

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0152	Issue Date: MAR 14 2003	CBL: 192 K074001
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Location of Construction: 122 Colonial Rd	Owner Name: True Manda R	Owner Address: 122 Colonial Rd	Phone: 207-415-7668
Business Name: n/a	Contractor Name: Owner	Contractor Address: Portland	Phone: CITY OF PORTLAND
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Renovating attic into storage and office space.	Permit Fee: \$51.00	Cost of Work: \$3,500.00	CEO District: 3
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Proposed Project Description: Renovating attic into storage and office space.	FIRE DEPT: <i>NA</i>	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: GB BOCA 1999
	Signature:		Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 02/27/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 3/14/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 3/14/03
	<i>OK under 14-436B</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 030152

This is to certify that True Manda R /Owner
has permission to Renovating attic into storage office space.
AT 122 Colonial Rd Call 192 K074001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

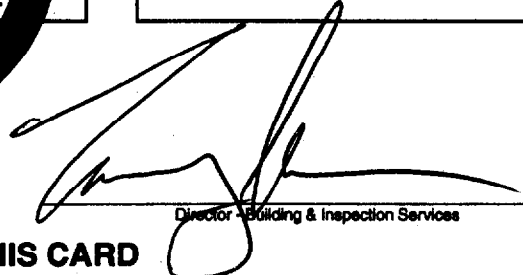
Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and when permission procured before this building or part thereof is occupied or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
MAR 14 2003



Department Name

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

City of Portland, Maine - Building or Use Permit

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Business Name: n/a	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family / Renovating attic into storage and office space.	Proposed Project Description: Renovating attic into storage and office space.
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Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 03/14/2003
Note: ok under 14-436b **Ok to Issue:**

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 03/14/2003
Note: **Ok to Issue:**

Comments:

3/5/03-tm: No plot plan submitted and need floor plan. Called owner and discussed this.

3/7/03-tm: Need dimensions on plans - met w/owner regarding this.

3/14/03-tm: Rec'd additional plans - ok to issue.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

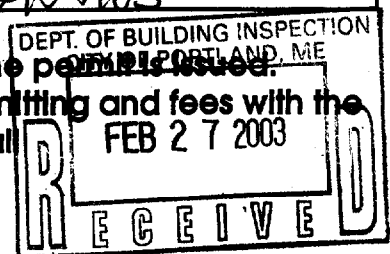
Location/Address of Construction: <u>122 Colonial Rd Portland ME 04102</u>		
Total Square Footage of Proposed Structure <u>26x13 338 sq foot Doormen</u>	Square Footage of Lot <u>7200 sq feet</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>192</u> Block# <u>K</u> Lot# <u>any</u> <u>Book 37 Page 6 10</u>	Owner: <u>Manda TWE</u>	Telephone: <u>207-415-7668</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Manda TWE</u> <u>122 Colonial Rd Portland</u> <u>ME 04102</u>	Cost Of Work: \$ <u>3500</u> Fee: \$ <u>4</u> <u>51.00</u>
Current use: <u>ASFL</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Storage / office</u>		
Project description: _____		
Contractor's name, address & telephone: <u>Owner building</u>		
Who should we contact when the permit is ready: <u>Manda TWE</u>		
Mailing address: <u>122 Colonial Rd Portland ME 04102</u> <u>cell</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-415-7668</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

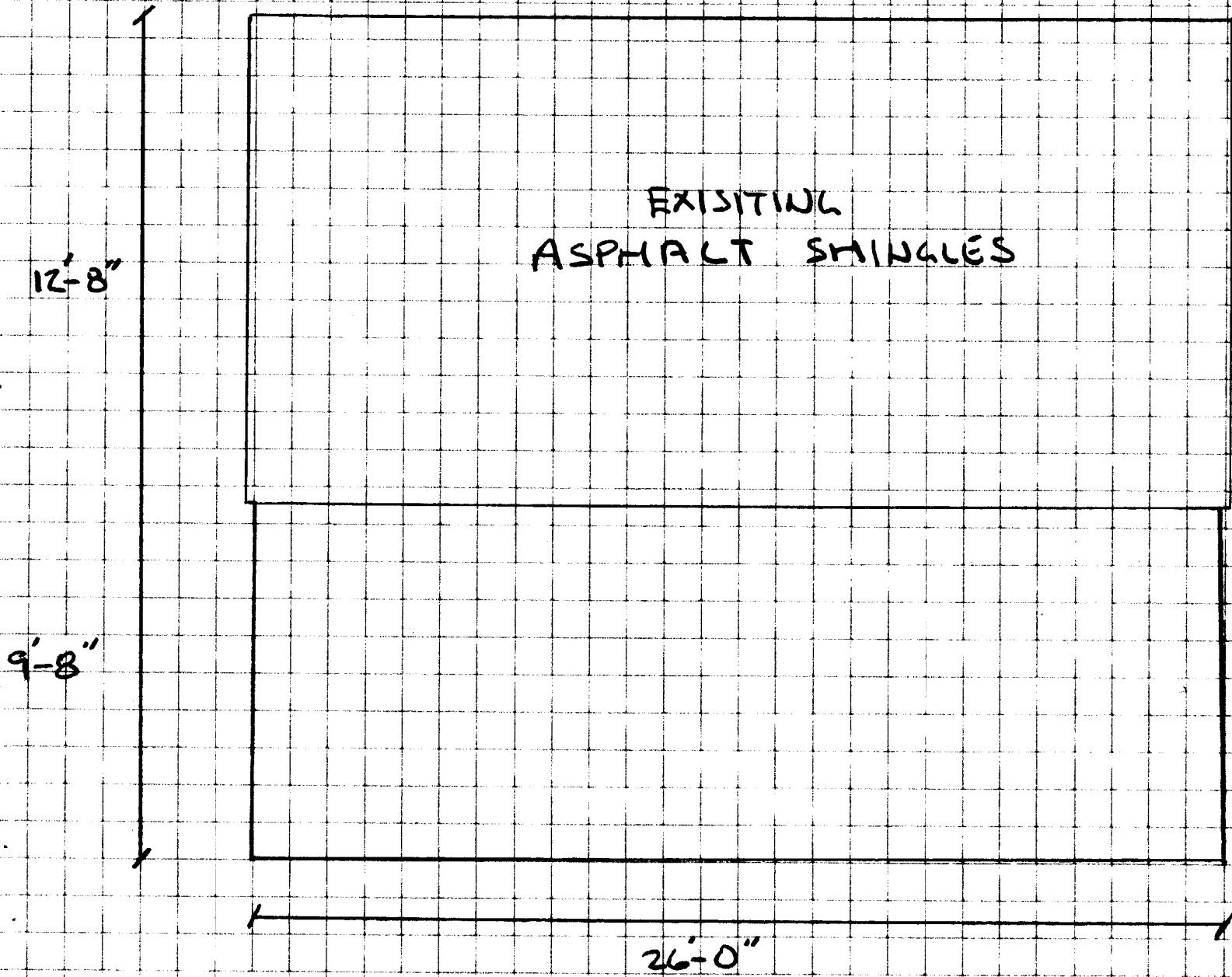
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Manchester</u>	Date: <u>2/27/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



