

191 CAPISIC STREET
PROJECT SUMMARY

CBL 192 H 52, Zone: R3

OVERVIEW

The project involves the addition of 472 sq. ft. onto an existing one story single family home.

The existing building footprint is 996 SF

The proposed building footprint with the addition is 1468 SF

CODE SUMMARY

IRC 2015, NFPA 101

Smoke and CO2 detectors shall be installed.

Smoke alarms shall be installed in all sleeping rooms, outside of each sleeping area and on each level of the dwelling unit including the lower level.

An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING, FOUNDATION AND THE CENTERLINE OF INTERIOR WALLS UNLESS NOTED OTHERWISE.
2. DO NOT SCALE DRAWINGS - WORK FROM DIMENSIONS ONLY.
3. THIS PROJECT INVOLVES AN EXISTING STRUCTURE. DIMENSIONS SHOWN ON THE DRAWING ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. THE GENERAL CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION.
4. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE & LOCAL CODES.
5. GENERAL CONTRACTOR RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.
6. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE AND RECYCLE AS MUCH AS POSSIBLE.
7. EXTERIOR GRADE SHALL SLOPE AWAY FROM BUILDING.
8. NOTIFY OWNER/STRUCTURAL ENGINEER BEFORE PENETRATING OR MODIFYING JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL MEMBERS.
9. SEE STRUCTURAL NOTES.
10. INSTALL WINDOWS AND FLASHING FOLLOWING MANUFACTURERS INSTRUCTIONS WITH APPROVED TAPES FOR FLASHING TO PROVIDE WATERPROOF SEAL.
11. THE ROOF BOTTOM EDGE 3'-0" WIDE SHALL HAVE A WATERPROOF MEMBRANE LIKE "ICE & WATER SHIELD."
12. PROVIDE DOUBLE STUDS AT EACH SIDE OF WINDOW FRAMES.
13. WOOD BLOCKING IN CONTACT WITH CONCRETE OR STONE TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS. SEAL CUTS IN "PT" WOOD WITH FIELD APPLIED PRESERVATIVE. USE STAINLESS STEEL FASTENERS.
15. ELECTRICAL LIGHTS & OUTLETS TO BE INSTALLED BY CERTIFIED ELECTRICIAN. OWNER TO APPROVE BEFORE PURCHASING.
16. CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS, AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION THAT PREVENT CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS.
17. INSTALL NEW SIDING AND TRIM TO MATCH EXISTING-REVIEW WITH OWNER'S BEFORE STARTING.
18. NEW MECHANICAL SYSTEM SHALL BE DESIGN BUILD.

DRAWING LIST	
CO	COVER SHEET, SITE LOCATION, DRAWING LIST, GENERAL NOTES
S1	SITE PLAN
EX1	EXISTING FLOOR PLAN
EX2	EXISTING ELEVATIONS
EX3	EXISTING ELEVATIONS
A1	PROPOSED FLOOR PLAN
A2	ELEVATIONS
A3	ELEVATIONS
A4	SECTION
A5	SCHEDULES
A6	DECK DETAILS
A7	ROOF FRAMING PLAN

