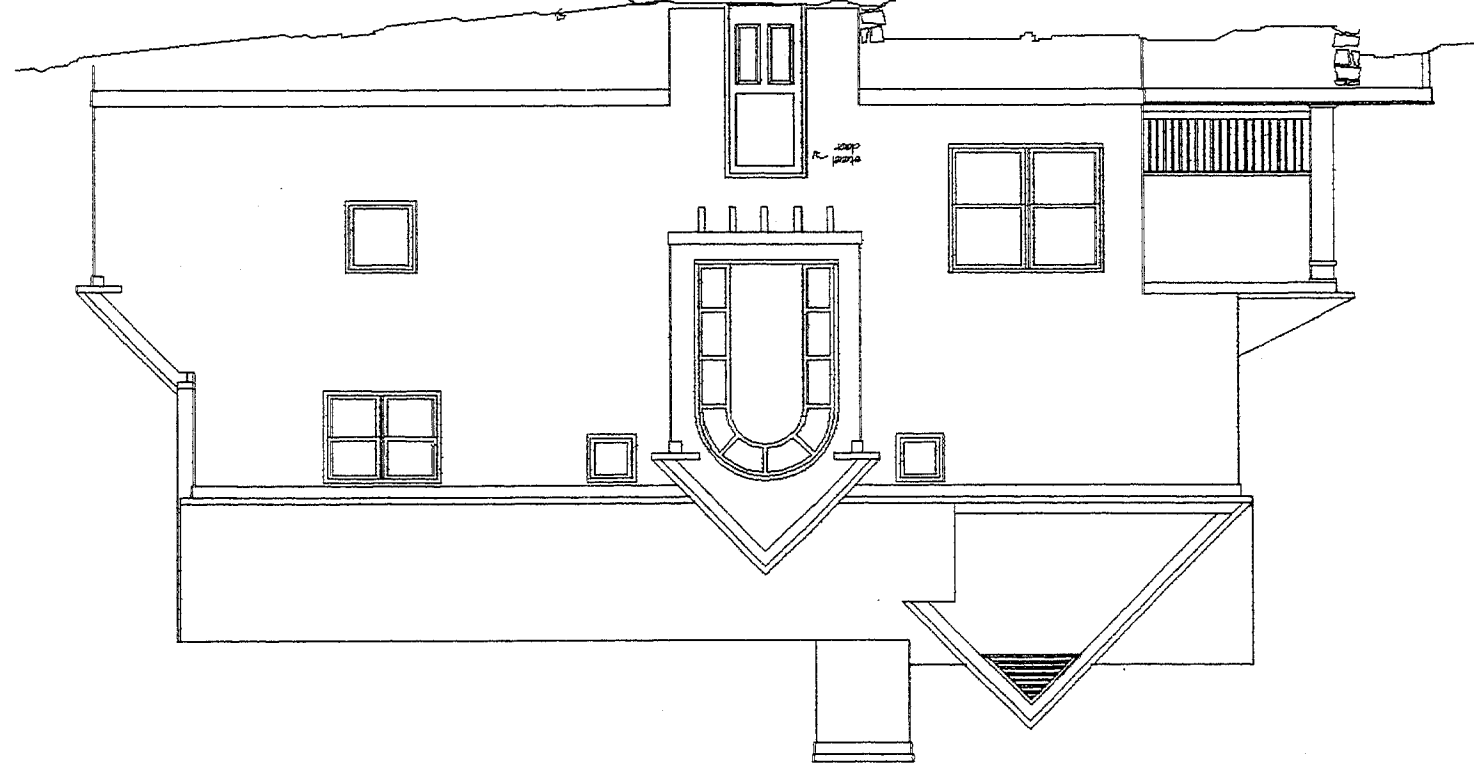
PLAN NUMBER 5-CPI4

The Cottage Design Company





REAR ELEVATION

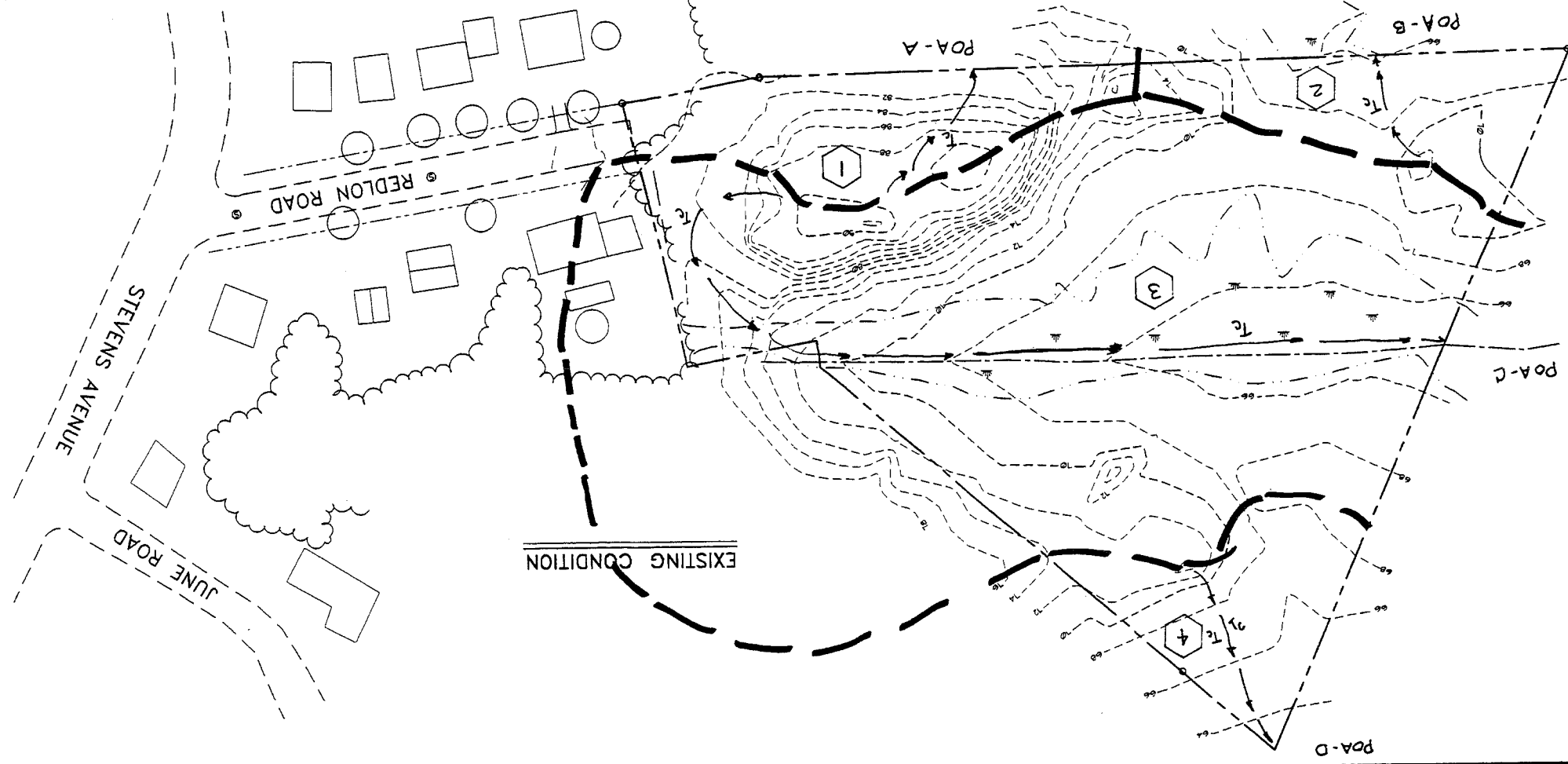
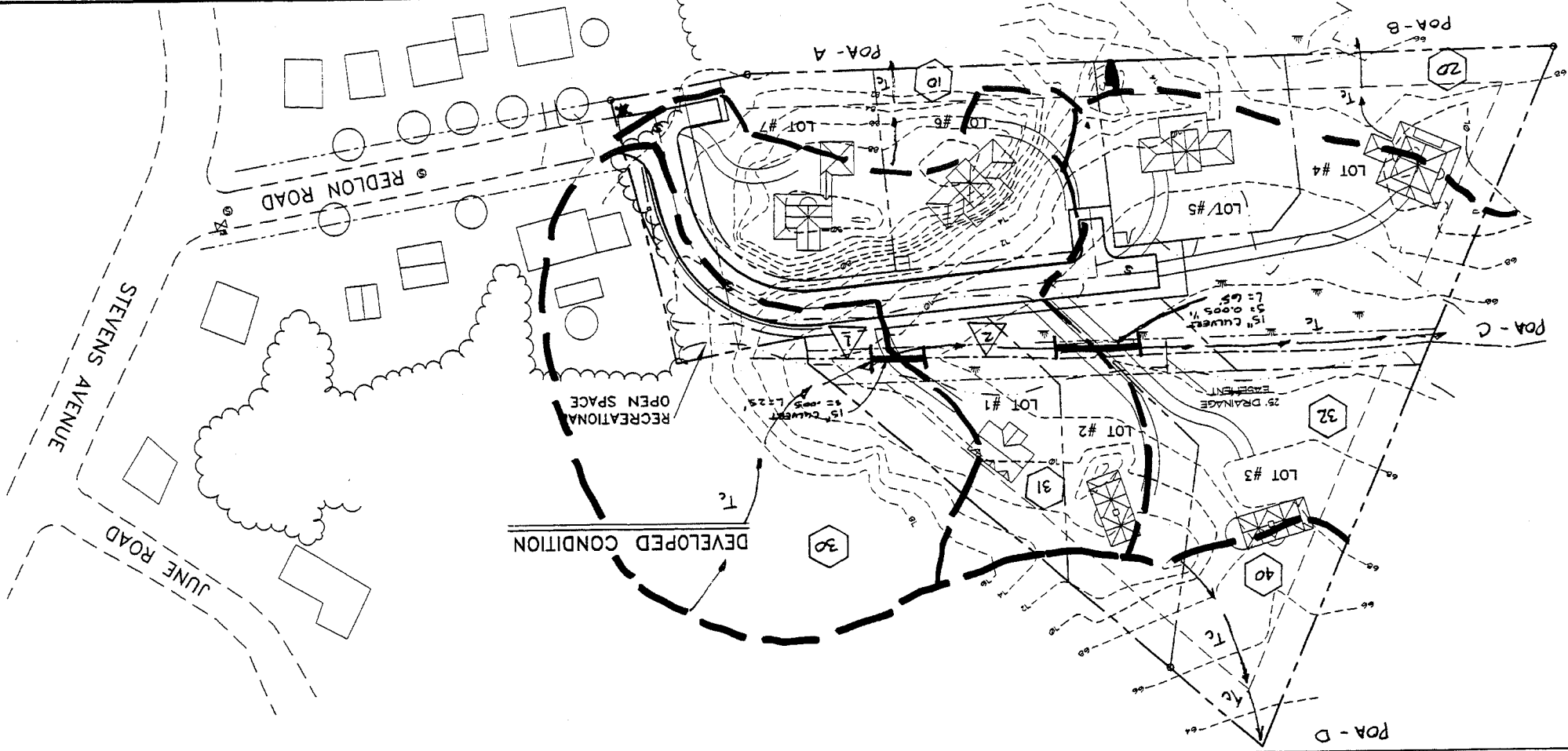


SCALE: 1/8" = 1'-0"

PLAN NUMBER S-CPI4

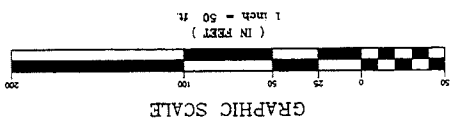
The Cottage Design Company





Note: see drainage report for flows and Tc assumptions.