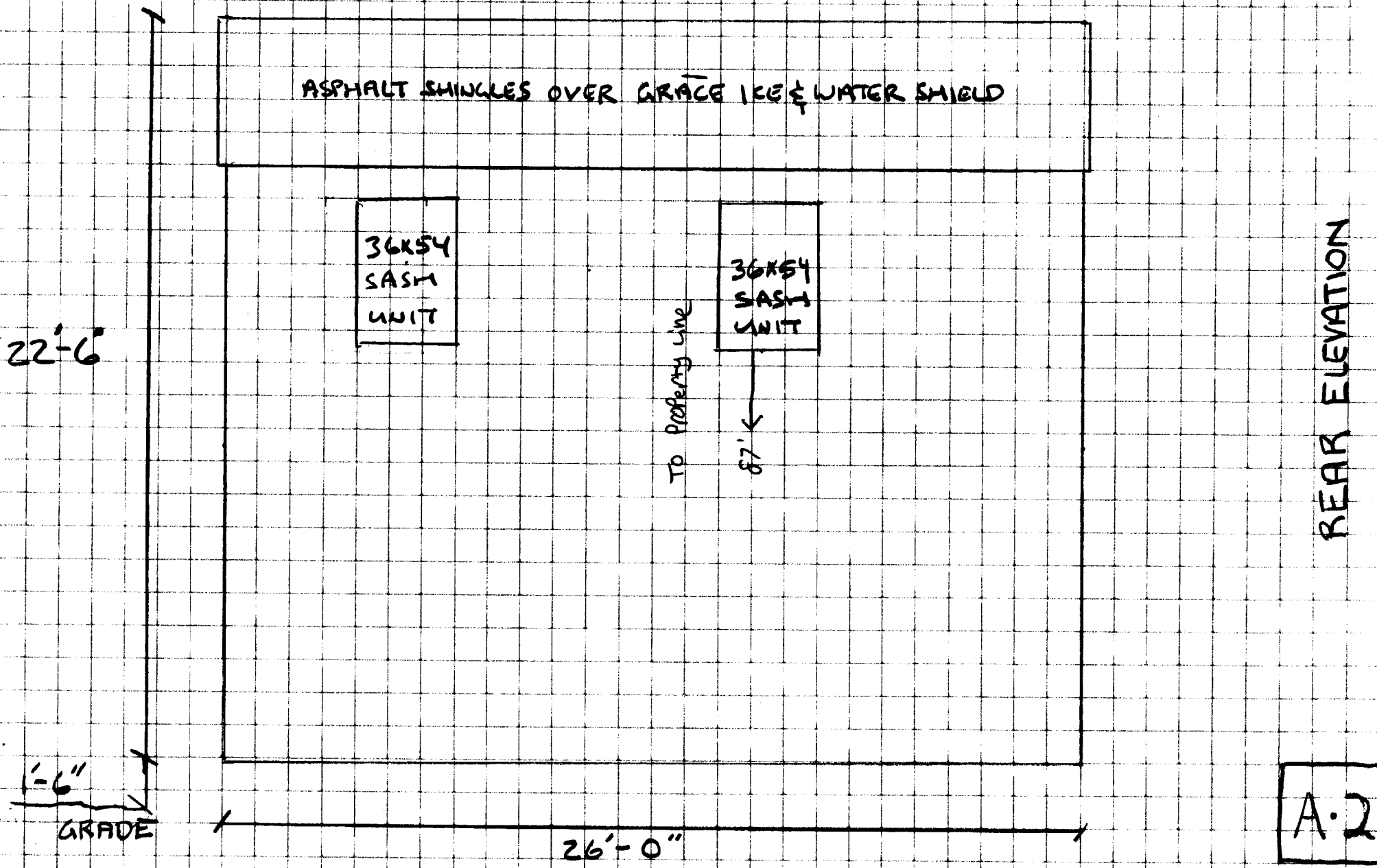
SCALE
 $\frac{1}{4}'' = 1''$



FRONT ELEVATION

A.1

SCALE
1/4" = 1'



ASPHALT SHINGLES OVER GRADE ICE & WATER SHIELD

36x54
SASH
UNIT

36x54
SASH
UNIT

TO PROPERTY LINE

87'

22'-6"

