

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 030636

PERMIT

This is to certify that French Russell D &/Owner

has permission to Construct 18' x11' 6" Addition with an 8' x 8' Deck

AT 147 Wolcott St 192 K044001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

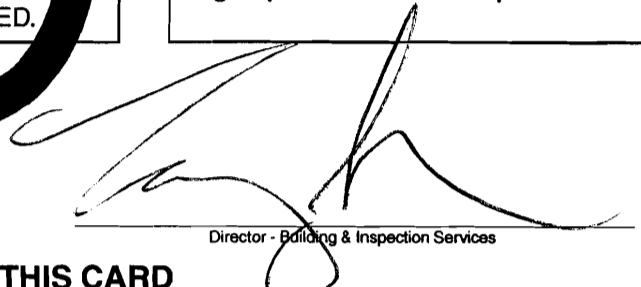
OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name



Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0636	Issue Date: ISSUED	CBL: 192 K044001
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Location of Construction: 147 Wolcott St	Owner Name: French Russell D &	Owner Address: 147 Wolcott St	Phone: 773-4987
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$198.00	Cost of Work: \$25,000.00	CEO District: 3
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i>		INSPECTION: Use Group: R-3 Type: SB BOLA 99		

Proposed Project Description:
Construct 18' x 11' 6" Addition with an 8' x 8' Deck

Signature: _____ Signature: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 06/06/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 8/14/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/14/03
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0636	Date Applied For: 06/06/2003	CBL: 192 K044001
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Location of Construction: 147 Wolcott St	Owner Name: French Russell D &	Owner Address: 147 Wolcott St	Phone: () 773-4987
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family with 18' x 11' 6" Addition and 8' x 8' Deck	Proposed Project Description: Construct 18' x 11' 6" Addition and 8' x 8' Deck
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/14/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/14/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments: 6/12/2003-tmm: Plans are really not ledgible and info left off. Left message w/owner. 8/14/2003-tmm: rec'd new plans 8/7/03 - ok to issue.

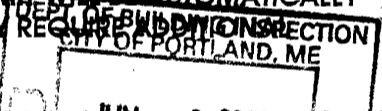
03-0634

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>147 WOLCOTT ST.</u>		
Total Square Footage of Proposed Structure <u>±/- 200 SQ FT</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>192</u> Block# <u>k</u> Lot# <u>44</u>	Owner: <u>RUSSELL FRENCH</u> <u>MARYANNE LLOYD</u>	Telephone: <u>773-4987</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SAME</u>	Cost Of Work: \$ <u>25,000.-</u> Fee: \$ <u>198.00</u>
Current use: <u>SINGLE FAMILY HOME</u>		
If the location is currently vacant, what was prior use: <u>NO - SAME</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>SFR w/ addition</u>		
Project description: <u>add single story addition ±/- 18'x11'6" ±/-</u> <u>also add deck: ±/- 8'x8' ±/-</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>RUSSELL FRENCH</u>		
Mailing address: <u>147 WOLCOTT ST.</u> <u>PORTLAND</u> <u>21 Call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>773-4987</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized me to prepare work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4.29.03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Attn. Ms. Marge Smukel

**Proposed Addition to 147 Wolcott Street
Portland, Maine
Russell French and Mary Anne Lloyd, Owners
773-4987**

Plan#192 - Block K - Lot44
R-3 Zone

Single Family Detached Dwellings - Built Pre 1957

Minimum Roof Pitch - NA

Full Foundation on Frost Wall, Siding to within 12" of Grade - Match existing?

YES.

Two Trees Minimum Usable from Street

**Minimum Lot Size 20,500 Square Feet
Existing 8,354 Square Feet**

Set Backs

Side 8',0" - Garage presently in violation at 4' off property line

Front 25 - Existing 25

**Rear 25 - Existing 85 to House
Existing 70 to Garage**

Max Lot Coverage 25% - Existing @ 13% (proposed would bring to 10%)

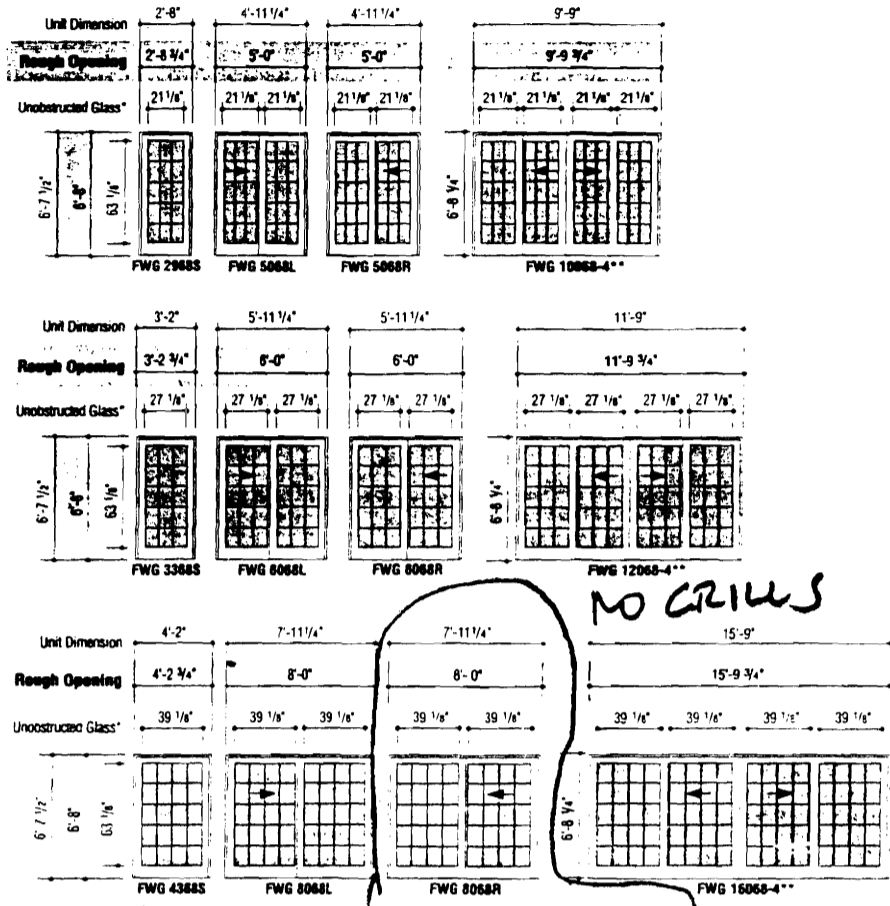
Minimum Lot width 75', except lots under provision of 13-433 can be 65' - Pre 1957



Frenchwood® Gliding Patio Door

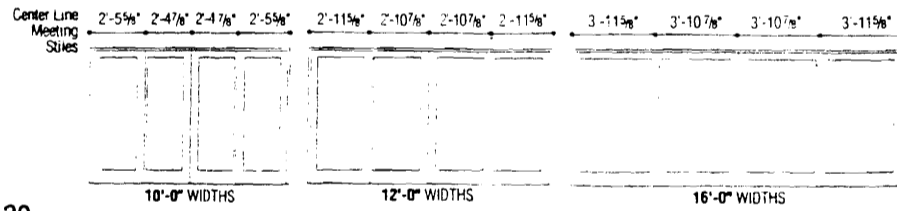
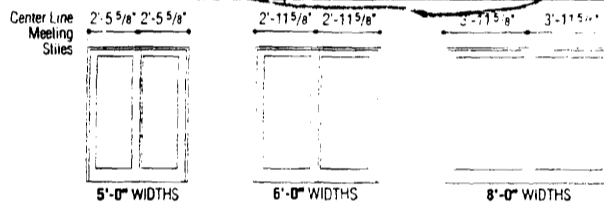


6'-8" Height



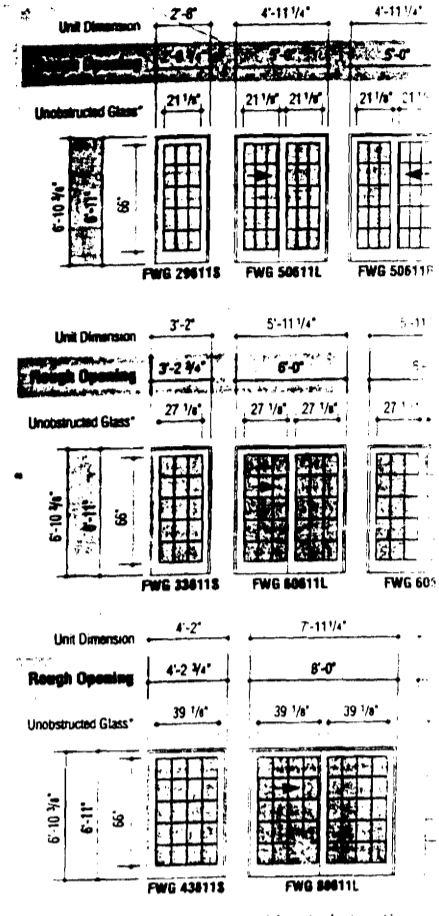
** 4 panel doors open without obstruction.