OWNER
JUDY NOVEY
191 CAPISIC STREET
PORTLAND, MAINE

CELL PHONE: 207-831-4452



COVER
NOVEY ADDITION

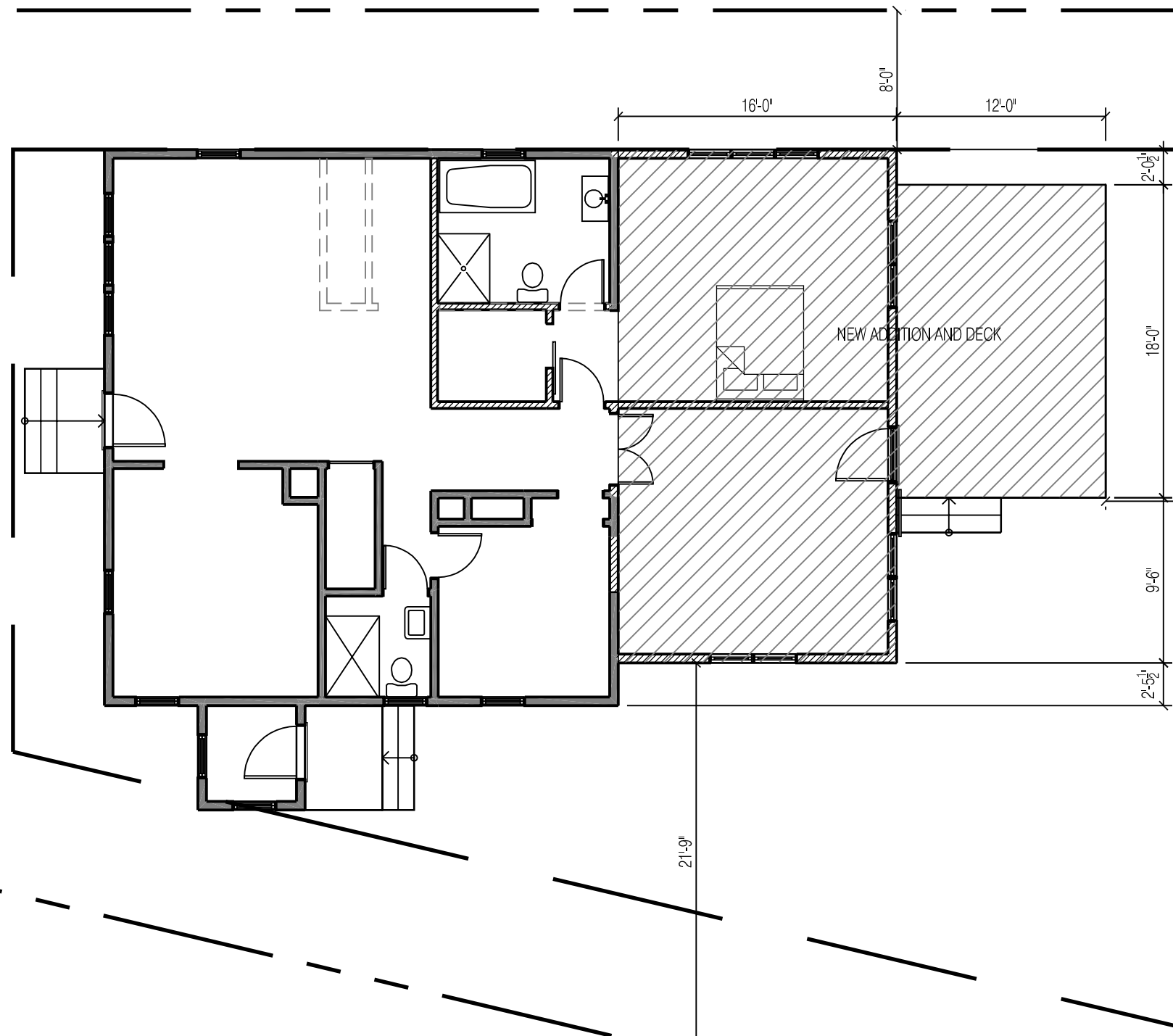
DATE:	12.19.2018
DRAWN BY:	BB
CO	



Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions
 CBL 192-H-52, 223-A
 LOT SIZE 7406
 PROPOSED LOT COVERAGE 1706