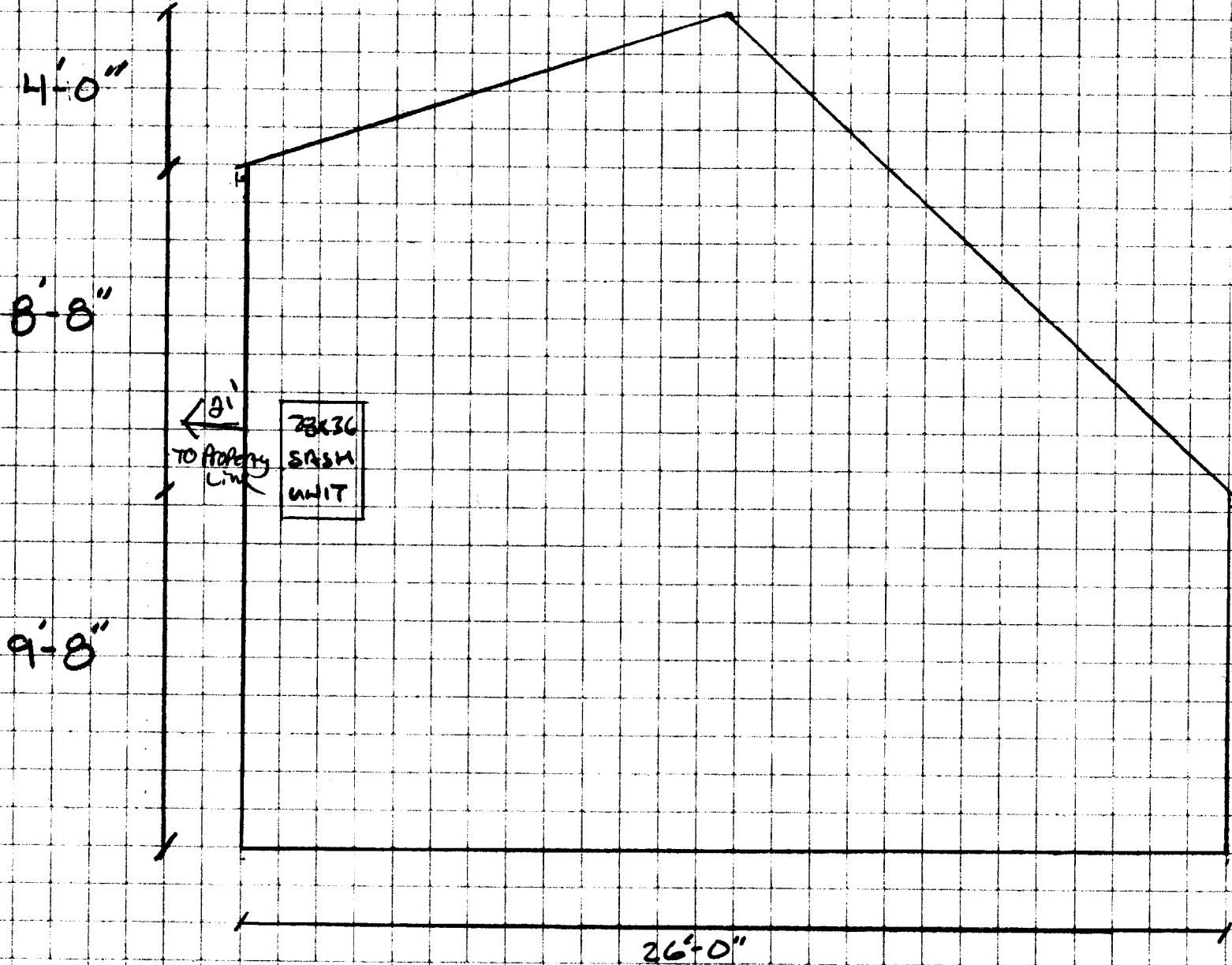
26'-0"

1'-6"
GRADE

REAR ELEVATION

A.2

SCALE
1/4" = 1'