NO GRILLS
FW 8068R

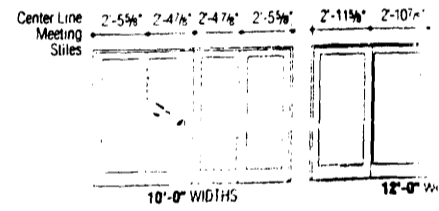
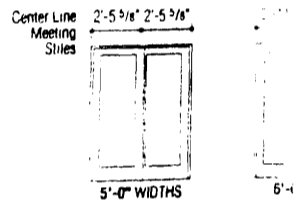


Frenchwood®

6'-8"



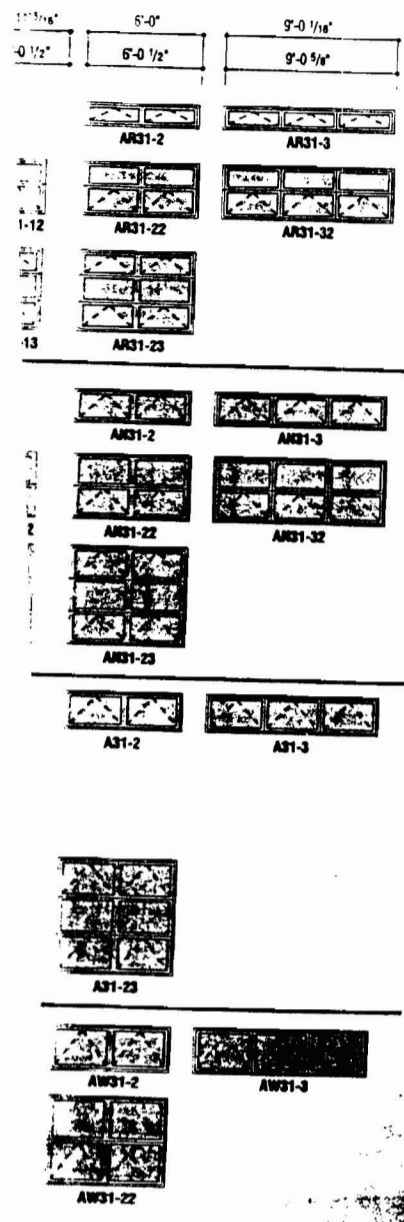
** 4 panel doors open without obstruction.



Awning Windows



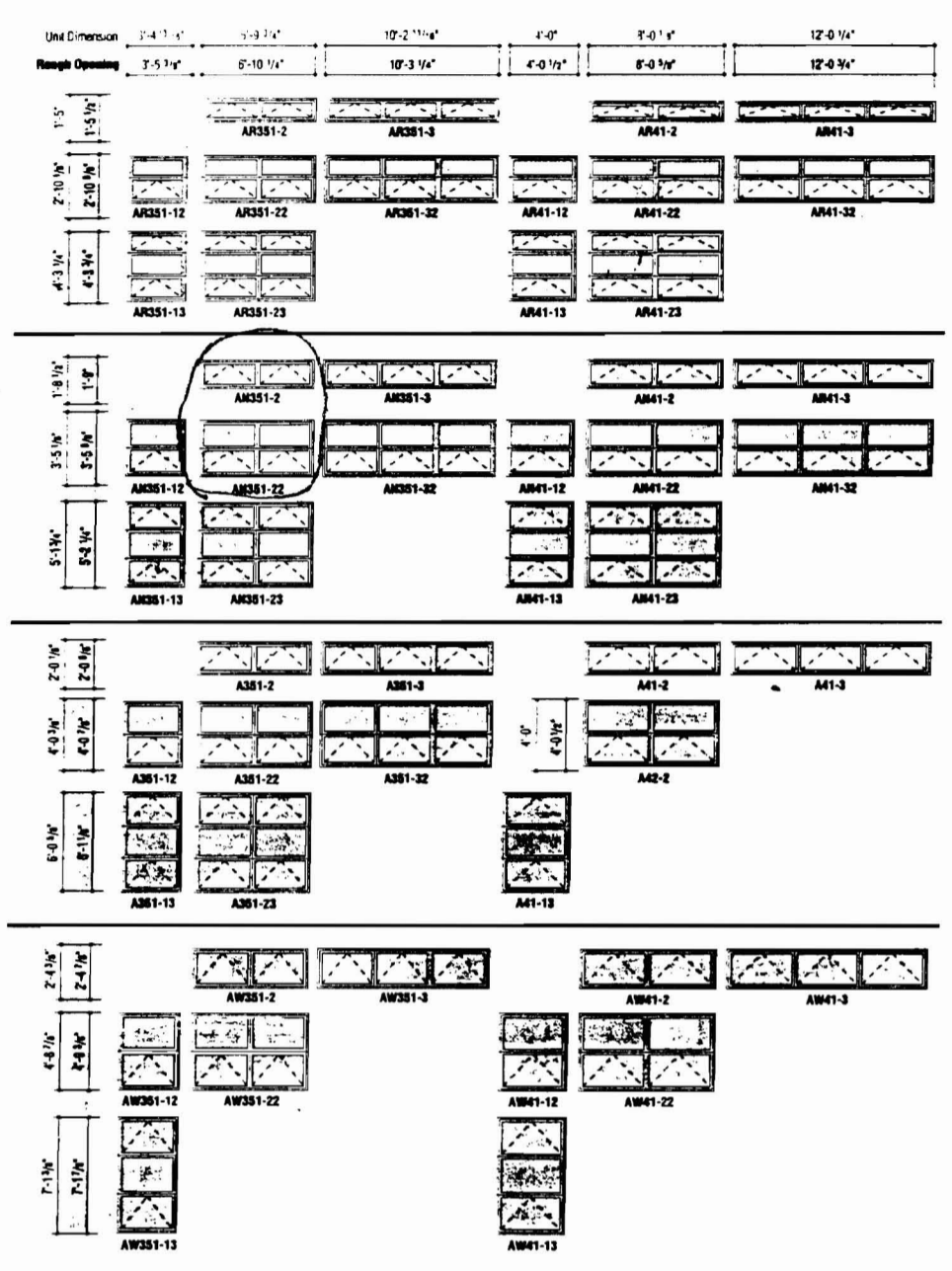
- 2' and 3' Widths



Perma-Shield® Awning Windows



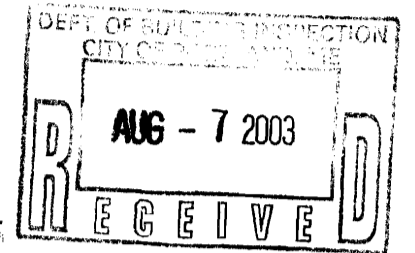
Awning Combined Units - 3'-6" and 4' Widths



Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)

TRANSMITTAL

DATE: August 7, 2003
FROM: David Lloyd
TO: Tammy Munson
Code Enforcement Officer
City Hall
389 Congress Street
Portland, ME 04101



RE: Russell French Residence, 147 Wolcott Street

Attached are the necessary plans to complete the building application.