PLAN LEGEND	
EXISTING	PROPERTY/ROW
EXISTING	SETBACK
EXISTING	MONUMENT
EXISTING	ROAD CENTERLINE
EXISTING	IRON PIPE/ROD
EXISTING	BUILDING
EXISTING	WETLANDS
EXISTING	EDGE OF WETLAND
EXISTING	WETLANDS
EXISTING	EDGE OF PAVEMENT
EXISTING	STREAM
EXISTING	EDGE OF PAVEMENT
EXISTING	CONTOURS
PROPOSED	PROPERTY/ROW
PROPOSED	EASEMENT
PROPOSED	ROAD CENTERLINE
PROPOSED	IRON PIPE/ROD
PROPOSED	CURB
PROPOSED	EDGE OF PAVEMENT
PROPOSED	WETLANDS
PROPOSED	EDGE OF WETLAND
PROPOSED	WETLANDS
PROPOSED	EDGE OF PAVEMENT
PROPOSED	STREAM
PROPOSED	EDGE OF PAVEMENT
PROPOSED	CONTOURS
PROPOSED	POA-D FOR ANALYSIS
PROPOSED	TIME OF CONCENTRATION PATH
PROPOSED	DRAINAGE DIVIDE
PROPOSED	CULVERT
PROPOSED	POINT OF ANALYSIS



**INKHAM & GREER**  
CONSULTING ENGINEERS, INC.  
DRAINAGE ANALYSIS

COTTAGE PARK INC.  
91 SUMMER PLACE, PORTLAND ME

REDLON PARK  
REDLON ROAD, PORTLAND MAINE

SCALE: AS SHOWN  
DATE: FEB. 28, 1997  
PROJECT: 97115

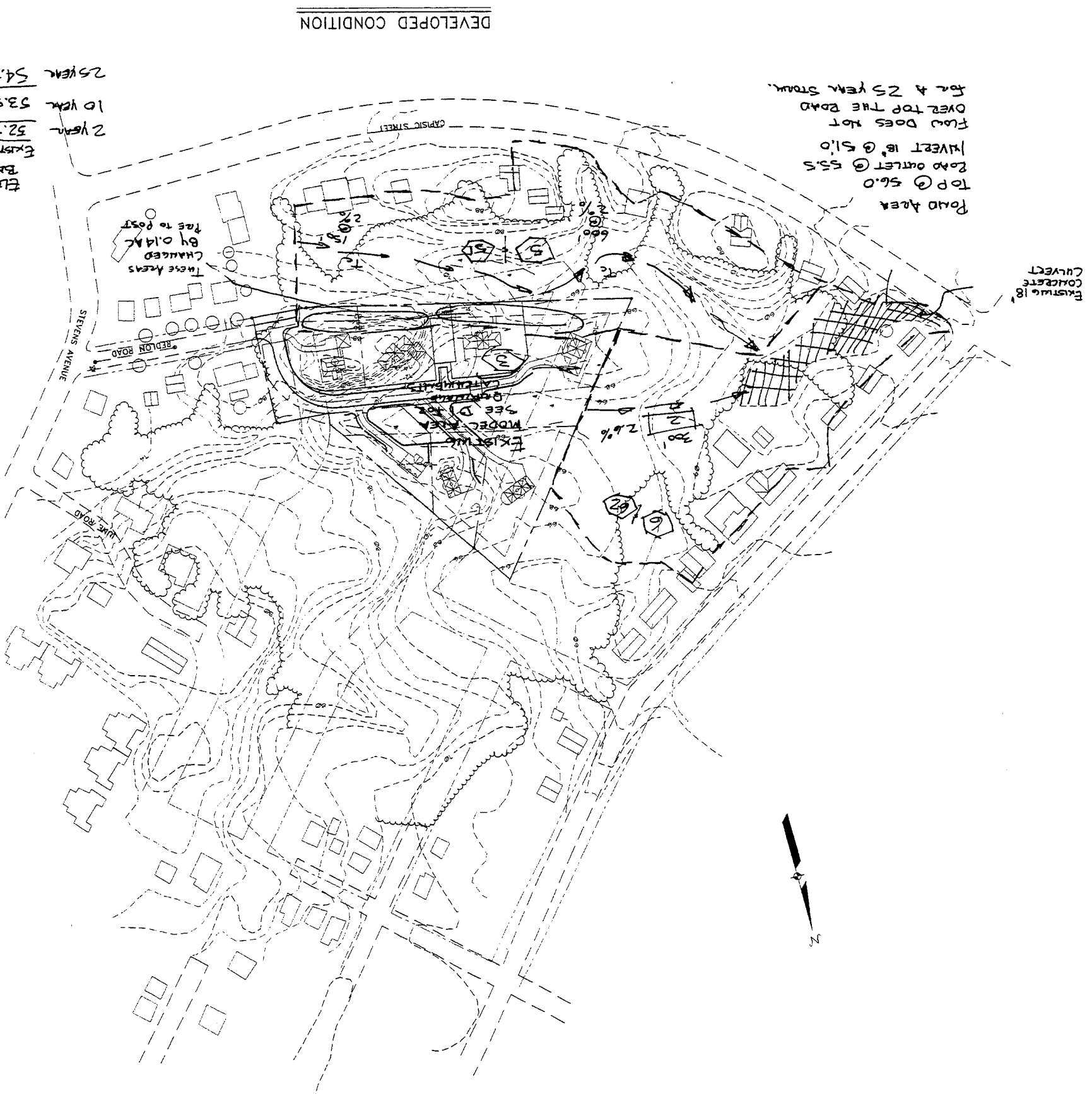
DRN BY: JDC  
DESIG BY: TSG  
CHK BY: TSG

REV. DATE DESCRIPTION

STATE OF MAINE  
REGISTERED PROFESSIONAL ENGINEER  
THOMAS S. GREER  
4206

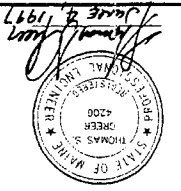
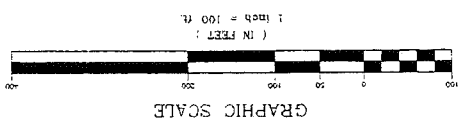
2-28-97

D1



ELEVATION AT  
BAYBROOK ST  
EXISTING PROPOSED

2 year	52.3	52.3
10 year	53.5	53.4
25 year	54.3	54.1

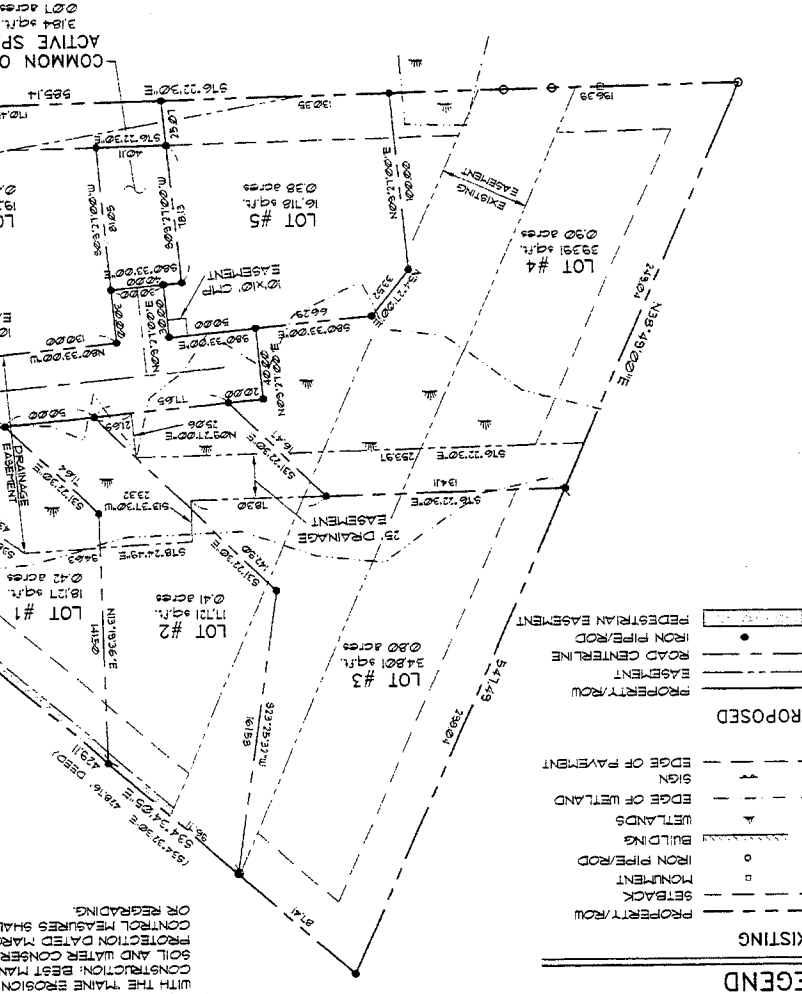
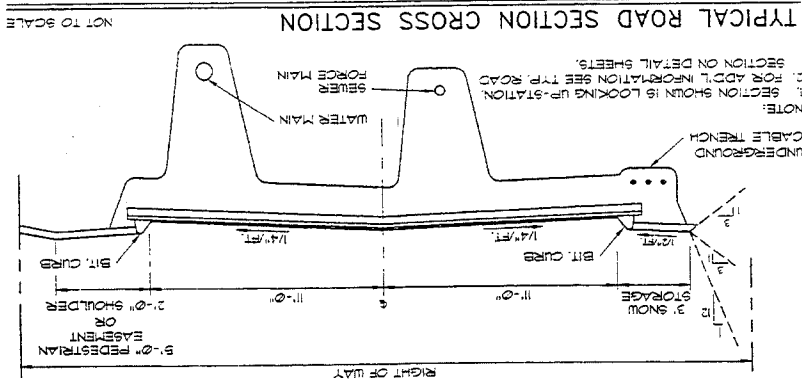


**CONSULTING ENGINEER, INC.**  
**PINKHAM & GREER**  
91 SUMMER PLACE, PORTLAND ME  
REDLON PARK  
REDLON ROAD, PORTLAND MAINE

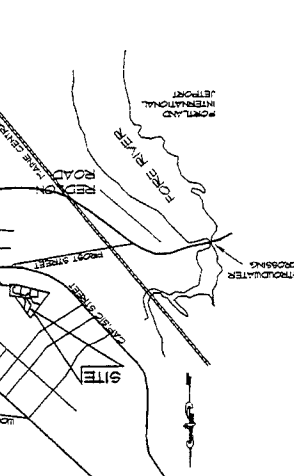
SCALE: AS SHOWN  
DRAIN BY: JDC  
DESIGN BY: TSG  
DATE: JUNE 4, 1997  
PROJECT: 97115  
CHK BY: TSG

REV.	DATE	DESCRIPTION

This Plan Shows Existing Pond At  
BAYBROOK STREET DRAINAGE  
RAIN STREMS  
SEE CALCULATIONS DATED JUNE 4, 1997



LOCATION PLAN



ZONE INFORMATION: R-3 RESIDENTIAL ZONE. PERMITTED USE: PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD). SPACE STANDARDS: MINIMUM LOT AREA: 6,500 SQ. FT. MINIMUM STREET FRONTAGE: 50 FEET.

BY THE CITY OF PORTLAND, APPROVED SUBDIVISION AND PRUD PLAN. REGISTER: PLAN BOOK: AND RECORDED IN: RECEIVED: STATE OF MAINE, CUMBERLAND COUNTY.

GRAPHIC SCALE: 1 inch = 50 ft.