SIDE ELEVATION

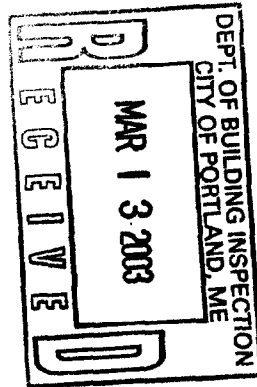
A.3

TO: TAMMY
Fax 874-8714

FOR Building Permit
122 Colonial Rd
Portland ME
04102

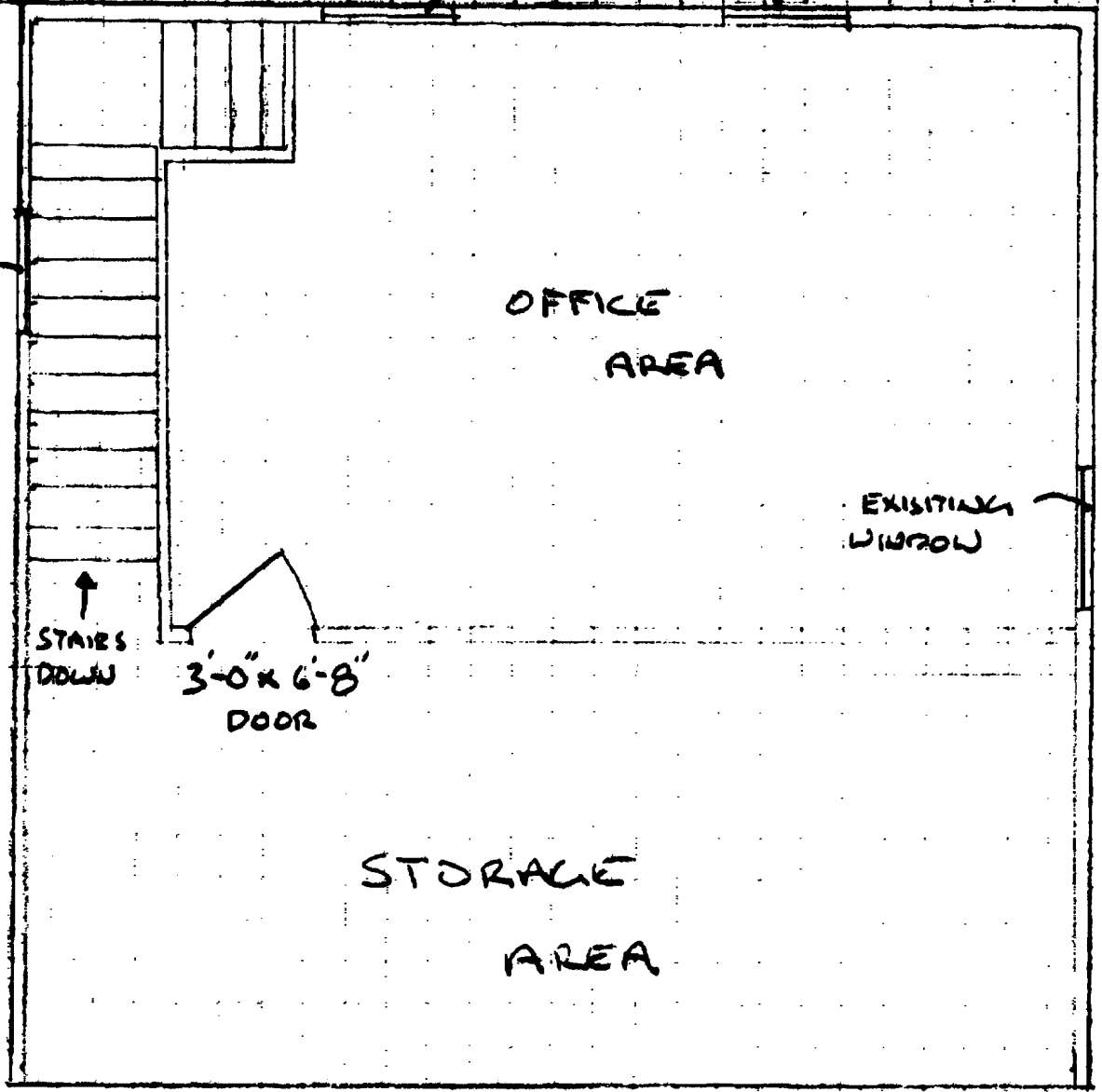
From: Manda TRUE
228-5795

Total 3 pages



OFFICE OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
BREKIVE
 MAR 13 2003

3-0
 4x6
 WINDOW
 S.W.I.T.

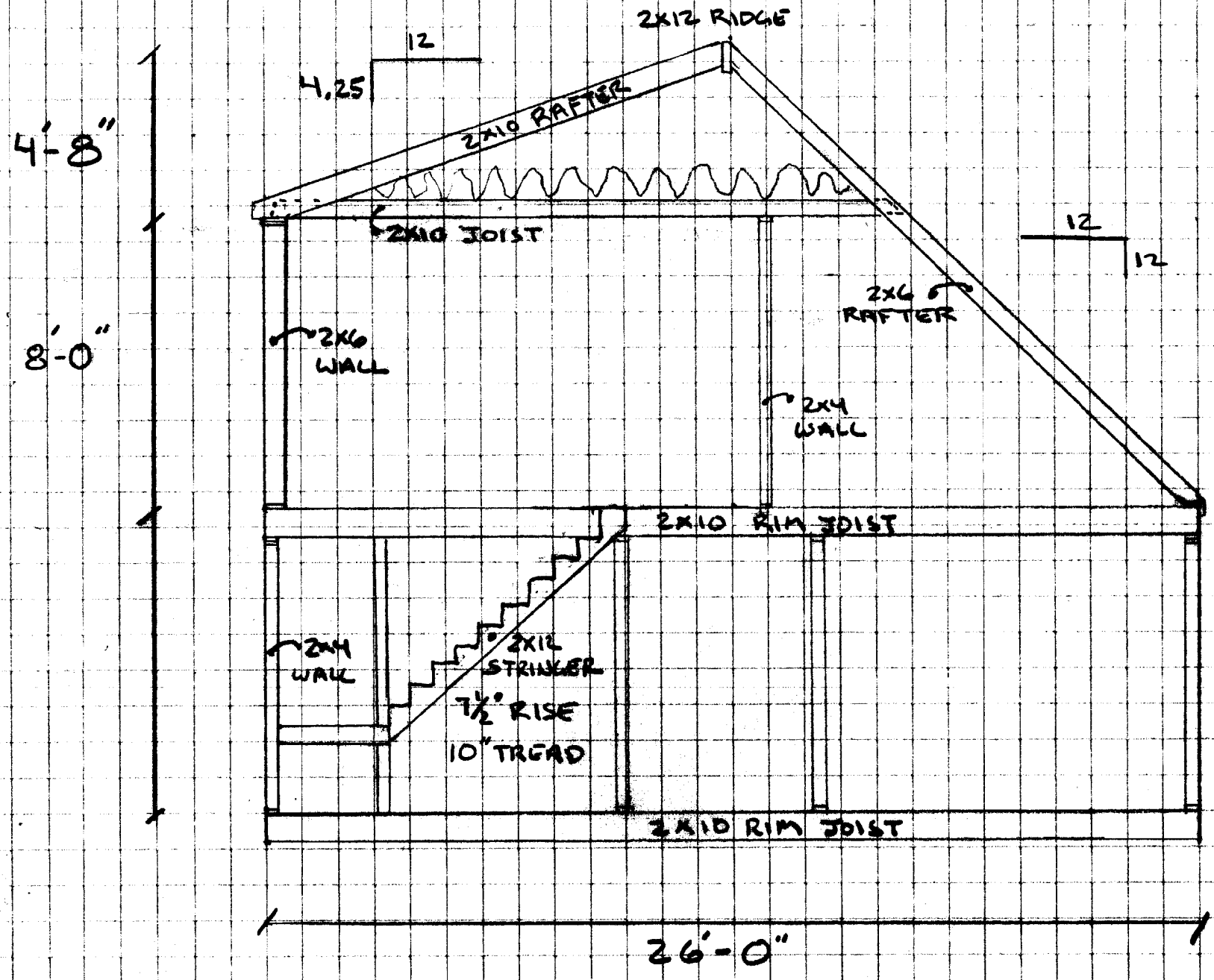


22'-5 3/4"