As Requested

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

 Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

~~AA~~ **Footing/Building Location Inspection:** Prior to pouring concrete

AA **Re-Bar Schedule Inspection:** Prior to pouring concrete

CO **Foundation Inspection:** Prior to placing ANY backfill

CO **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

CO **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

<u>[Signature]</u>	8/18/03
Signature of applicant/designee	Date
<u>[Signature]</u>	8/18/03
Signature of Inspections Official Admin	Date
CBL: <u>192 K044</u>	Building Permit #: <u>03 0636</u>

875



N/F
GEORGE E. DIONNE
BK. 13767 PG. 267

N/F
ROBERT S. MCCREADY

1" PIPE
FOUND
6" AG

60.13'
1" PIPE
FOUND
6" AG

N62°19'07"E

BUILDING SETBACK LINE
SEE NOTE 5

S23°55'13"E
141.20'

N/F
PAULINE J. DYRO

1" PIPE
FOUND
FLUSH

4
SEE PLAN REF. 7a

N/F
LINDA S. SMALL
BK. 12459 PG. 188

TWIN MAPLE

PINE

8.88'
TO HOUSE
FROM
SETBACK.

DECK

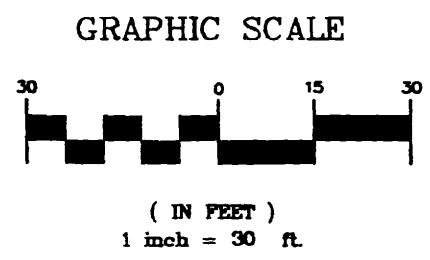
1-1/2 STORY
CAPE
WOLCOTT

STAIRS

DRIVEWAY

APPARENT STREET LINE
480.27' MEAS. 480' PLAN

1" PIPE
FOUND
FLUSH



LEGEND

- Iron Pipe or Solid Pin Found
- ▲ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u Overhead Utility
- ⊙ Utility Pole
- - - Edge of traveled way

3/4" SOLID
PIN FOUND
FLUSH

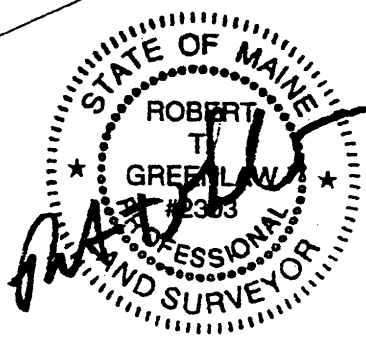
60.00'
U-POLE
J-14

S66°04'47"W
WOLCOTT STREET

TO CAPISIC STREET

GENERAL NOTES:

1. OWNER OF RECORD: RUSSELL D. FRENCH AND MARY ANNE LLOYD AS RECORDED IN BOOK 10603 PAGE 047 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 ELECTRONIC DISTANCE METER.
LIETZ SDR 24 DATA COLLECTOR.
3. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN IN THE FIELD AT THE TIME OF THIS SURVEY.
4. AREA OF THE PARCEL: 8,354 SQUARE FT. OR 0.19 ACRES.
5. ZONING: R-3 DISTRICT, 25' FRONT AND REAR YARD SETBACKS, 8' SIDE YARD SETBACK.
6. PARCEL MAY BE FOUND ON THE CITY OF PORTLAND ASSESSORS PLAN NO. 192, BLOCK K, LOT 44.
7. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a) WOLCOTT STREET EXTENSION BY FRANCIS A. GRIFFIN ENG. DATED APRIL 1946 AND RECORDED IN SAID REGISTRY IN PLAN BOOK 32 PAGE 15.
b) SUBDIVISION FOR CLIFFORD L. SWAN CO. INC. BY FRANCIS A. GRIFFIN DATED MAY 1959 AND RECORDED IN SAID REGISTRY IN PLAN BOOK 37 PAGE 6.



ROBERT T. GREENLAW, P.L.S.
PRESIDENT, BACK BAY BOUNDARY, INC.
REGISTRATION #2303

DATE: 03-23-2001

EXISTING CONDITIONS/SITE PLAN
OF 147 WOLCOTT STREET PORTLAND, MAINE

RUSSELL FRENCH

FOR:

DRAWN BY: SBB
CHECKED BY: RTG
SCALE: 1" = 30'
DATE: 03-22-2001
JOB NUMBER: 200113-P
SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65A NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-774-4669

DRAWER: NO:

N/F
GEORGE E. DIONNE
BK. 13767 PG. 267

N/F
ROBERT S. MCCREADY

1" PIPE
FOUND
6" AG

60.13'
1" PIPE
FOUND
6" AG

(6)

N/F
PAULINE J. DYRO

1" PIPE
FOUND
FLUSH

(4)
SEE PLAN REF. 7a

N/F
LINDA S. SMALL
BK. 12459 PG. 188

3/4" SOLID
PIN FOUND
FLUSH

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EXISTING CONDITIONS/SITE PLAN
OF 147 WOLCOTT STREET PORTLAND, MAINE

FOR:
RUSSELL D. FRENCH

DRAWN BY: SBB
CHECKED BY: RTG
SCALE: 1" = 30'
DATE: 03-22-2001
JOB NUMBER: 200113-P

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65A NEWBURY STREET
PORTLAND, MAINE

DRAWER: NO:



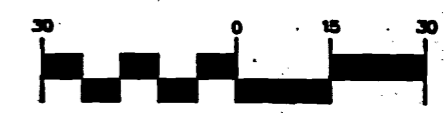
*2.3
Sides 4'
Rear-25'
Lot cov. 25%
OK*

1" PIPE
FOUND
FLUSH

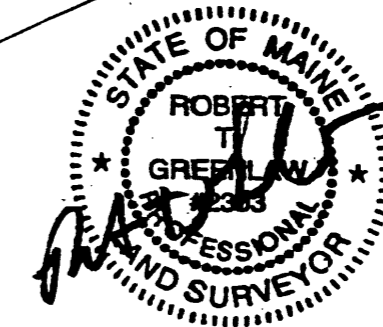
LEGEND.

- Iron Pipe or Solid Pin Found
- △ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u Overhead Utility
- Utility Pole
- - - Edge of traveled way

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



ROBERT T. GREENLAW, P.L.S.
PRESIDENT, BACK BAY BOUNDARY, INC.
REGISTRATION #2303

DATE: 03-23-2001

N62°19'07"E

N23°55'13"W

S23°55'13"E

(60.00')
S66°04'47"W

APPARENT STREET LINE
480.27 MEAS. 480' PLAN

WOLCOTT STREET

TO CAPISIC STREET

60.00'