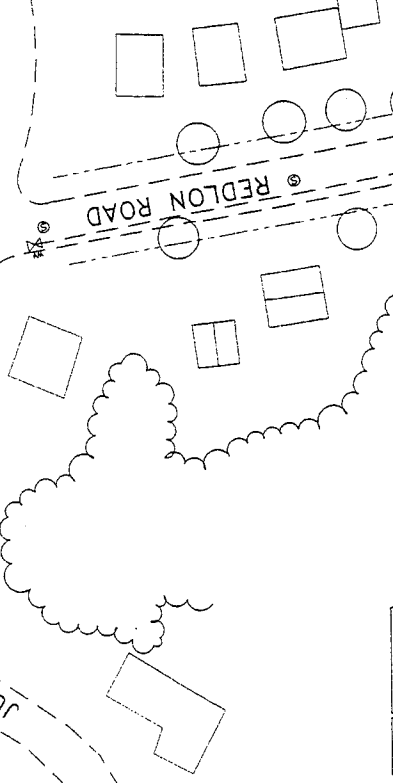


Table with 3 columns: LOT, MINIMUM CONCRETE SLAB, BASEMENT ELEVATION. Values range from 1 to 7.

GENERAL NOTES: 1. OWNER, HOUSING RESOURCES CORP., 429 CUMBERLAND AVE, PORTLAND, MAINE. 2. DEVELOPER, COTTAGE PARK INC., 91 SUMMER PLACE, PORTLAND, ME. 3. ENGINEER, PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.

STATE OF MAINE, CUMBERLAND COUNTY. REGISTER: PLAN BOOK: AND RECORDED IN: RECEIVED: STATE OF MAINE, CUMBERLAND COUNTY.

GRAPHIC SCALE: 1 inch = 50 ft.

Table listing adjacent property owners and their addresses, including names like DIMITLIO ANTONIO JR and KATHLEEN D.

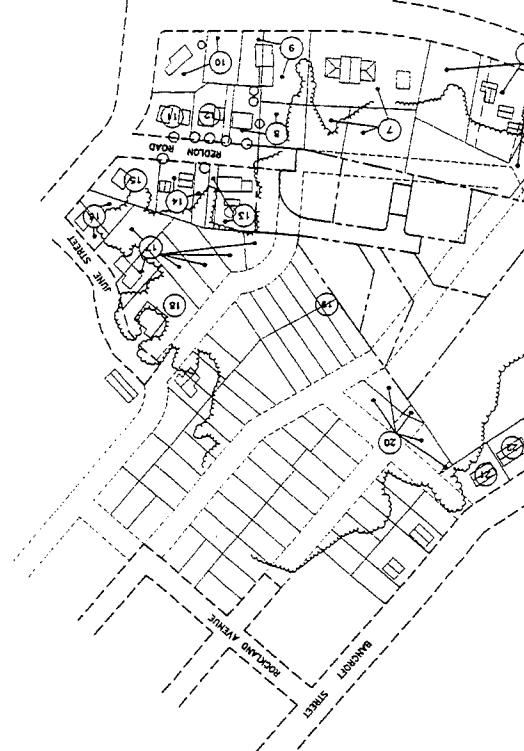
ADJACENT PROPERTY OWNERS

PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAN AND SUBDIVISION PLAN. REDLON PARK. 91 SUMMER PLACE, PORTLAND ME. COTTAGE PARK INC.

SCALE: 1"=200'

Table listing adjacent property owners and their addresses, including names like CAMPITELLI, ROBERT J and LINDA.

ADJACENT PROPERTY OWNERS



PLANS IN THIS SUBMITTAL

**C2**

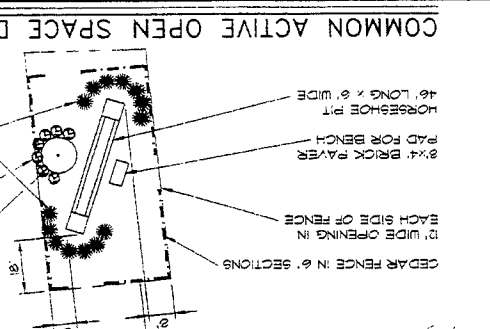
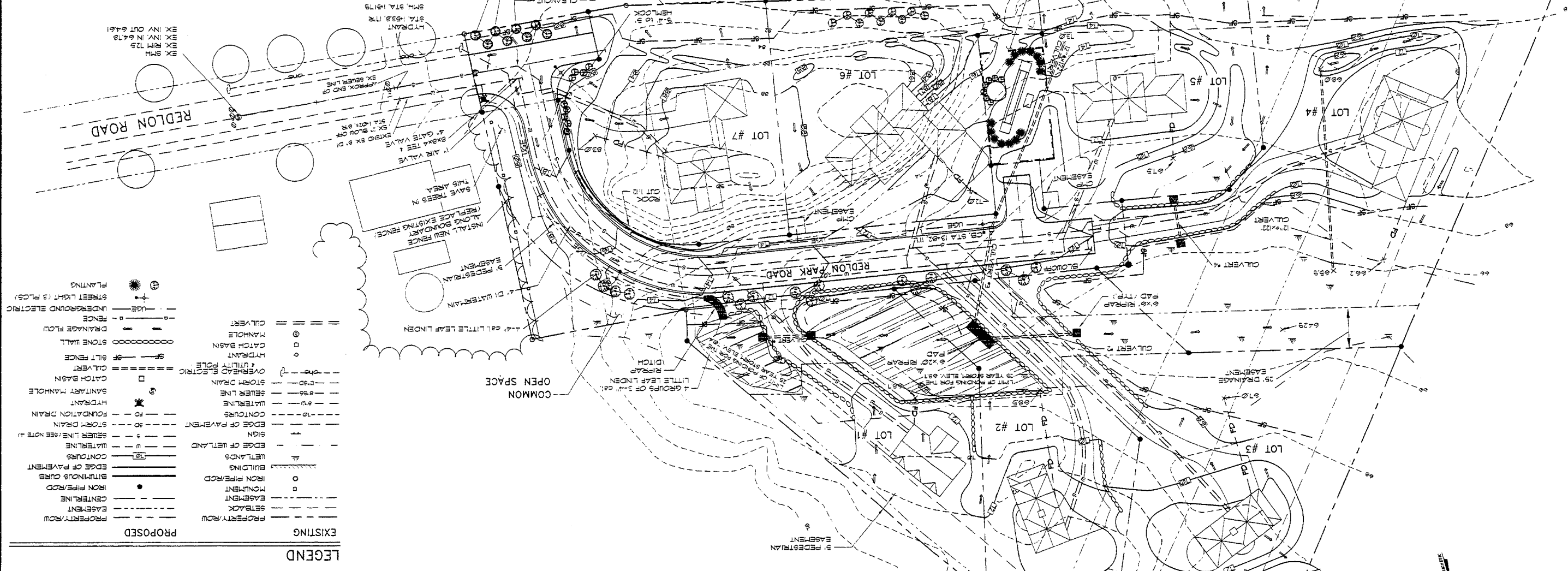
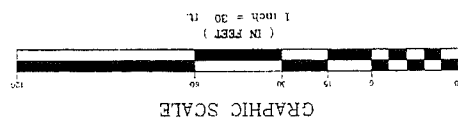
SCALE: AS SHOWN DRN BY: DLM/JDC  
 DATE: FEB. 28, 1997 DESG BY: TSG  
 PROJECT: 97115 CHK BY: TSG

**SITE PLAN**

COTTAGE PARK INC.  
 91 SUMMER PLACE, PORTLAND ME  
 REDLON PARK  
 REDLON ROAD, PORTLAND MAINE

CONSULTING ENGINEER, INC.  
 PINKHAM & GREER  
 4708  
 THOMAS  
 STREET  
 PORTLAND, MAINE

REV.	DATE	DESCRIPTION
1	3/24/97	REGARDED ADDED SEWER
2	4/16/97	REVISED AS PER PLANNING STAFF COMMENTS
3	5/1/97	MOVED ROAD TO INCREASE BUFFER AREA
4	6/4/97	REV PER PWD, 1 PLANNING DEPT. MAY 6 MEMO



**LEGEND**

EXISTING		PROPOSED	
PROPERTY/ROW	---	PROPERTY/ROW	---
EASEMENT	---	EASEMENT	---
SEWER	---	SEWER	---
WATERLINE	---	WATERLINE	---
FOUND. DRAIN	---	FOUND. DRAIN	---
STORM DRAIN	---	STORM DRAIN	---
OVERHEAD ELECTRIC	---	OVERHEAD ELECTRIC	---
CULVERT	---	CULVERT	---
HYDRANT	---	HYDRANT	---
MANHOLE	---	MANHOLE	---
STONE WALL	---	STONE WALL	---
DRAINAGE FLOW	---	DRAINAGE FLOW	---
FENCE	---	FENCE	---
UNDERGROUND ELECTRIC	---	UNDERGROUND ELECTRIC	---
STREET LIGHT (3 PLCS)	---	STREET LIGHT (3 PLCS)	---
PLANTING	---	PLANTING	---

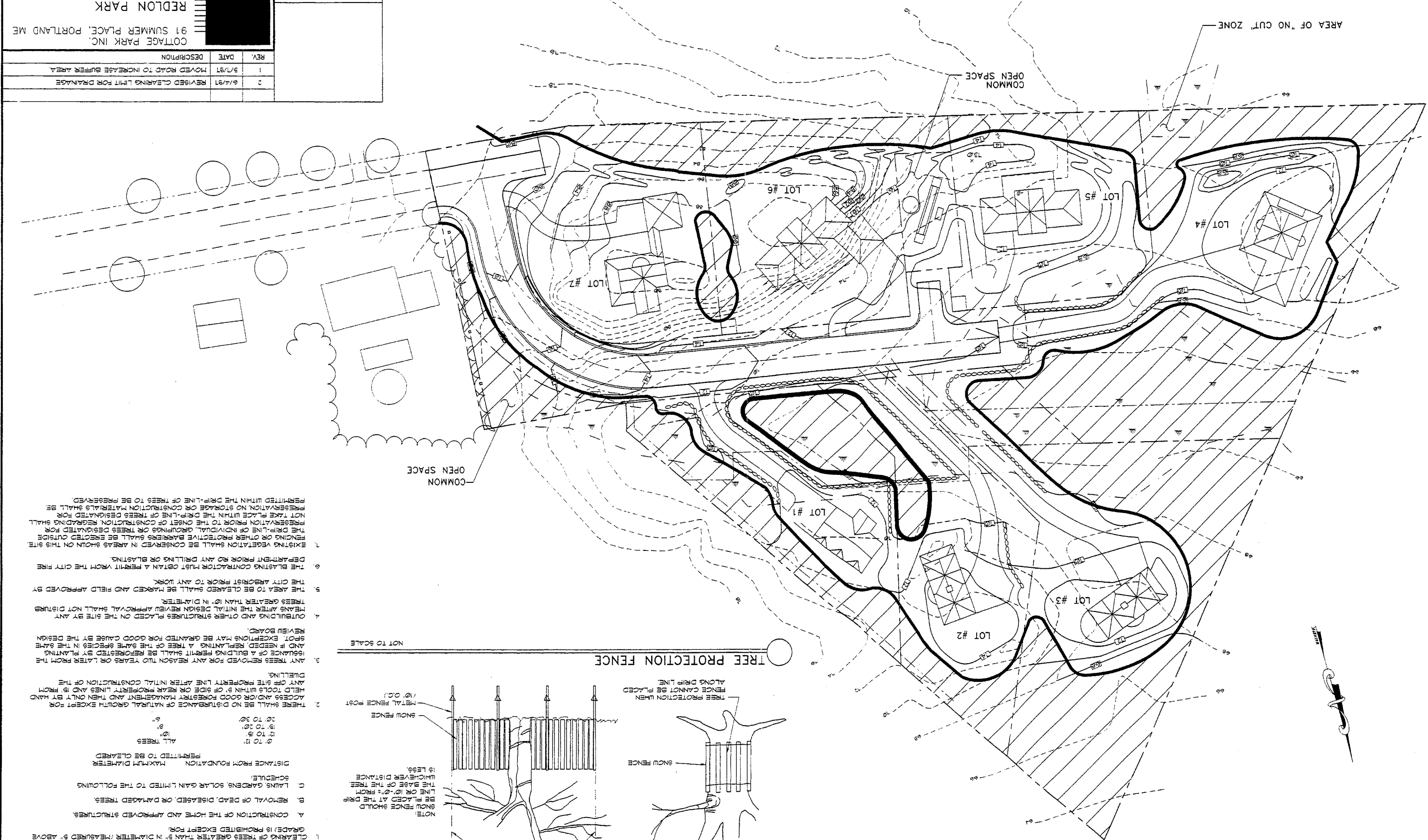
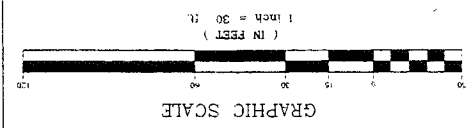
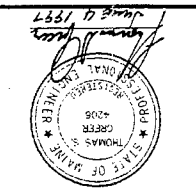
LOT	MINIMUM BASEMENT SILL CONCRETE ELEVATION	MINIMUM SLAB ELEVATION
1	68.0	68.0
2	68.0	68.0
3	68.0	68.0
4	68.0	68.0
5	68.0	68.0
6	68.0	68.0
7	68.0	68.0