A.6

SECOND FLOOR FLOOR PLAN

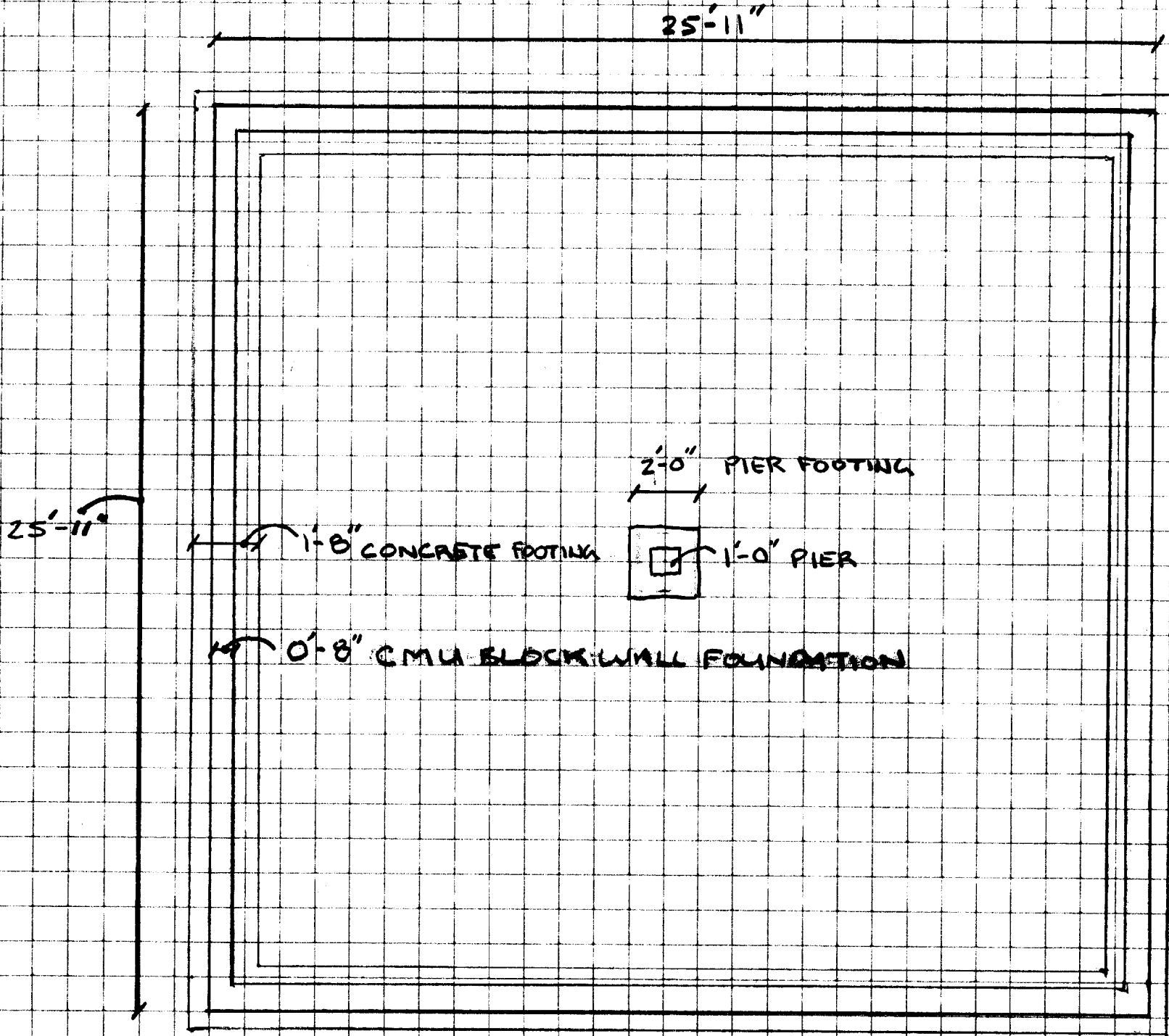
SCALE
1/4" = 1'