U-POLE
J-14

STAIRS

DRIVEWAY

PINE

1 1/2 STORY
CAPISIC

TWIN MANA

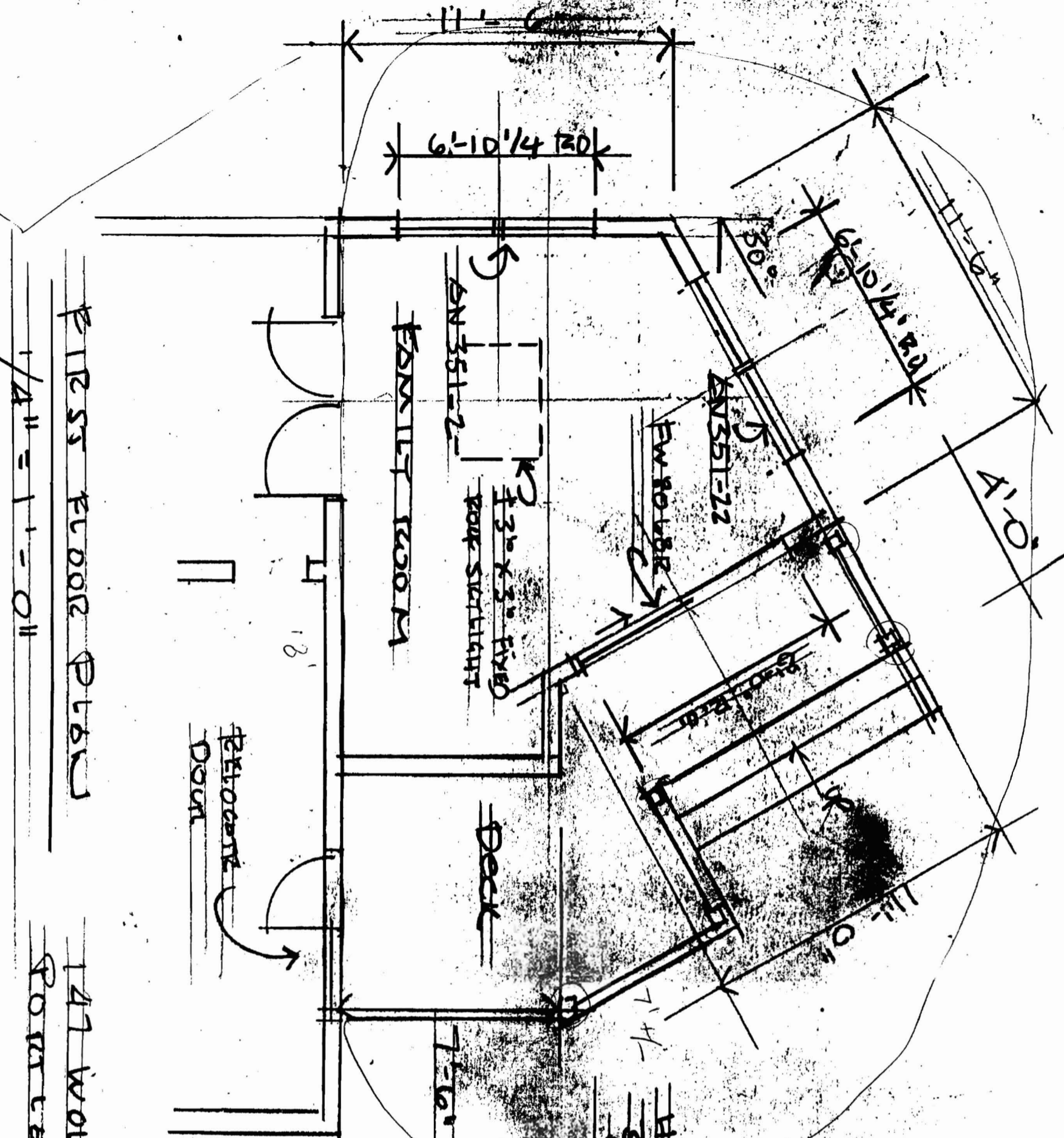
ADDITION

BUILDING SETBACK LINE
SEE NOTE 5

141.20'

60.13'

1" PIPE
FOUND
6" AG



PIRSE FLOOR PLAN

1/4" = 1' - 0"

147 WOLCOT ST

PORTLAND ME.

Header @ string door & windows
2x8 w/ two 1/2" plywood
flivers

3x3x3 FIBER
ROOF STRUCTURE

FRUIT ROOM

Deck

RETICENT
Door

AN 351-22

AN 351-2

FW RO LBR

6x6 LBR

1 1/2" O.D.

7'-6"

6'-10 1/4" (30)

6'-10 1/4" (30)

4'-0"

11'-0"

11'-0"

50°

7'-4"

18'

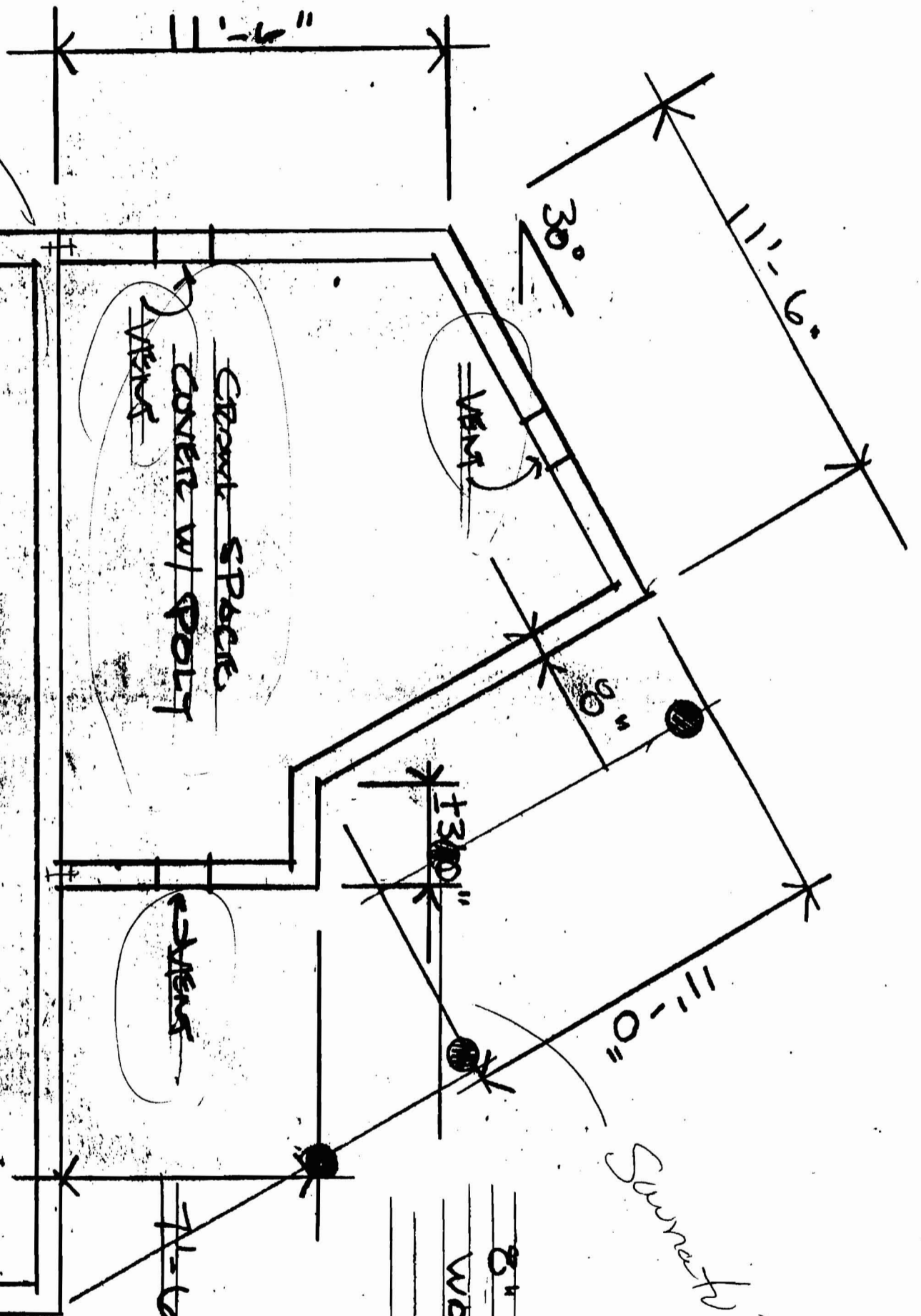
11111

PIN NEW IN
FOUNDATION
TO EXISTING
WALK

FOUNDATION SPAN

1/4" = 1'-0"