- NOTES**
- ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION/EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR/MINOR) BY THE PLANNING OFFICE.
  - ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH SILL ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.
  - HOUSE LOCATIONS AND SHAPES ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL LOCATION AND DESIGN WILL BE DETERMINED BY DEVELOPER AND OWNERS.
  - SEWER TO BE 6" FORCE MAIN IN THE STREET AND 1 1/2" SERVICE FROM STREET TO HOUSES. PROVIDE TERMINAL FLUSHING CONNECTION AT STA. 14+00.

**NET RESIDENTIAL DENSITY REQUIREMENTS**

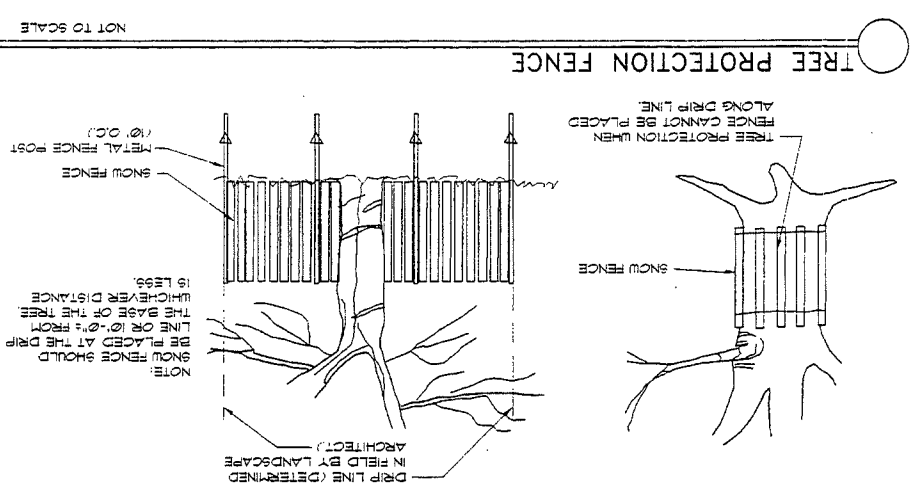
TOTAL PARCEL: 192,570 sq. ft.  
 WETLANDS/EASEMENTS AND STEEP SLOPES: 83,275 sq. ft.  
 TOTAL: 109,295 sq. ft.  
 MINUS 25%: 81,442 sq. ft.  
 DIVIDED BY 6,500 sq. ft.: 12.53  
 TOTAL LOTS POSSIBLE: 12 LOTS

PROJECT: 97115	CHK BY: TSG	
DATE: FEB. 28, 1997	DESIG BY: TSG	
SCALE: AS SHOWN	DRAWN BY: DLM/JDC	
CONSULTING ENGINEER'S NAME <b>PINKHAM &amp; GREER</b>		
COTTAGE PARK INC. 91 SUMMER PLACE, PORTLAND ME		
REDLON PARK REDLON ROAD, PORTLAND MAINE		
CLEARING LIMITS		
REV.	DATE	DESCRIPTION
1	5/7/97	MOVED ROAD TO INCREASE BUFFER AREA
2	6/4/97	REVISED CLEARING LIMIT FOR DRAINAGE



- CLEARING OF TREES GREATER THAN 5" IN DIAMETER (MEASURED 5' ABOVE GRADE) IS PROHIBITED EXCEPT FOR:
  - CONSTRUCTION OF THE HOME AND APPROVED STRUCTURES.
  - REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.
  - LANE, GARDEN, SOLAR GAIN LIMITED TO THE FOLLOWING SCHEDULE:
 

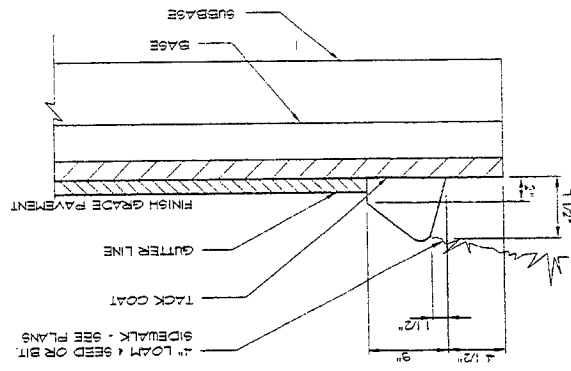
2' TO 12'	ALL TREES
12' TO 15'	5"
15' TO 20'	6"
20' TO 30'	8"
- THERE SHALL BE NO DISRUPTION OF NATURAL GROWTH EXCEPT FOR ACCESS AND/OR GOOD FORESTRY MANAGEMENT AND THEN ONLY BY HAND HELD TOOLS WITHIN 5' OF SIDE OR REAR PROPERTY LINES AND 15' FROM ANY OFF SITE PROPERTY LINE AFTER INITIAL CONSTRUCTION OF THE DWELLING.
- ANY TREES REMOVED FOR ANY REASON TWO YEARS OR LATER FROM THE SPOT, EXCEPTIONS MAY BE GRANTED FOR GOOD CAUSE BY THE DESIGN REVIEW BOARD.
- OUTBUILDING AND OTHER STRUCTURES PLACED ON THE SITE BY ANY MEANS AFTER THE INITIAL DESIGN REVIEW APPROVAL SHALL NOT DISTURB TREES GREATER THAN 10" IN DIAMETER.
- THE AREA TO BE CLEARED SHALL BE MARKED AND FIELD APPROVED BY THE CITY ARBORIST PRIOR TO ANY WORK.
- THE BLASTING CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY FIRE DEPARTMENT PRIOR TO ANY DRILLING OR BLASTING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE REJECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPS OR TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REJECTED SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.



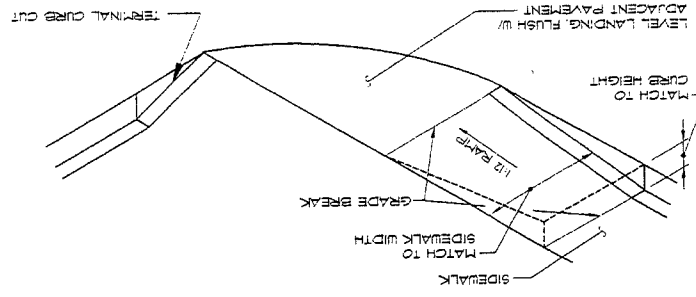
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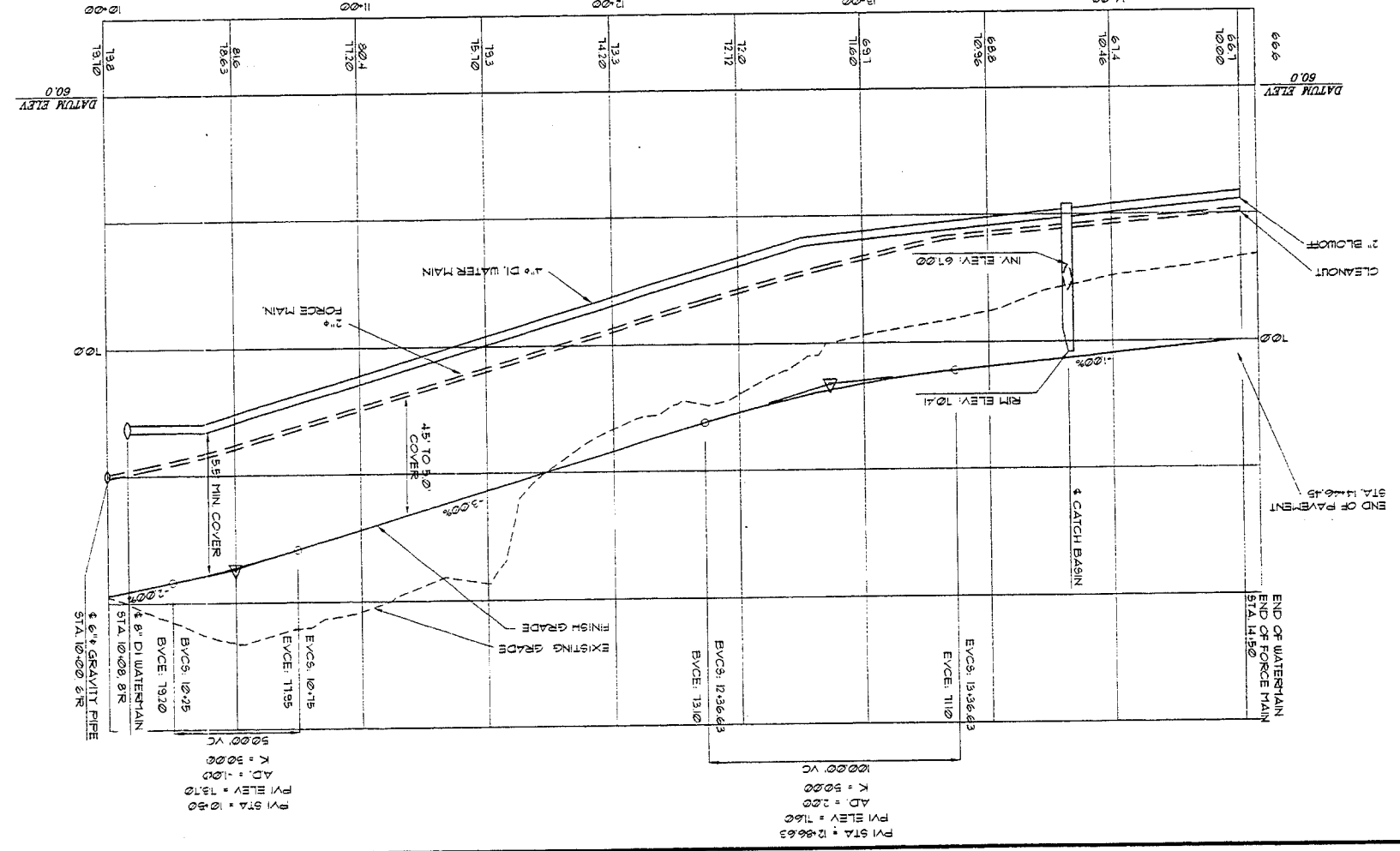
TYPE 3A BITUMINOUS CURB DETAIL