01/07/2019

CAPISIC STREET



NEW ADDITION AND DECK

COLONIAL ROAD



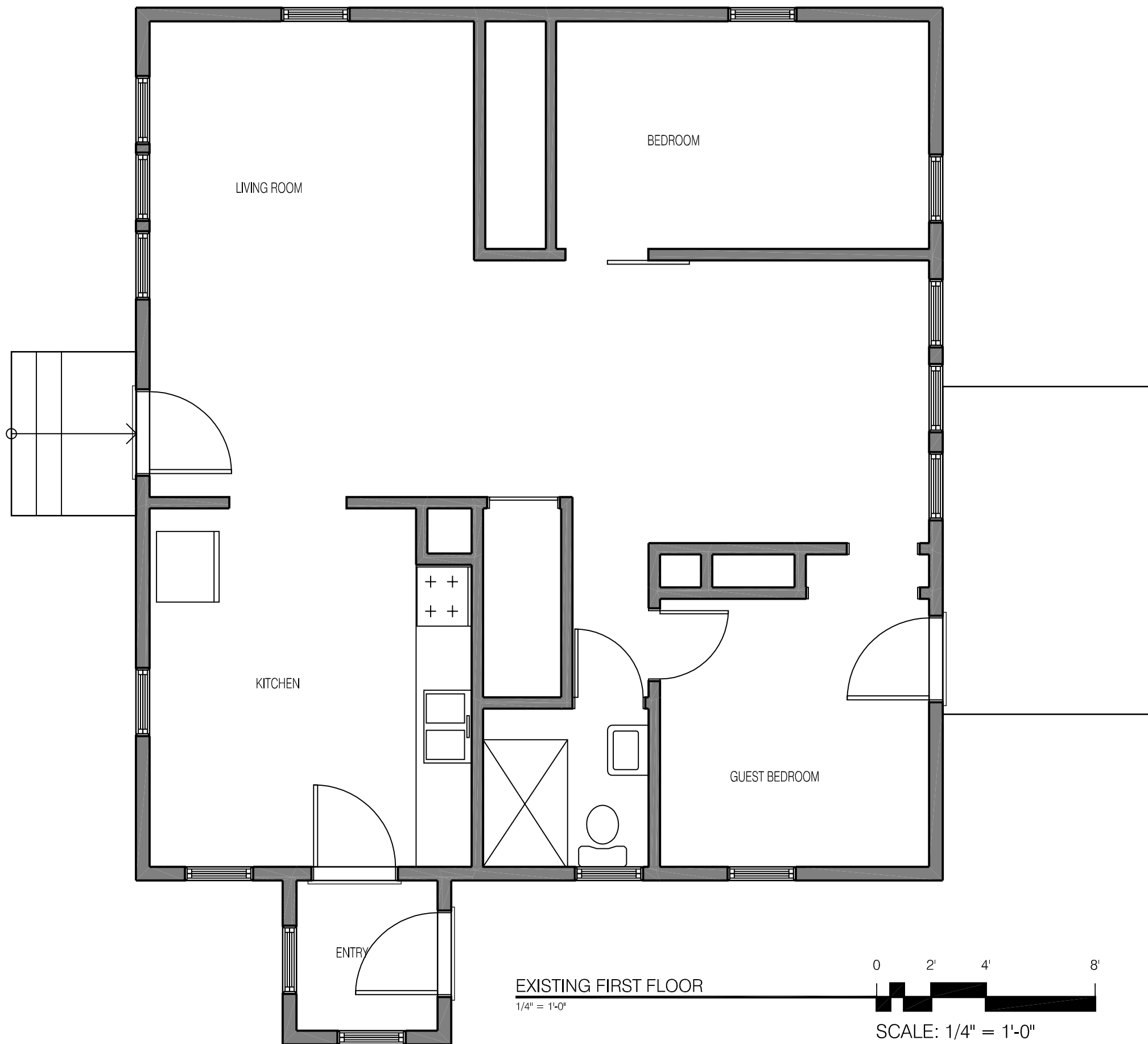
SITE PLAN
 NOVEY ADDITION

DATE:	9.17.2018
DRAWN BY:	BB
S1	

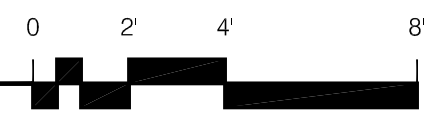


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EXISTING FIRST FLOOR
1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

EXISTING PLAN
NOVEY ADDITION

PROSPECT

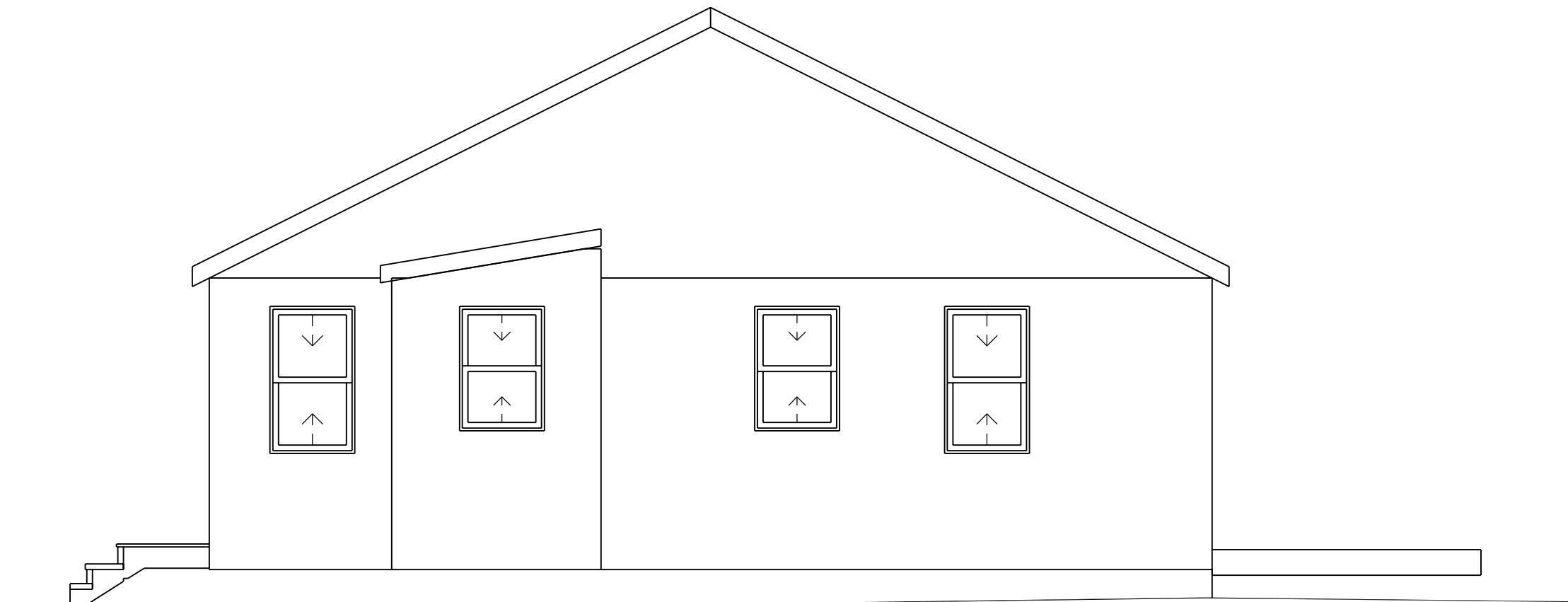
 DESIGN
 54 COVE ST. PORTLAND, ME
 www.prospectdesign.me
 T: 207 - 749 - 7400