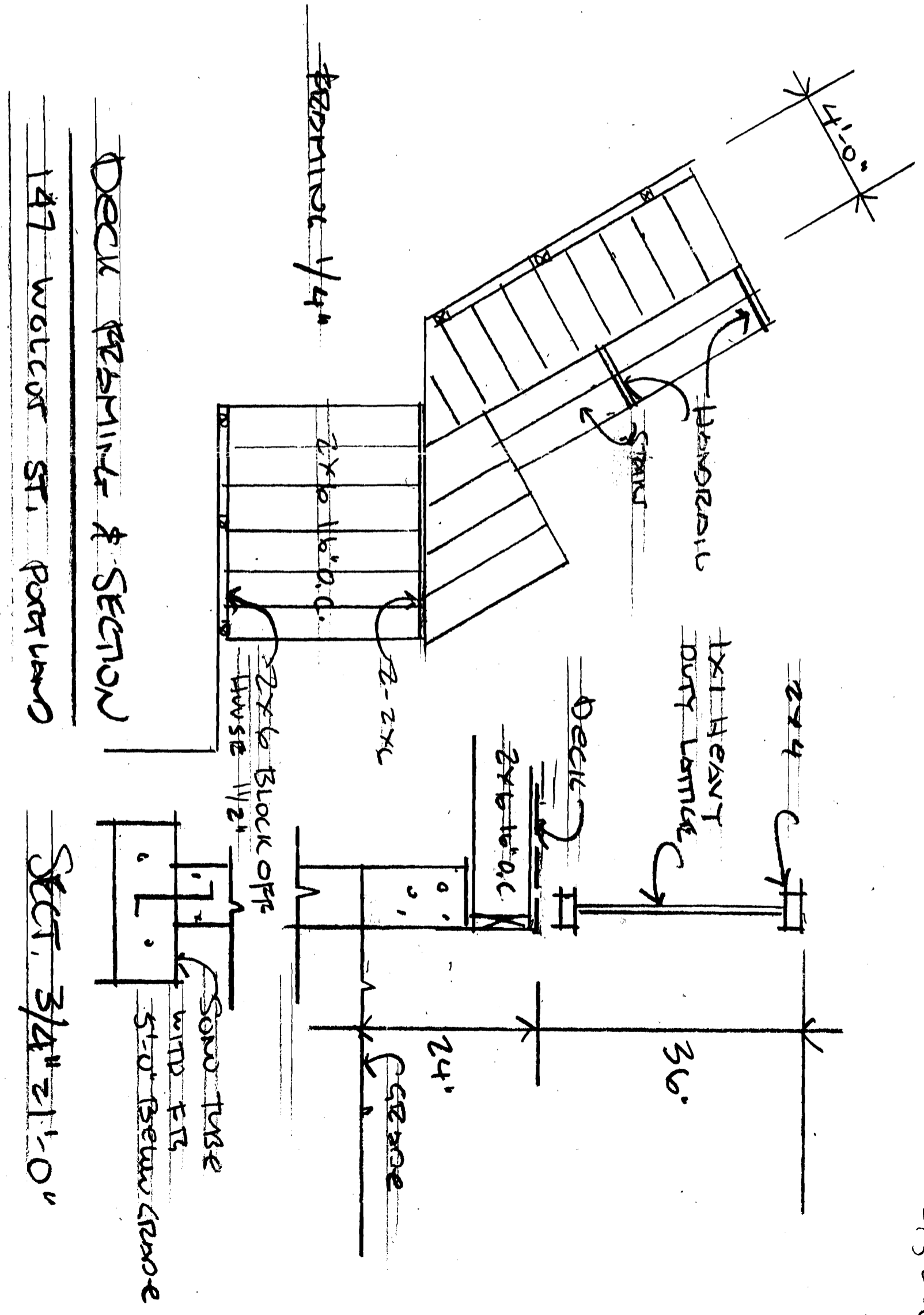
AT WORK ST
PORTLAND CE.



GROUT SPACE
COVER W/ POLY
WIRE

8" FOUNDATION C1
W/ W/ # 4 TOP & 15MM

Sawney Pipes



2" RIGID ST END

2x10

12" H

6'-8" H EMBR BT BT WINDOW & DOOR

5/8" C/P ON POLY 2x6 24" O.C.

1/2" SKEWED

FROM ROOFING RUN V 36" ON SLOPED ROOFING 18" ON VERTICAL

4" RIGID TAPER TO 3"

FINISH CEIL TO LINE UP WITH EXISTING CEIL

1/2" C/P 130' ON INS W/ STRAPPING 16" O.C.

NEW X RAISE

7'-6" EXIST CEIL

HARDWOOD FLOORING

3/4" T&S DECK

CREAK

RAISE

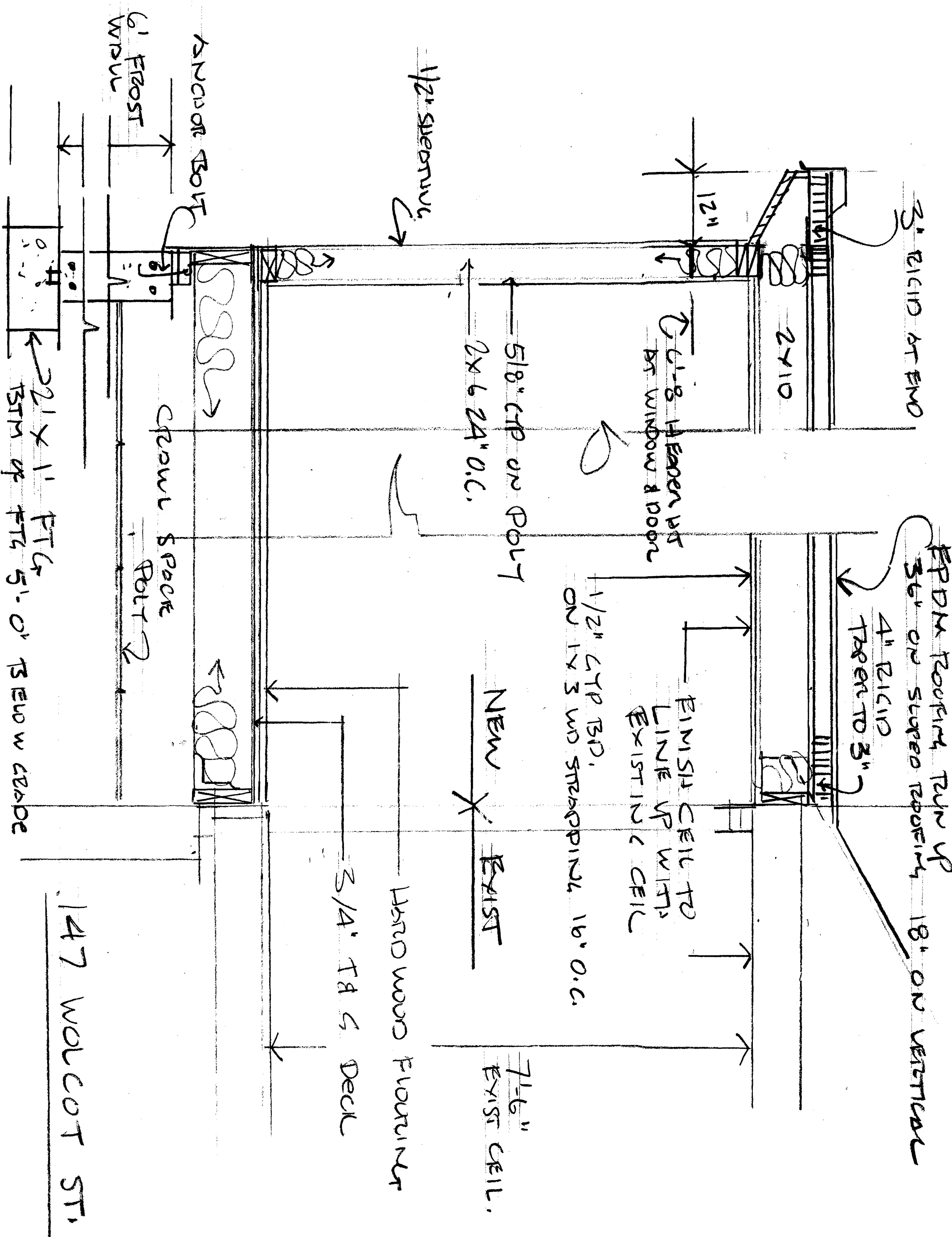
47 WOLCOT ST.

22 1/2" x 1" PTG STRIP OF PTG 5'-0" T3 END W CRACK

ASPH/FLT

FROST

1" CORNERS



3" RIGID AT END

FPM ROOFING RUN UP
36" ON SLOPED ROOFING, 18" ON VERTICAL

2x10

12"

6'-8" HEADER BT
BT WINDOW & DOOR

5/8" C/C ON POST
2x6 24" O.C.

1/2" STEAMLINE

4" RIGID
TAPER TO 3"

FINISH CEIL TO
LINE UP WITH
EXISTING CEIL

1/2" C/C TR BD,
ON 1x3 WD STRAPPING, 16" O.C.

NEW
EXIST

7 1/2"
EXIST CEIL.