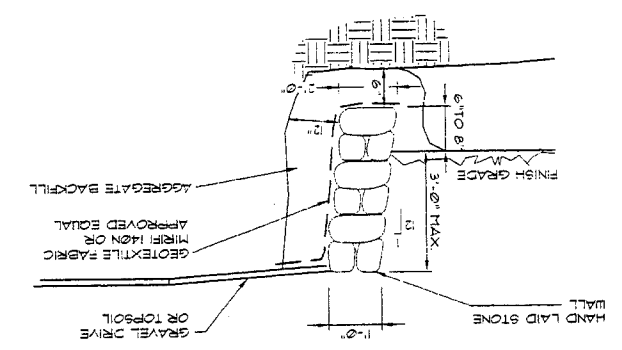
RAMP DETAIL



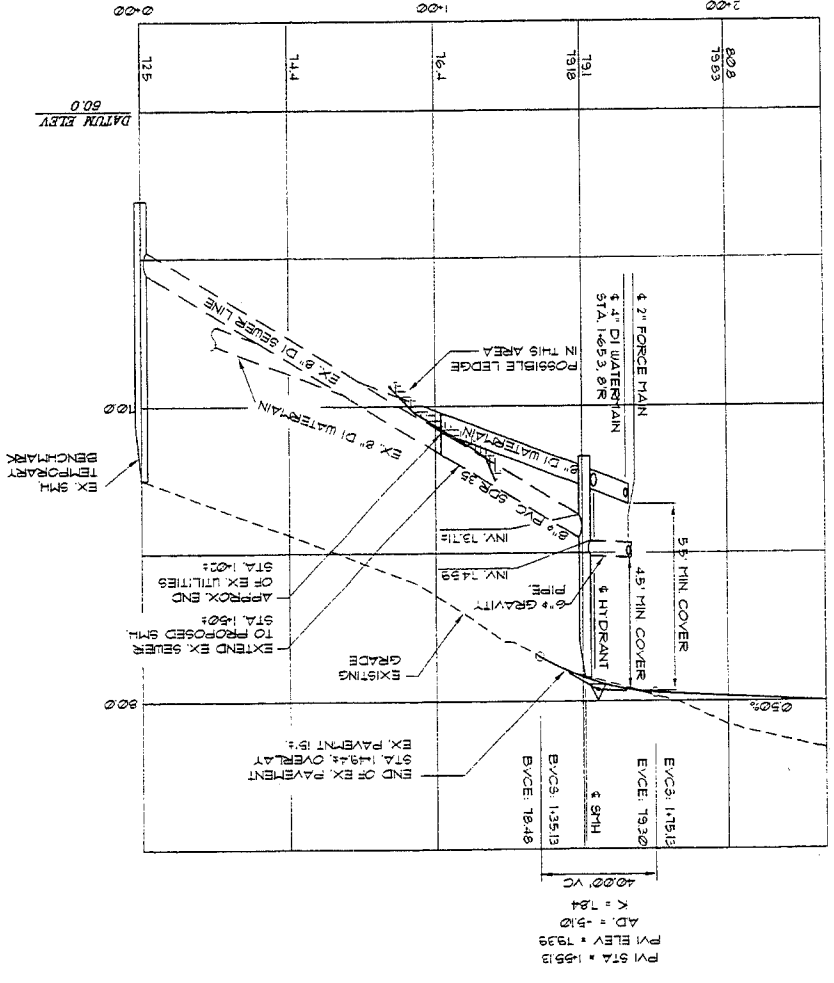
REDLON PARK ROAD PROFILE



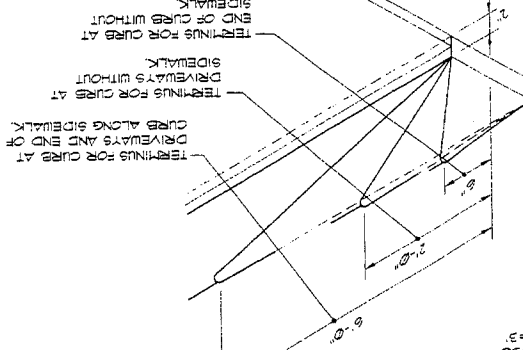
STONE RETAINING WALL



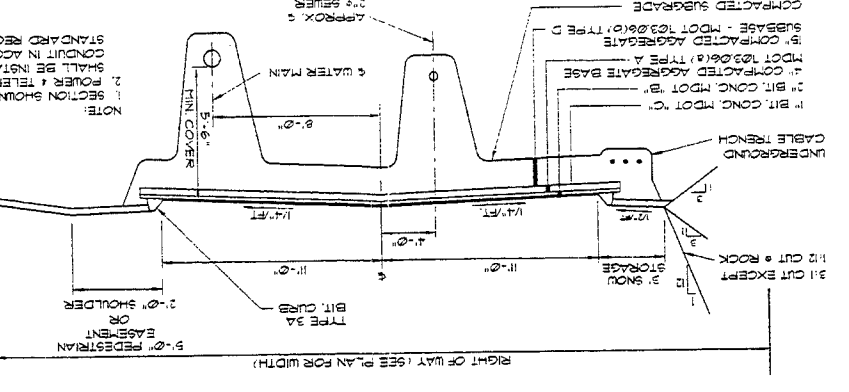
REDLON ROAD PROFILE



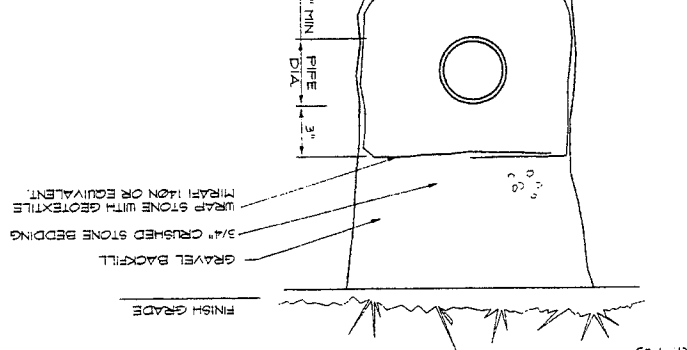
TERMINAL CURB CUT



TYPICAL ROAD SECTION

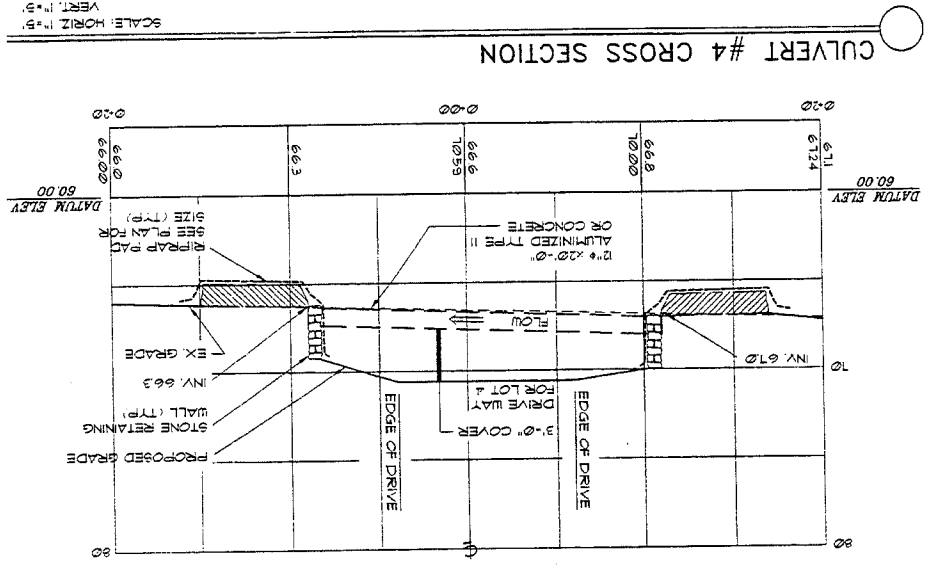


CULVERT TRENCH DETAIL



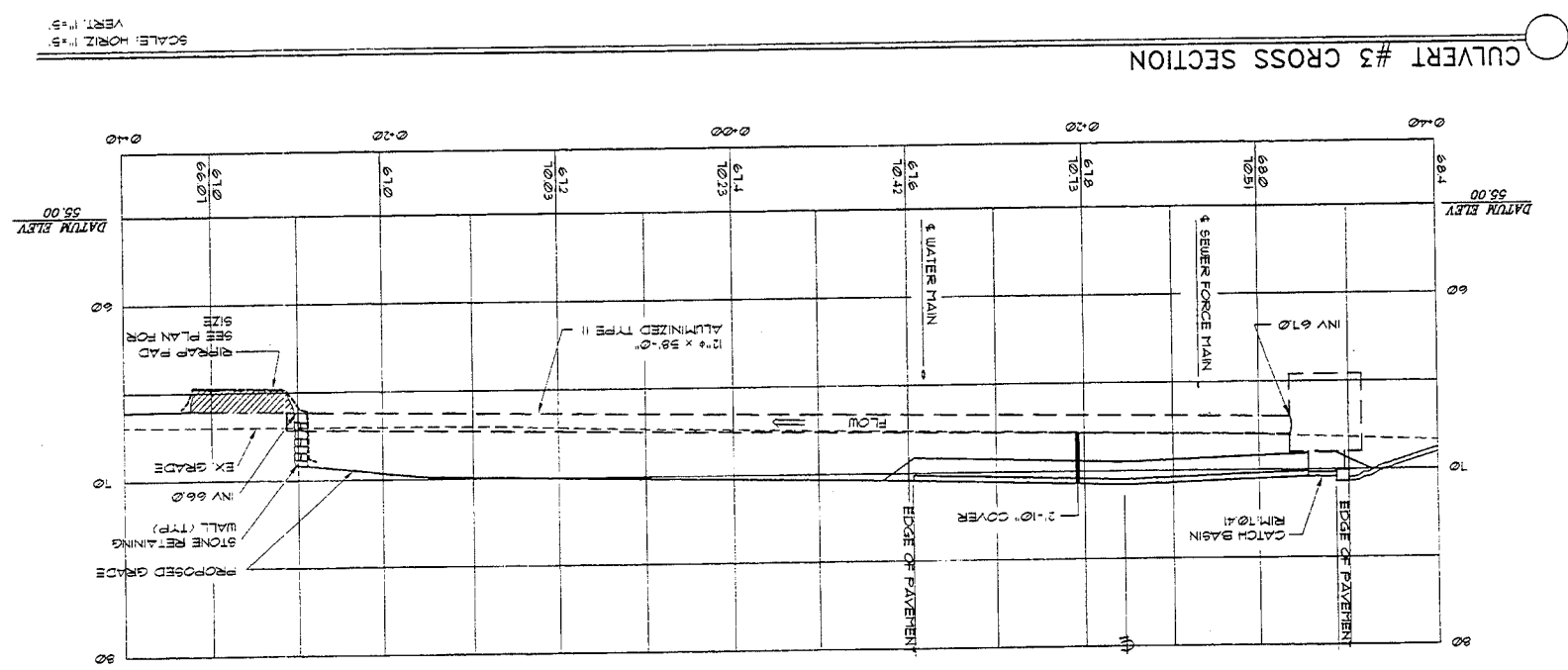
**PINKHAM & GREER**  
 CONSULTING ENGINEERS, INC.  
 91 SUMMER PLACE, PORTLAND ME  
 REDLON ROAD, PORTLAND MAINE  
 ROAD PROFILE & DETAILS  
 SCALE: AS SHOWN DRN BY: JDC  
 DATE: FEB. 28, 1997 DESG BY: TSG  
 PROJECT: 97115 CHK BY: TSG  
 C4