SECTION AT DORMER

A-4

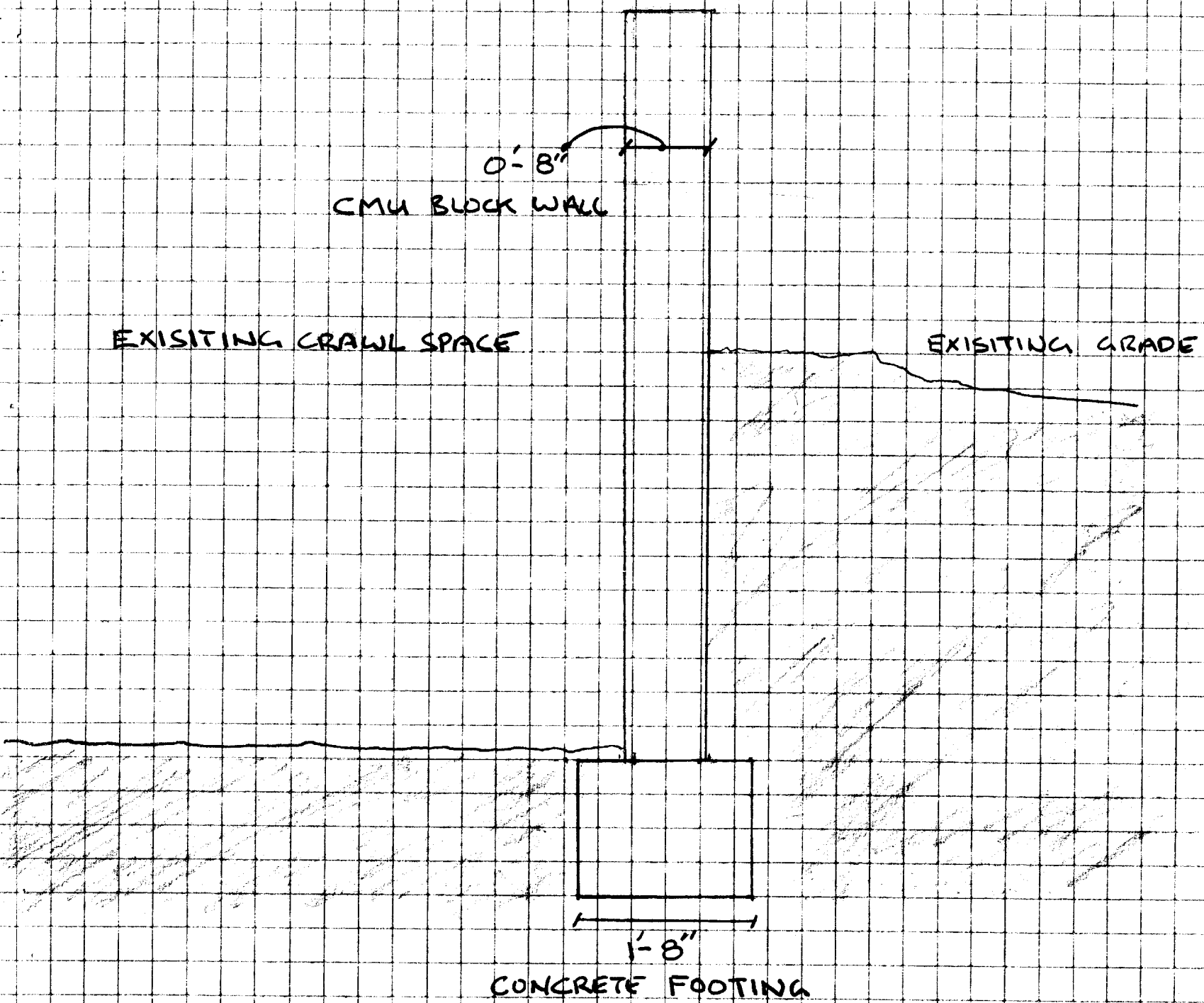
SCALE
1/4" = 1'



PLAN VIEW FOUNDATION

S. 1

SCALE
1" = 1'



SECTION FOUNDATION WALL

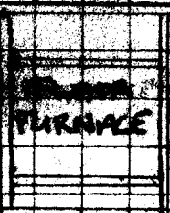
S.2

SCALE
1/4" = 1'

3'-6"

4x4 POST
2x2x10 JOIST
DOUBLE 2x10 JOIST HANGERS

↑
EXISTING 2x10 JOIST
↓



22'-6"