HARDWOOD FLOORING

3/4" TR 5 DECK

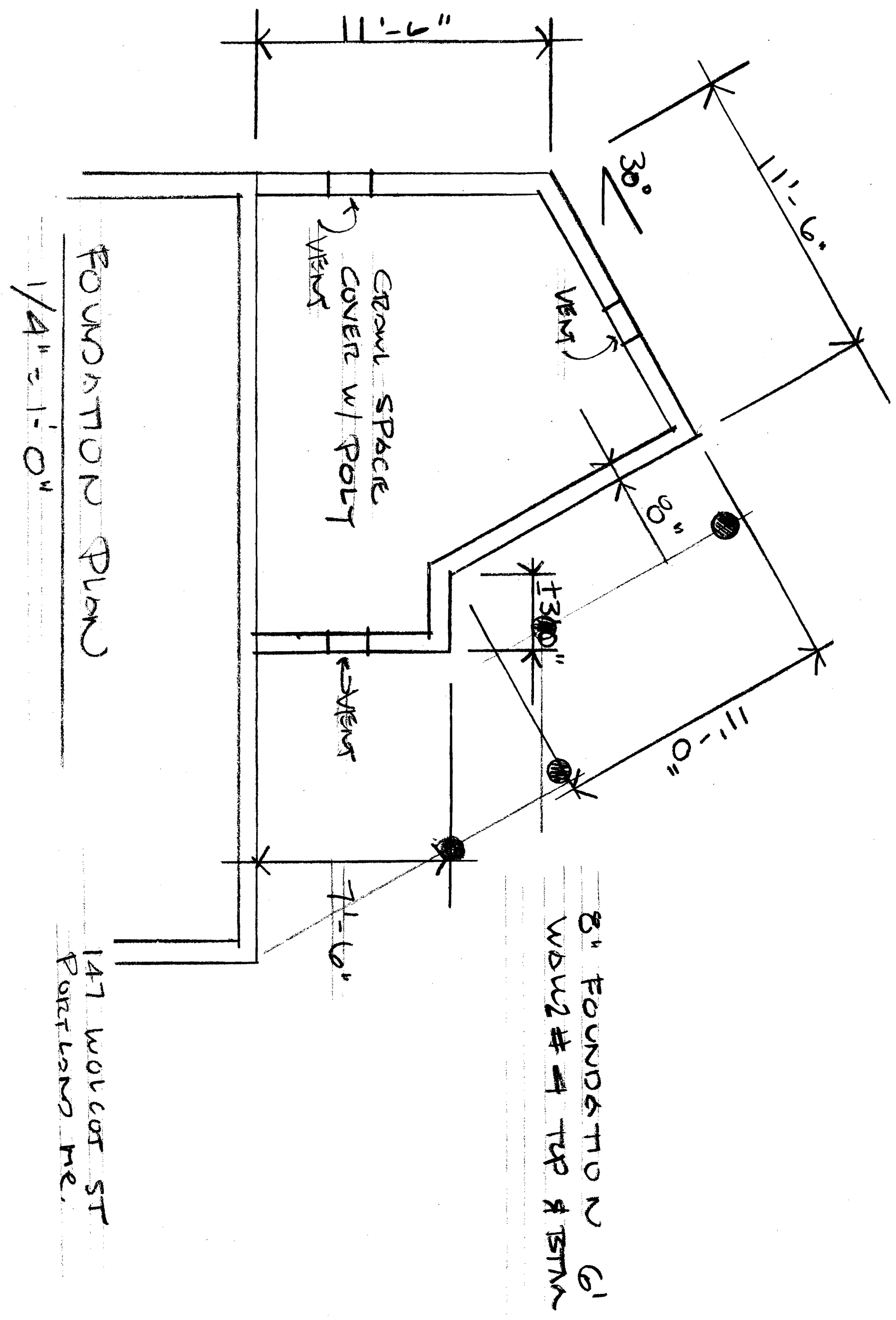
CRAWL SPACE
POST

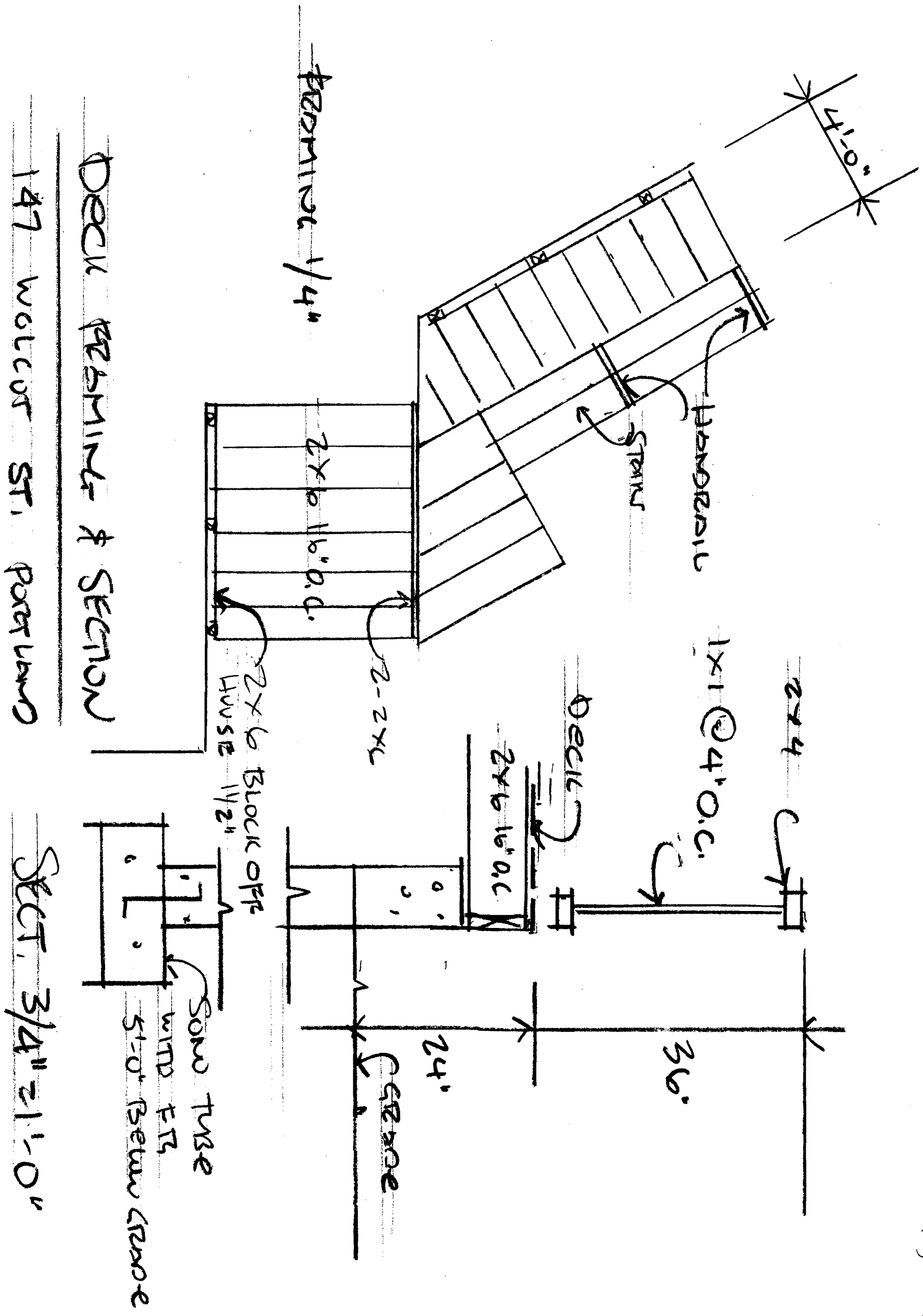
6' FROST
WALL

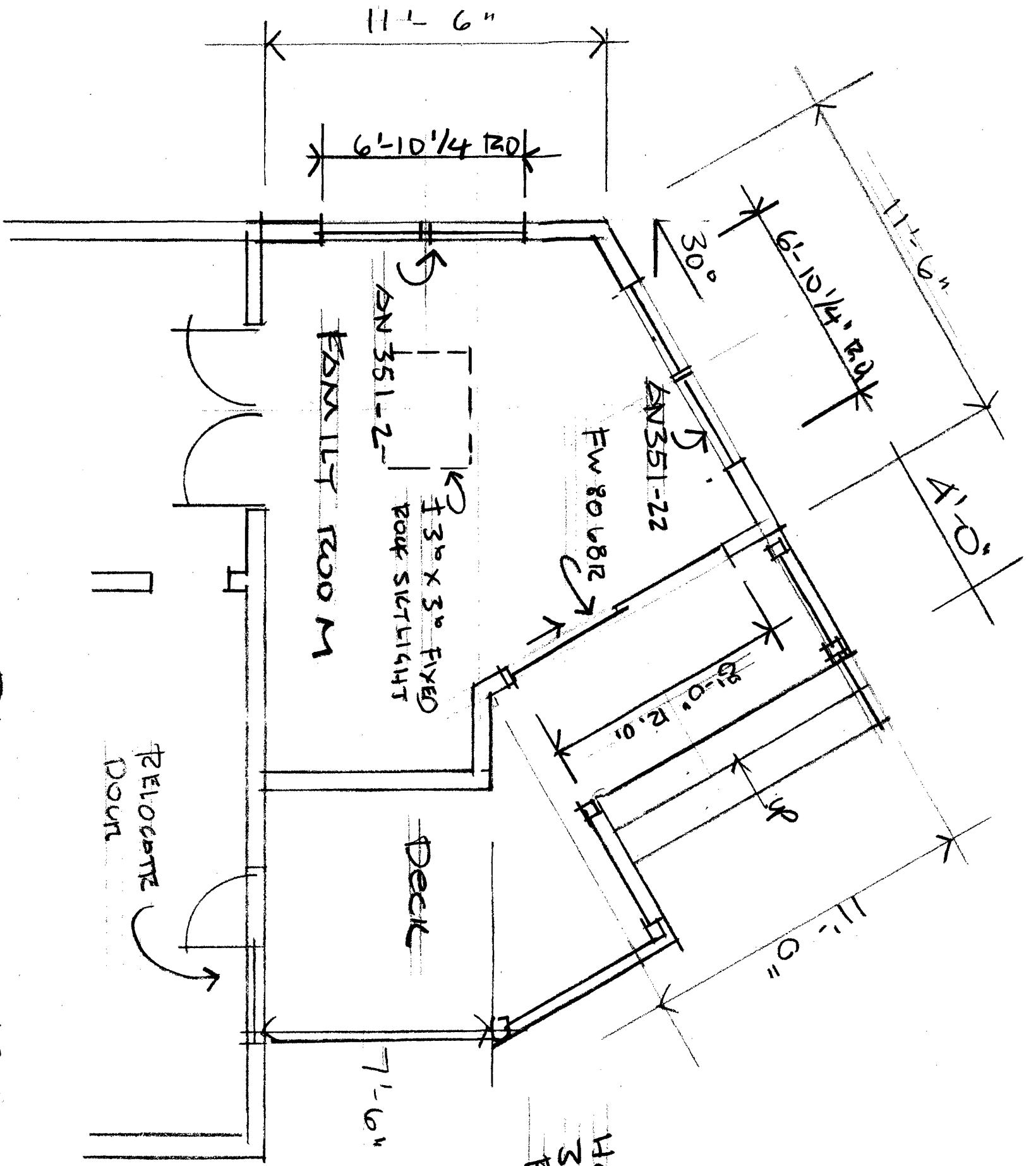