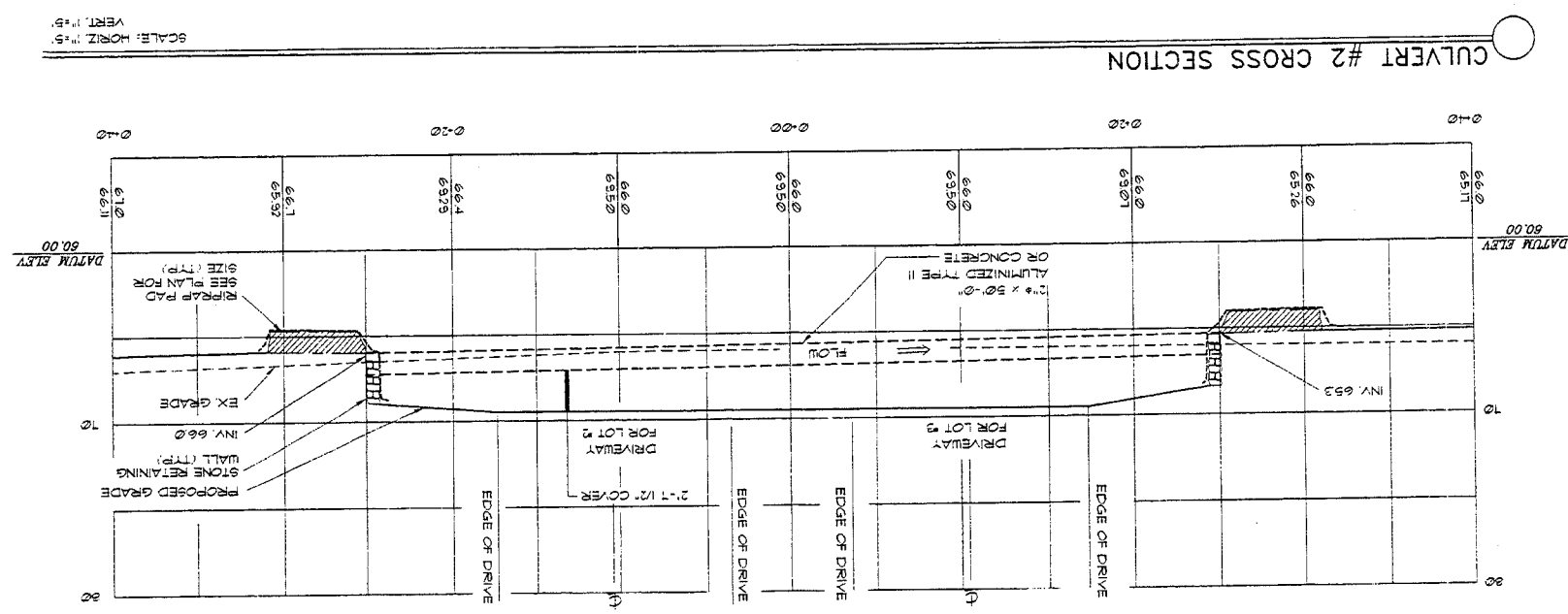
CULVERT #4 CROSS SECTION

SCALE: HORIZ 1"=5' VERT 1"=5'



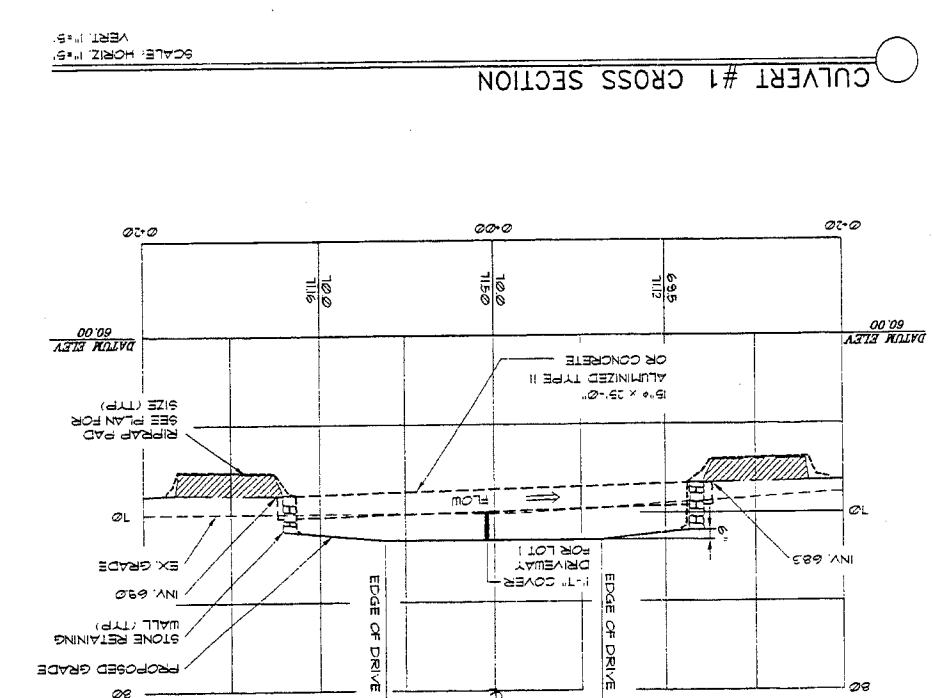
CULVERT #3 CROSS SECTION

SCALE: HORIZ 1"=5' VERT 1"=5'



CULVERT #2 CROSS SECTION

SCALE: HORIZ 1"=5' VERT 1"=5'



CULVERT #1 CROSS SECTION

SCALE: HORIZ 1"=5' VERT 1"=5'

COTTAGE PARK INC.  
 91 SUMMER PLACE, PORTLAND ME  
 REDLON PARK  
 REDLON ROAD, PORTLAND MAINE  
 PINKHAM & GREER  
 CONSULTING ENGINEERS, INC.  
 THOMAS S. GREER  
 4205  
 STATE OF MAINE  
 REGISTERED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION
1	6/4/97	REV'D PER PLANNING DEPT. MAT & MEMO.

SCALE: AS NOTED  
 DATE: FEB. 28, 1997 DESG BY: TSG  
 PROJECT: 97115  
 CHK BY: TSG

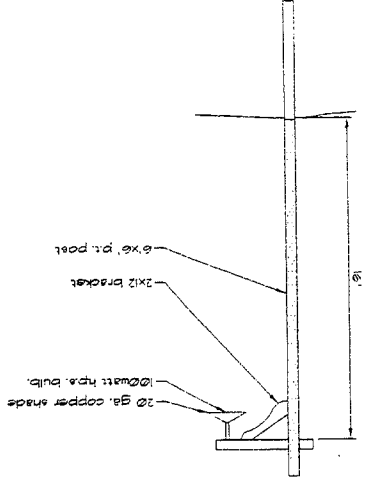
91 SUMMER PLACE, PORTLAND ME  
 REDLON PARK  
 REDLON ROAD, PORTLAND MAINE  
 PINKHAM & GREER  
 CONSULTING ENGINEERS, INC.  
 THOMAS S. GREER  
 4205  
 STATE OF MAINE  
 REGISTERED PROFESSIONAL ENGINEER

SCALE: HORIZ 1"=5' VERT 1"=5'



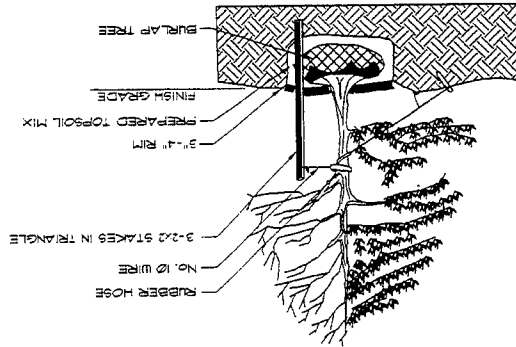
**"COTTAGE PARK" STREET LIGHT DETAIL**

NOT TO SCALE



**TREE PLANTING DETAIL**

NOT TO SCALE



SLOPE & LENGTH TABLE

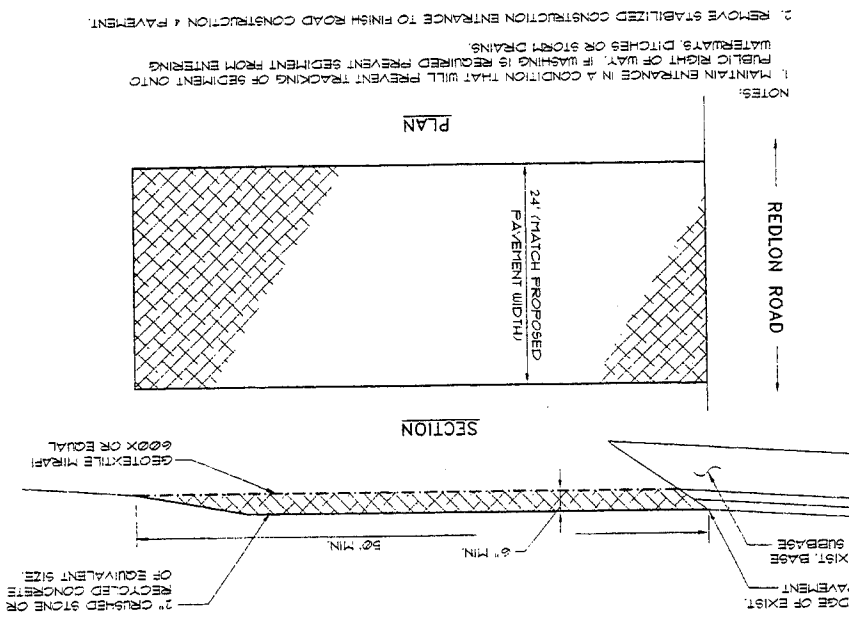
SLOPE (%)	LENGTH (FT)
0.20	100
0.30	66
0.40	50
0.50	40
0.60	33
0.80	25
1.00	20
1.50	13
2.00	10

\* THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

NOTE: WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND DAMS. SEDIMENT SHOULD BE REMOVED FROM BEHIND DAMS WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE DAM.

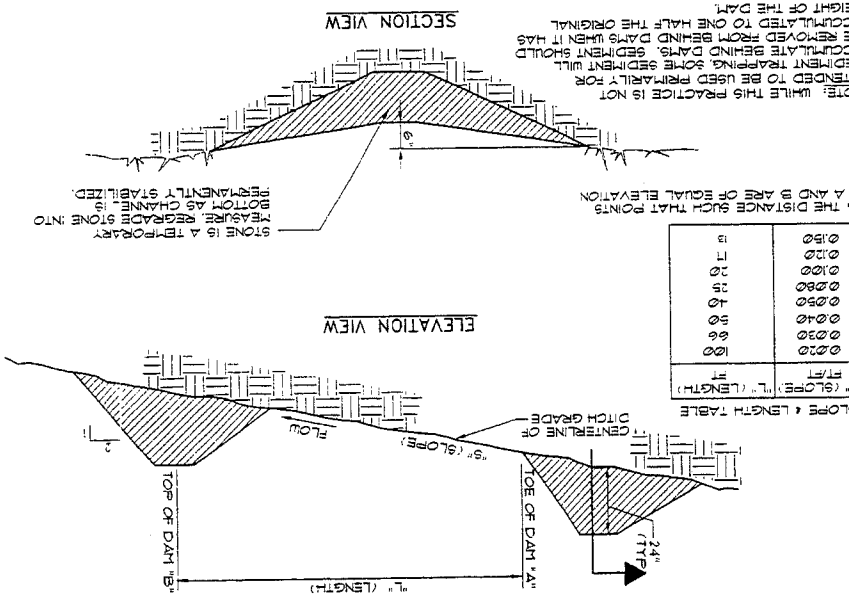
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**

NOT TO SCALE



**STONE CHECK DAM DETAIL**

NOT TO SCALE



SLOPE & LENGTH TABLE

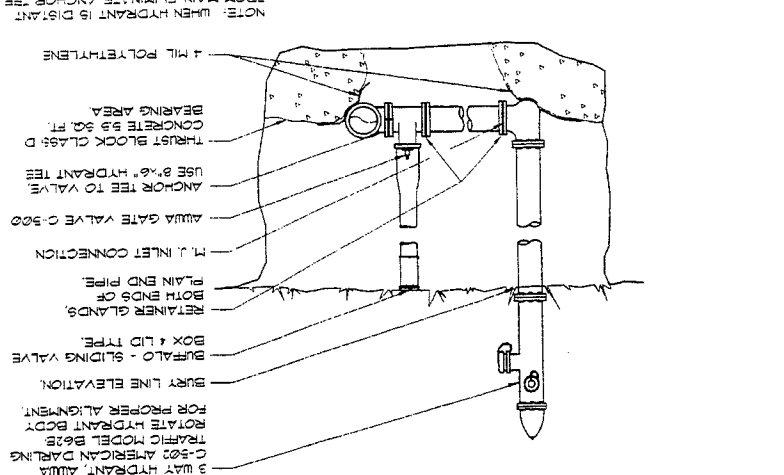
SLOPE (%)	LENGTH (FT)
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\* THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

NOTE: WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND DAMS. SEDIMENT SHOULD BE REMOVED FROM BEHIND DAMS WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE DAM.