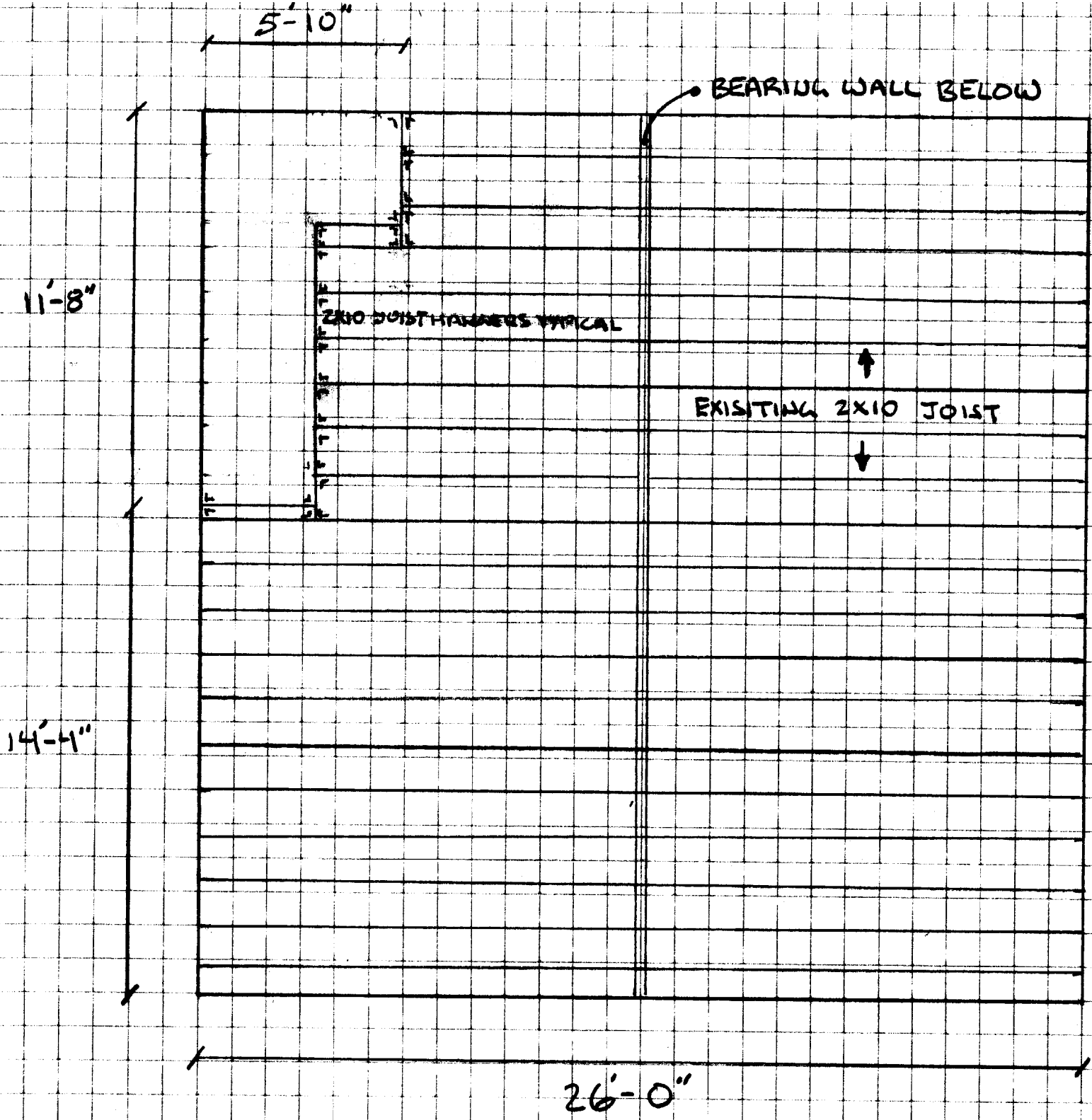
TRIPLE 2x10 GIRDER BEAM

26'-0"

FIRST FLOOR FRAMING PLAN

S.S.

SCALE
1/4" = 1'

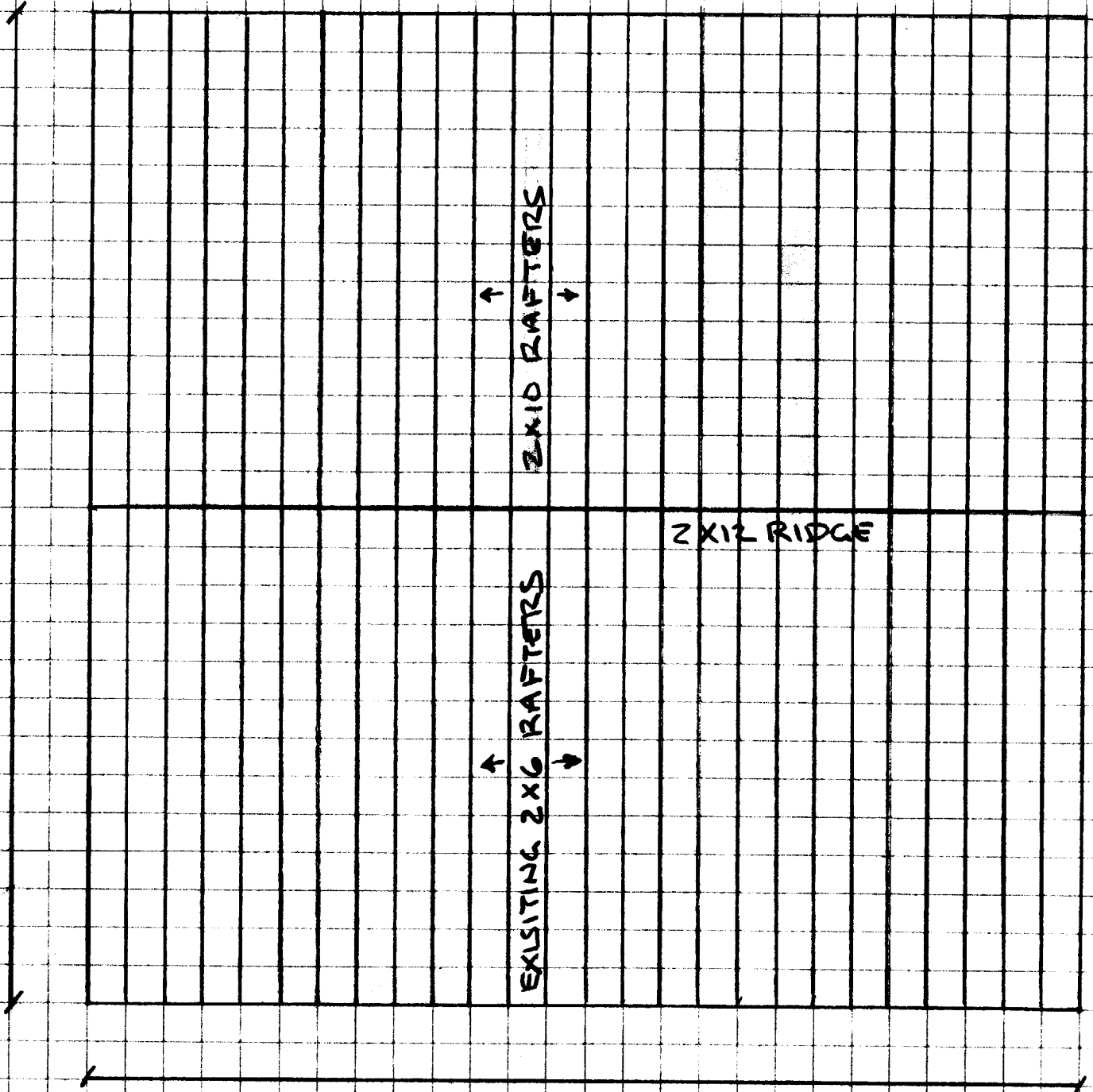


SECOND FLOOR FRAMING PLAN

S.F.