ANCHOOR BOLT

22 1/2 x 11 FT G
FTG OF FTG 5'-0" TR END W GRADE

147 WOLCOTT ST.





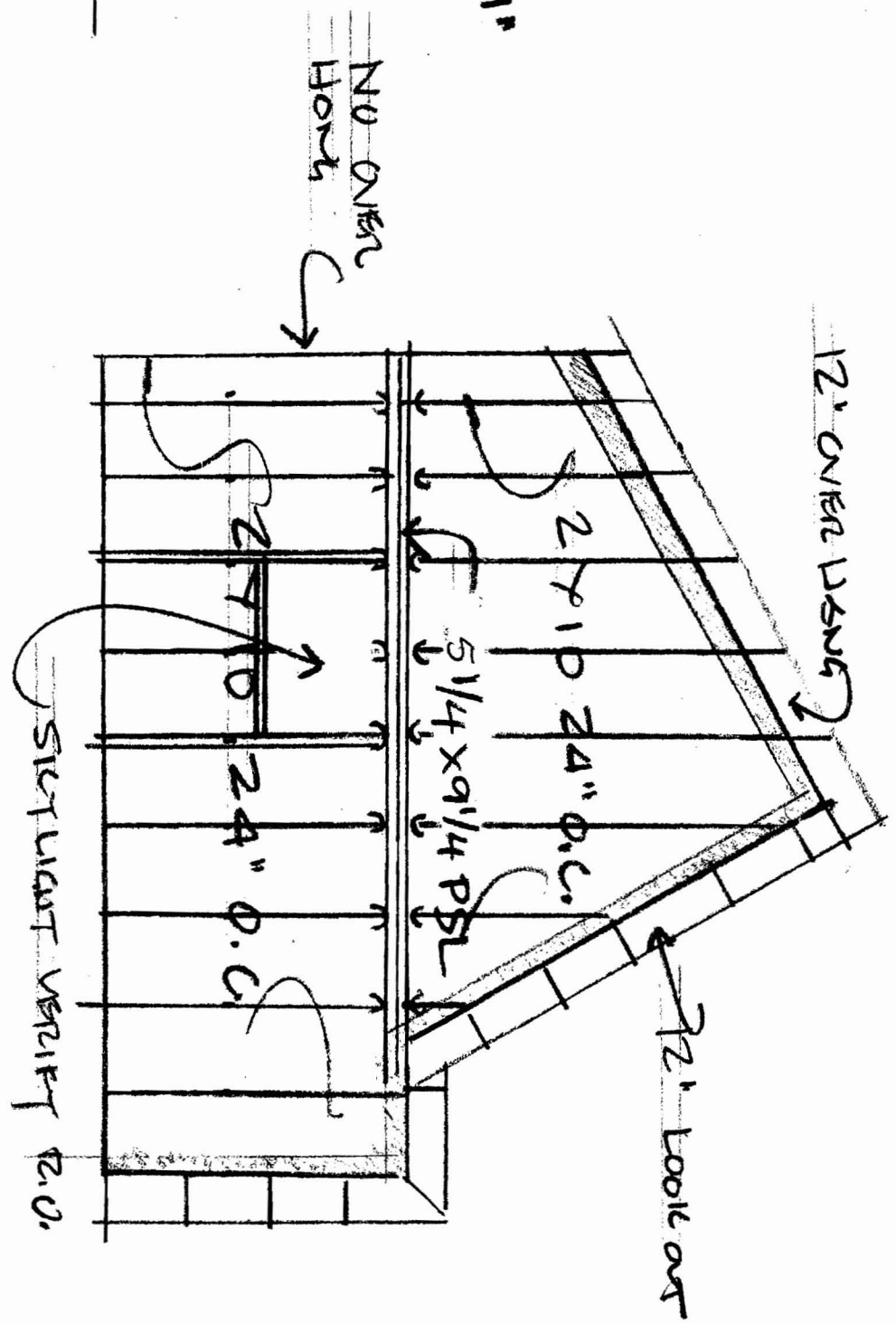
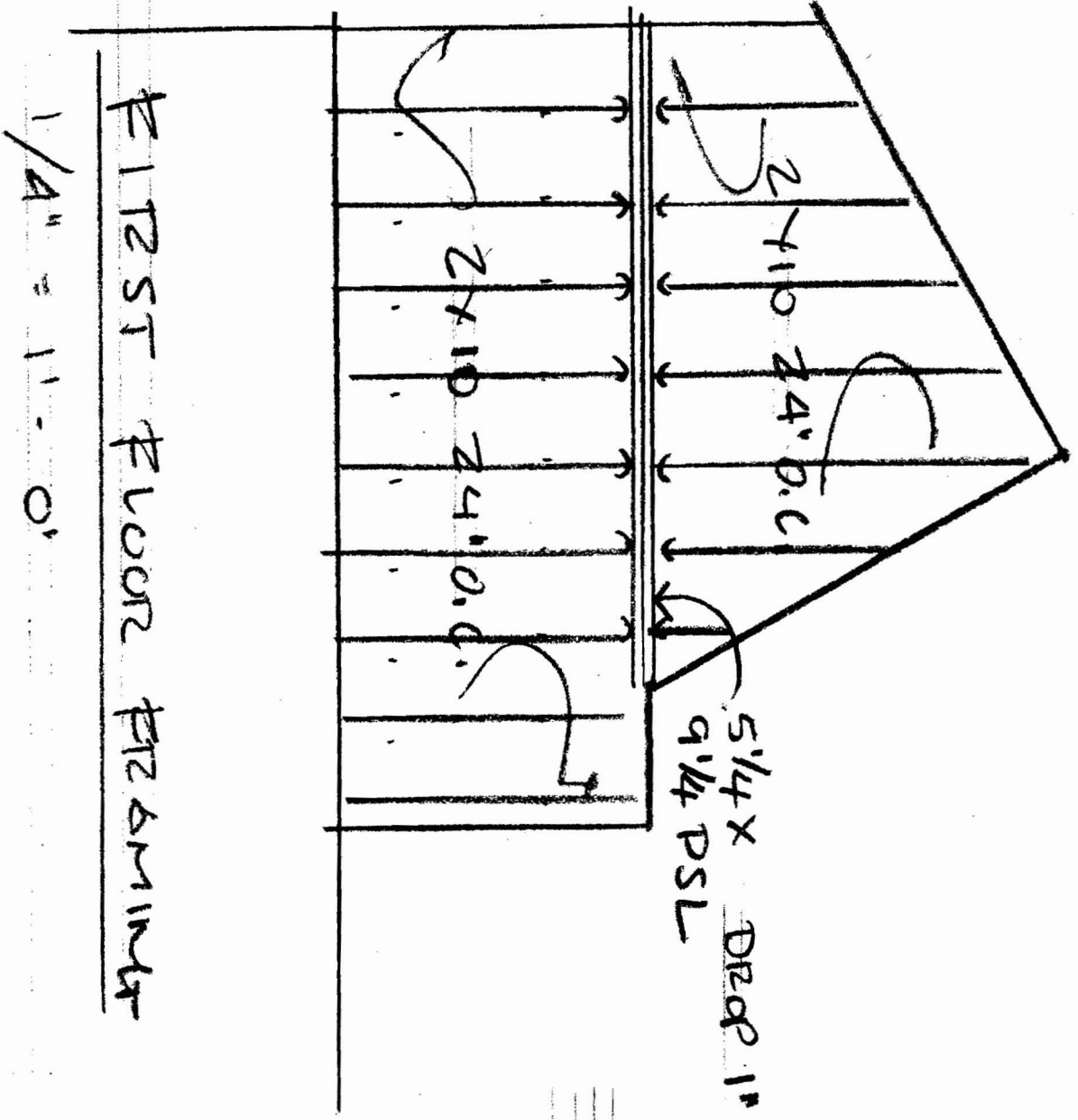