**TYPICAL HYDRANT**

NOT TO SCALE



NOT TO SCALE

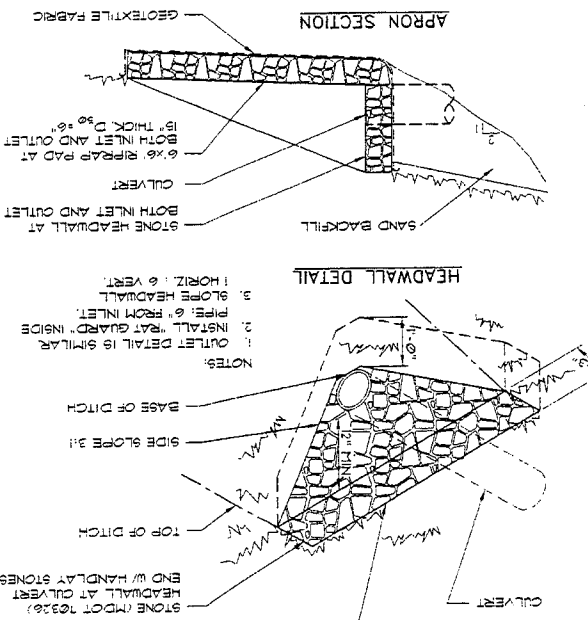
**SEQUENCE OF CONSTRUCTION**

NOT TO SCALE

1. INSTALL ALL SILT FENCE AND HAYBALE PROTECTION AROUND THE SITE AND ADJACENT TO THE WETLAND AREA.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. CLEAR AND GRUB WORK AREAS. TEMPORARILY SEED AREAS NOT TO BE WORKED ON WITHIN 14 DAYS.
4. STRIP AND STOCKPILE ON-SITE TOPSOIL. SEED STOCKPILES WITH TEMPORARY SEED MIX.
5. SUBMIT SAMPLES OF TOPSOIL/LOAM FOR LAB WORK. ADJUST LINE AND FERTILIZER ACCORDINGLY.
6. BEGIN EARTHWORK FOR ROADS AND BUILDING FOUNDATIONS.
7. INSTALL AND PROTECT INITIAL STORM DRAINAGE SYSTEMS.
8. BEGIN BUILDING CONSTRUCTION.
9. ROUGH GRADE ROADS AND DRIVEWAY SIDE SLOPES.
10. FINE GRADE ALL PARKING AND DRIVEWAY SIDE SLOPES AND ROUGH GRADE REMAINDER OF SITE.
11. RE-SEED OR TEMPORARILY SEED ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
12. COMPLETE FINE GRADING AND PAVING OF ROADS, WALKS AND DRIVEWAY AREAS.
13. FINE GRADE, LOAM, SEED AND FERTILIZE REMAINDER OF SITE.
14. REMOVE TEMPORARY SOIL EROSION MEASURES AS THE WORKS ARE COMPLETED AND GRASS GROWTH IS OBTAINED.

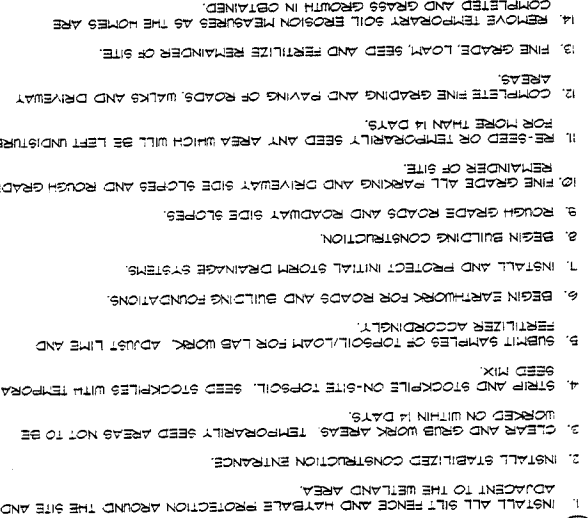
**STONE HEADWALL**

NOT TO SCALE



**SILT FENCE DETAIL**

NOT TO SCALE



**GENERAL NOTES**

NOT TO SCALE

1. THIS DRAWING DEPICTS THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERLY FACILITATED STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE AND HAY BALE BARRIERS WHICH ACCUMULATE SEDIMENT AND DEBRIS. CLEAN CATCH BASIN PUMPS ON A REGULAR BASIS.
3. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY ENGINEER OF ANY SIGNIFICANT EROSION PROBLEM.
4. TEMPORARILY SEED WITHIN 14 DAYS ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW.
5. FINE GRADE, LOAM, SEED AND FERTILIZE REMAINDER OF SITE.
6. REMOVE TEMPORARY SOIL EROSION MEASURES AS THE WORKS ARE COMPLETED AND GRASS GROWTH IS OBTAINED.
7. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BURYING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
8. SEEDING:
  1. USE PERMANENT SEED MIXES AND RATERS BETWEEN 9/15 AND 9/30
  2. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATERS BETWEEN 10/1 AND 9/14, RE-SEED WITH PERMANENT SEED MIX AFTER 9/15.
9. PERMANENT SEED:
  - 5000 LBS./ACRE CREEPING RED RESCUE
  - 3025 LBS./ACRE KENTUCKY BLUEGRASS
  - 3025 LBS./ACRE WHITE CLOVER
10. TEMPORARY SEED:
  - 3000 LBS./ACRE OATS
  - 4000 LBS./ACRE ANNUAL RYEGRASS
  - 4000 LBS./ACRE BUDANKGRASS
  - 3000 LBS./ACRE ANNUAL RYEGRASS
  - 1000 LBS./ACRE WINTER RYE (PROTECT W/ MULCH COVER)
11. LIME AND FERTILIZER:
  - LIME AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.
  - MULCH:
    - 70 - 90 LBS. STRAW OR HAY (ANCHORED)
    - 85 - 275 LBS. SHREDDED OR CHIPPED
    - 45 - 90 LBS. MULCH ANCHORING
    - EXCEL/SIOR MAT
    - MULCH AND TUNE
    - LIQUID ASPHALT
    - WOOD CELLULOSE FIBER
    - CHEMICAL TACK
  - 12. PROTECTED AREAS:
    - 4001 - 5/14
    - 4000 - 5/15
    - 4000 - 5/16
    - 4000 - 5/17
    - 4000 - 5/18
    - 4000 - 5/19
    - 4000 - 5/20
    - 4000 - 5/21
    - 4000 - 5/22
    - 4000 - 5/23
    - 4000 - 5/24
    - 4000 - 5/25
    - 4000 - 5/26
    - 4000 - 5/27
    - 4000 - 5/28
    - 4000 - 5/29
    - 4000 - 5/30
    - 4000 - 5/31
  - 13. TOTAL SEED RATE:
    - 13000 LBS./ACRE
    - 1250 LBS./ACRE

**PINKHAM & GREER**  
CONSULTING ENGINEERS, INC.  
91 SUMMER PLACE, PORTLAND ME  
COTTAGE PARK INC.  
REDLON ROAD, PORTLAND MAINE

SCALE: AS SHOWN DRN BY: JDC  
DATE: FEB. 28, 1997 DESG BY: TSO  
PROJECT: 97115

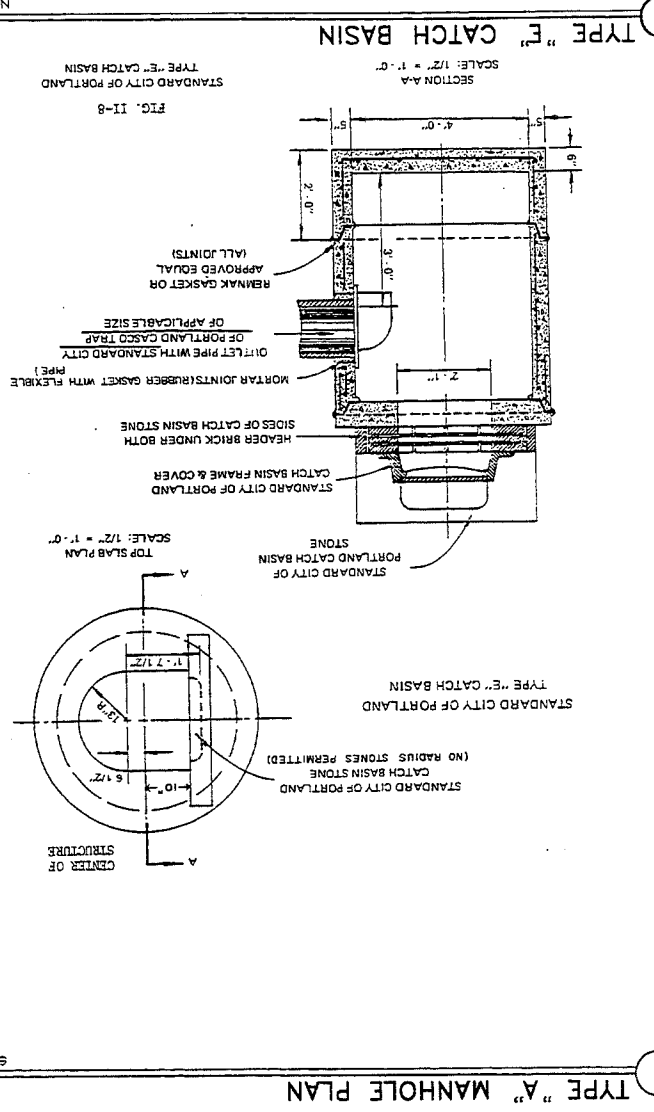
CHK BY: TSG  
DATE: FEB. 28, 1997  
DATE: FEB. 28, 1997