SCALE
1/4" = 1'

26'-0"

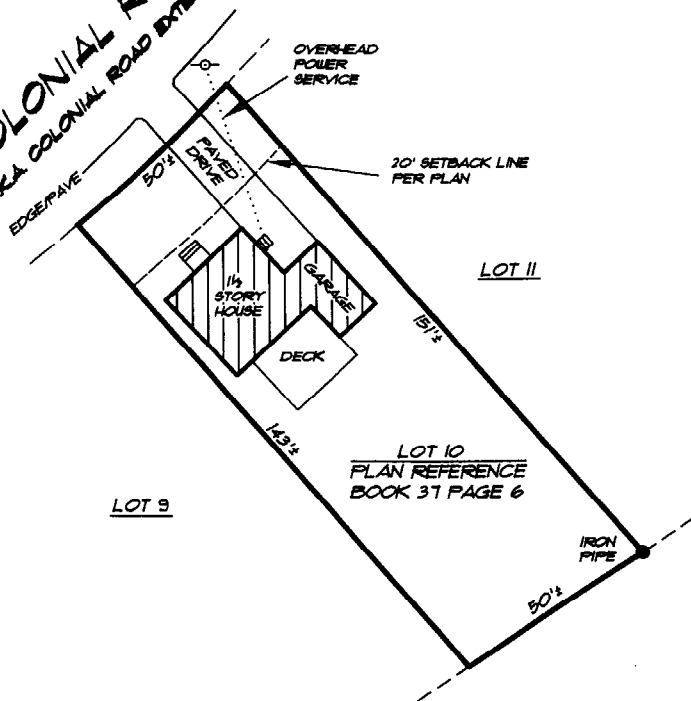


26'-0"

ROOF FRAMING PLAN

S.5

122 COLONIAL ROAD
 (AKA COLONIAL ROAD EXTENSION)

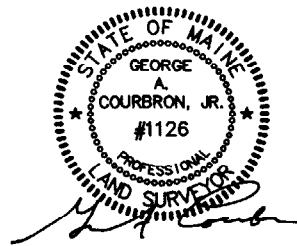



"THIS IS NOT A BOUNDARY SURVEY"

I HEREBY CERTIFY TO THE LENDING INSTITUTION AND/OR TITLE INSURANCE COMPANY DESIGNATED BELOW EXCLUSIVELY THAT THIS PLAN, AS NOTED, DEPICTS THE RESULTS OF A CURRENT EXAMINATION OF THE PREMISES DESCRIBED IN BOOK 12587 PAGE 88 AND RECORDED AT THE APPLICABLE COUNTY REGISTRY OF DEEDS AND THAT ALL VISIBLE EASEMENTS, ENCROACHMENTS AND BUILDINGS, IF ANY, ARE LOCATED ON THE GROUND AS SHOWN HEREON SUBJECT TO THE QUALIFICATIONS SET FORTH IN THE "NOTES" BELOW.

NOTES:

- 1) THIS PLAN HAS BEEN PREPARED FROM AN INSPECTION OF THE SITE ON APRIL 2, 2002 FOR THE SOLE BENEFIT OF THE LENDING INSTITUTION AND/OR TITLE INSURANCE COMPANY DESIGNATED BELOW EXCLUSIVELY, AND THE RESPONSIBILITY THEREFORE, DOES NOT AND SHALL NOT EXTEND TO ANY OTHER PERSON OR PERSONS. STATEMENTS MADE HEREON ARE NOT STATEMENTS OF WARRANTY, BUT ARE STATEMENTS OF OPINION MADE TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE, INFORMATION, & BELIEF. SURVEYWORKS, INC. IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.
- 2) THIS PLAN IS AN APPROXIMATE REPRESENTATION OF THE PREMISES (OR PORTION OF THE PREMISES NOTED ABOVE) AND IS FOR THE PURPOSE OF SHOWING, IN MAP FORM, THE SUBJECT REAL PROPERTY AND THE OBVIOUS IMPROVEMENTS THAT LIE WITHIN THE APPARENT BOUNDARY LINES OF SAID REAL PROPERTY, IN ORDER THAT THE MORTGAGEE AND/OR TITLE INSURER MAY USE SAID PLAN FOR DETERMINING THE INSURABILITY OF SAID PROPERTY AND THE IMPROVEMENTS THEREON. NO REPRESENTATION IS MADE, OR TO BE INFERRED, THAT THE APPARENT BOUNDARY LINES SHOWN HEREIN ARE THE TRUE PROPERTY LINES. THIS PLAN SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION. DO NOT USE PLAN OFFSETS FOR ESTABLISHING LOT LINES OR FOR THE ERECTION OF ANY IMPROVEMENTS, FENCES, WALLS, HEDGES, ETC.
- 3) THE BUILDINGS DEPICTED DID CONFORM WITH MUNICIPAL SETBACK REQUIREMENTS OF LOCAL ZONING AT TIME OF CONSTRUCTION.
- 4) THE PREMISES DEPICTED ARE NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON F.E.M.A. FLOOD INSURANCE RATE MAP.



MORTGAGE LOAN INSPECTION		
PREPARED FOR : NORTHEAST BANK		
BUYER : MANDA R. TRUE & JAMES L. TRUE		
SELLER : VICTORIA MORIN		
LOCATION : 122 COLONIAL ROAD PORTLAND, MAINE		
TAX MAP REFERENCE : MAP 192 BLOCK K LOT 74		
SCALE : 1" = 30'	REQUESTED BY :	DRAFTED BY :GSL
DATE : 4/3/02	STEWART TITLE	JOB NO. 02-5233
 SurveyWorks, Inc. Land Use Consultants 525 RIVER ROAD GREENE, MAINE 04236 TEL (207) 948-4480 FAX (207) 948-4483		