FIRST FLOOR PLAN
 1/4" = 1'-0"

147 WOLCOT ST
 PORTLAND ME.

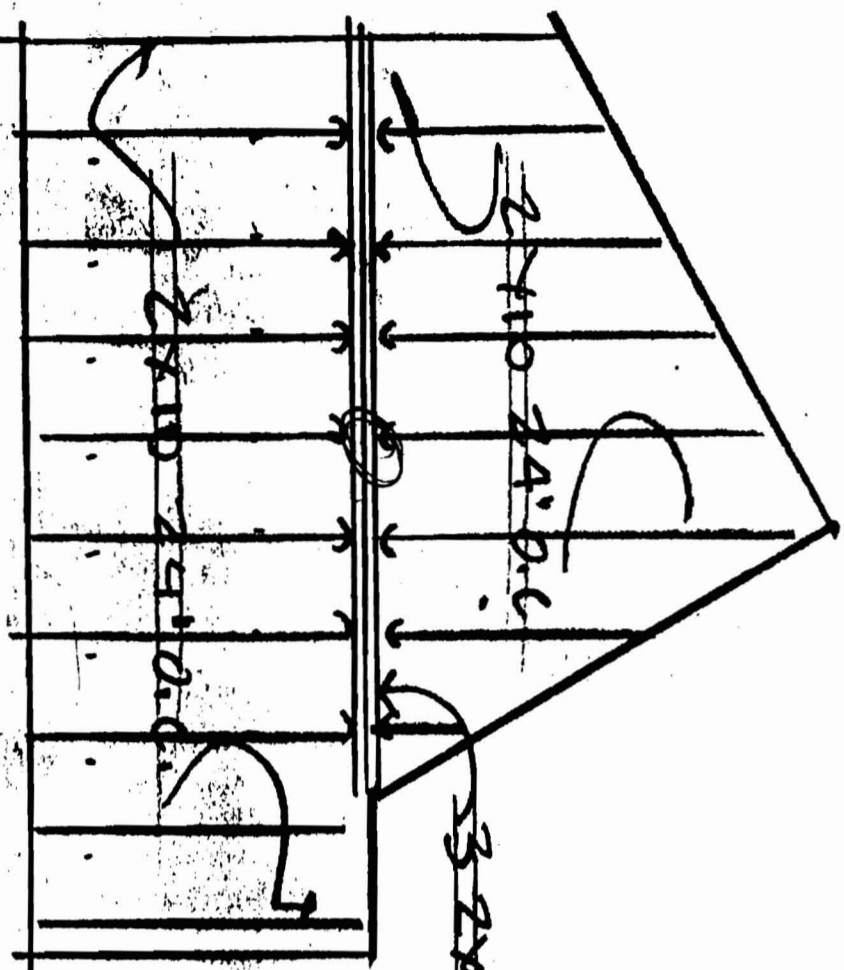
Happen @ sliding door & windows
 3 2x8 w/ two 1/2" putwood
 filters

111111



147 WOLCOT STREET

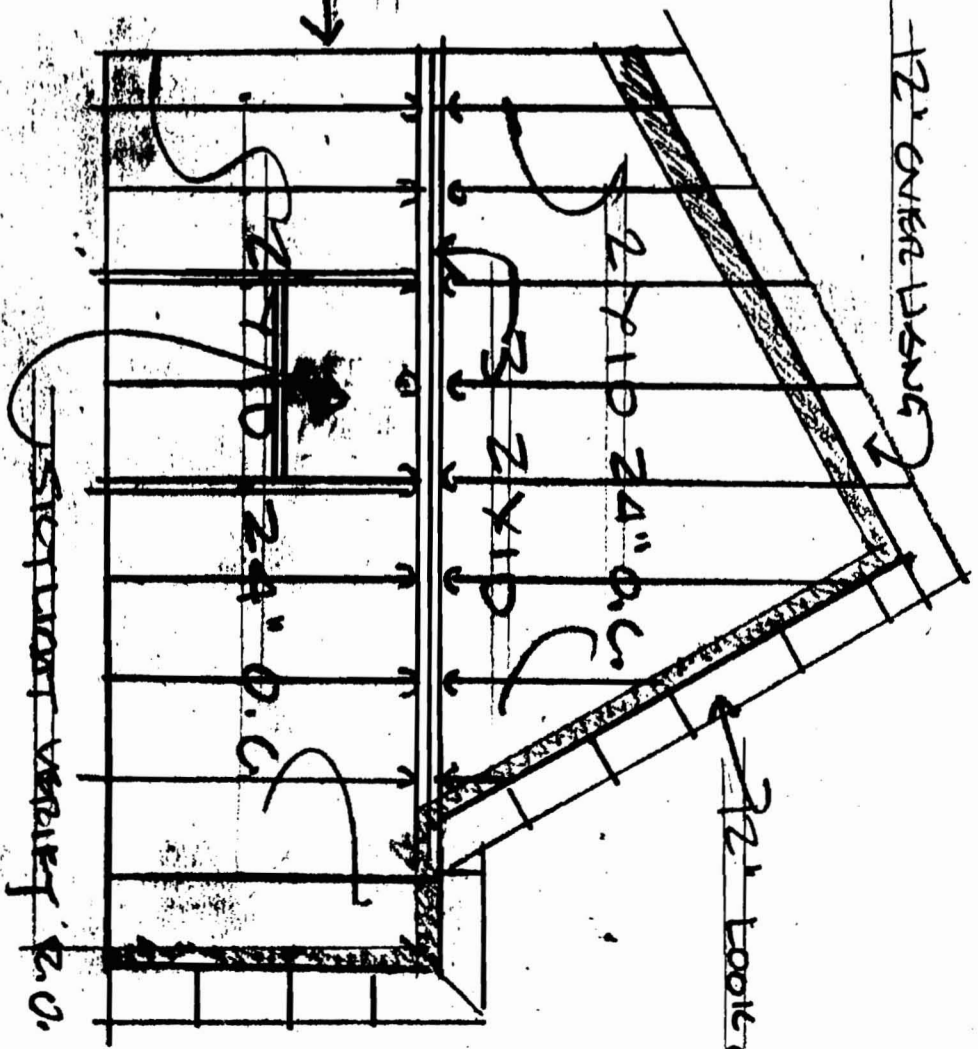




FIRST FLOOR FRAMING

1/4" = 11'-0"

NO OVER
HANG



ROOF FRAMING

1/4" = 11'-0"

47 WOLCOT STREET