REV. DATE DESCRIPTION  
1 3/24/97 REMOVED CB RELATED DETAILS  
2 6/4/97 REV'D PER PLANNING DEPT. MAY 6 MEMO

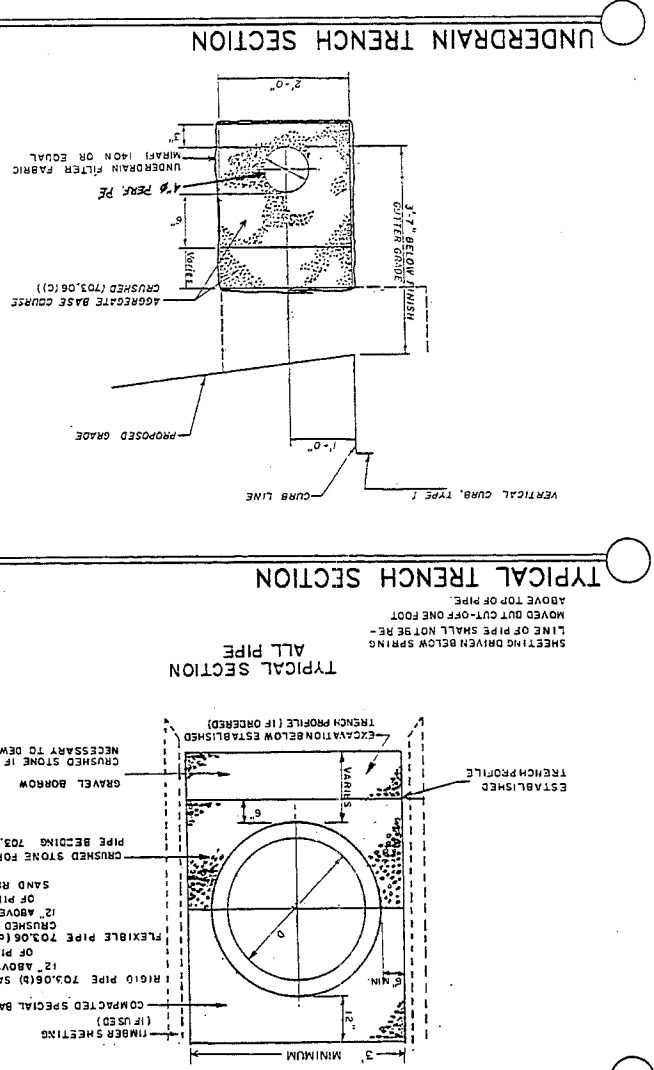
**STATE OF MAINE**  
REGISTERED PROFESSIONAL ENGINEER  
THOMAS S. GREEN  
4208  
1000

PROJECT: 97115  
DATE: FEB. 28, 1997  
SCALE: AS SHOWN  
DRN BY: JDC  
CHK BY: TSG

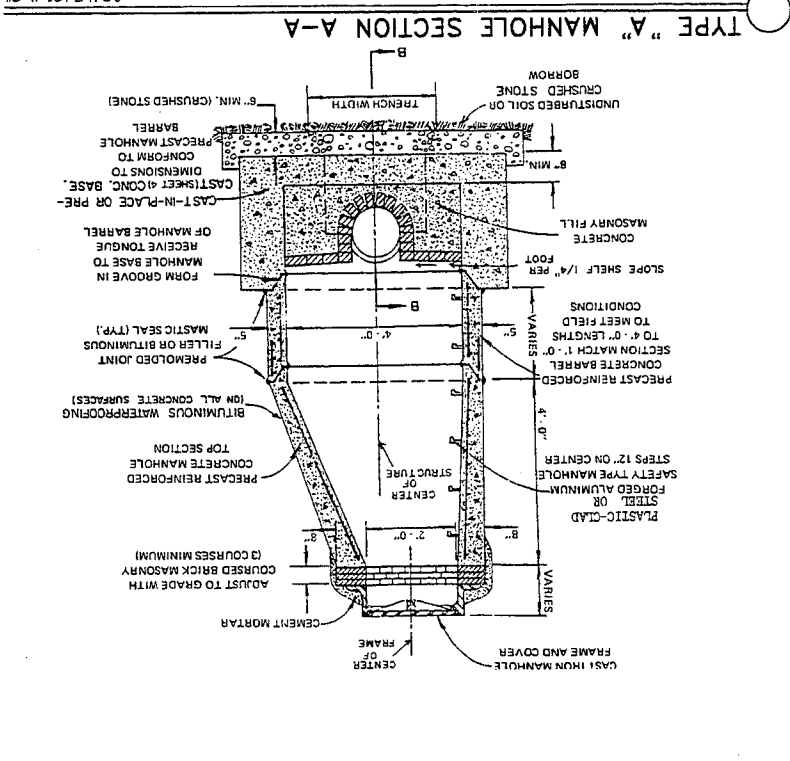
C6



NOT TO SCALE



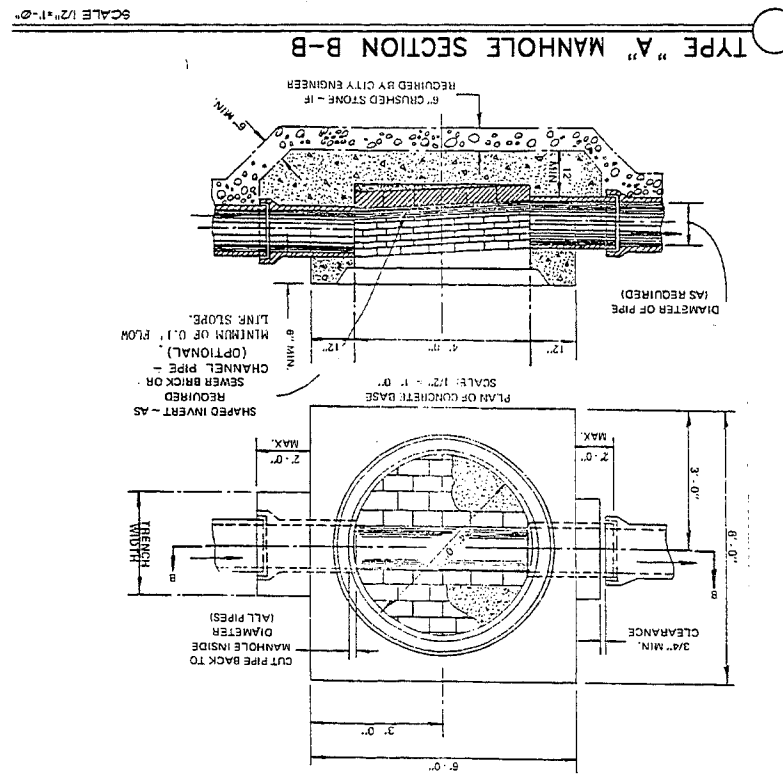
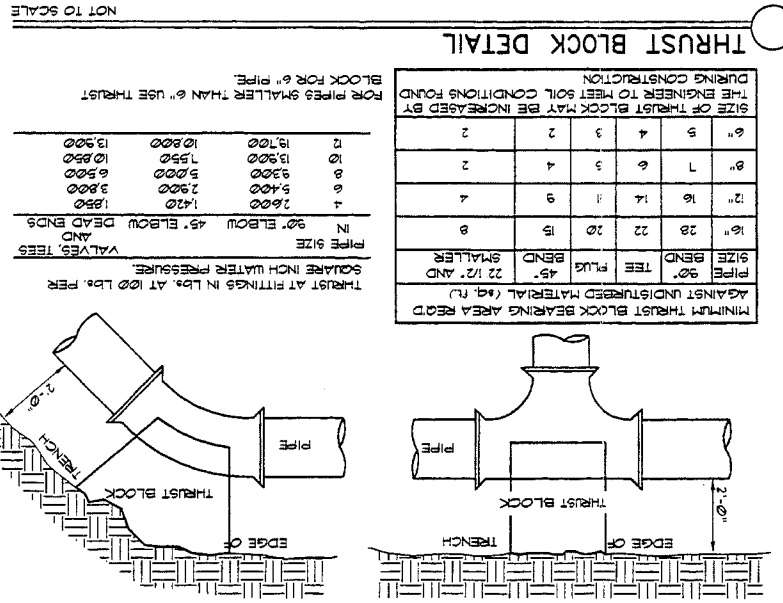
NOT TO SCALE



REV.	DATE	DESCRIPTION

CONSULTING ENGINEER: PINKHAM & GREEFF  
 REDLON PARK  
 REDLON ROAD, PORTLAND MAINE  
 COTTAGE PARK INC.  
 91 SUMMER PLACE, PORTLAND ME

SCALE: AS NOTED DRN BY: JDC  
 DATE: FEB. 28, 1997 DESG BY: TSG  
 PROJECT: 97115 CHK BY: TSG



NOT TO SCALE

C7

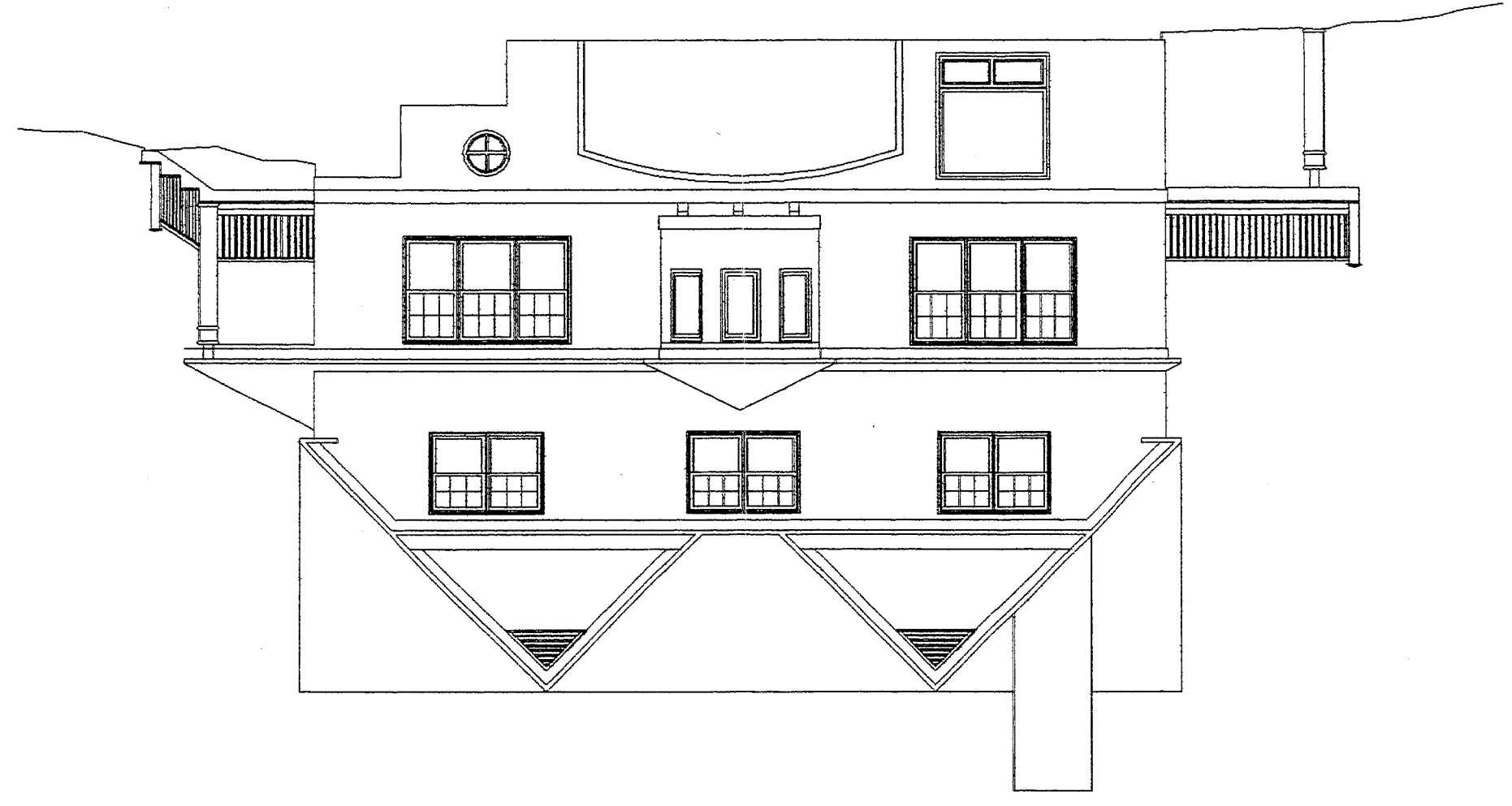


SCALE: 1/8"=1'-0"

REDLON PARK

The Cottage Design Company





SCALE: 1/8"=1'-0"

REDLON PARK

The Cottage Design Company