DATE: 5.3.2018
DRAWN BY: BB
EX1

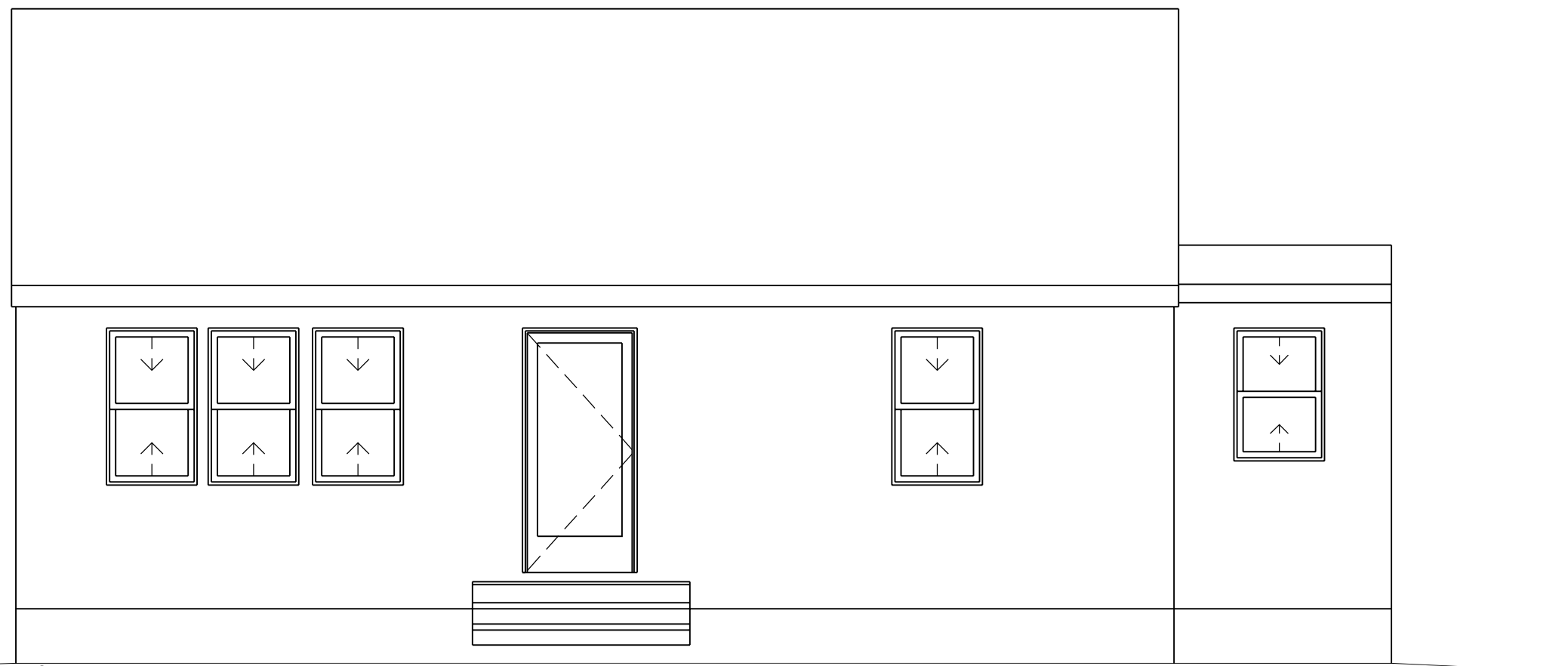


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1 East Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"



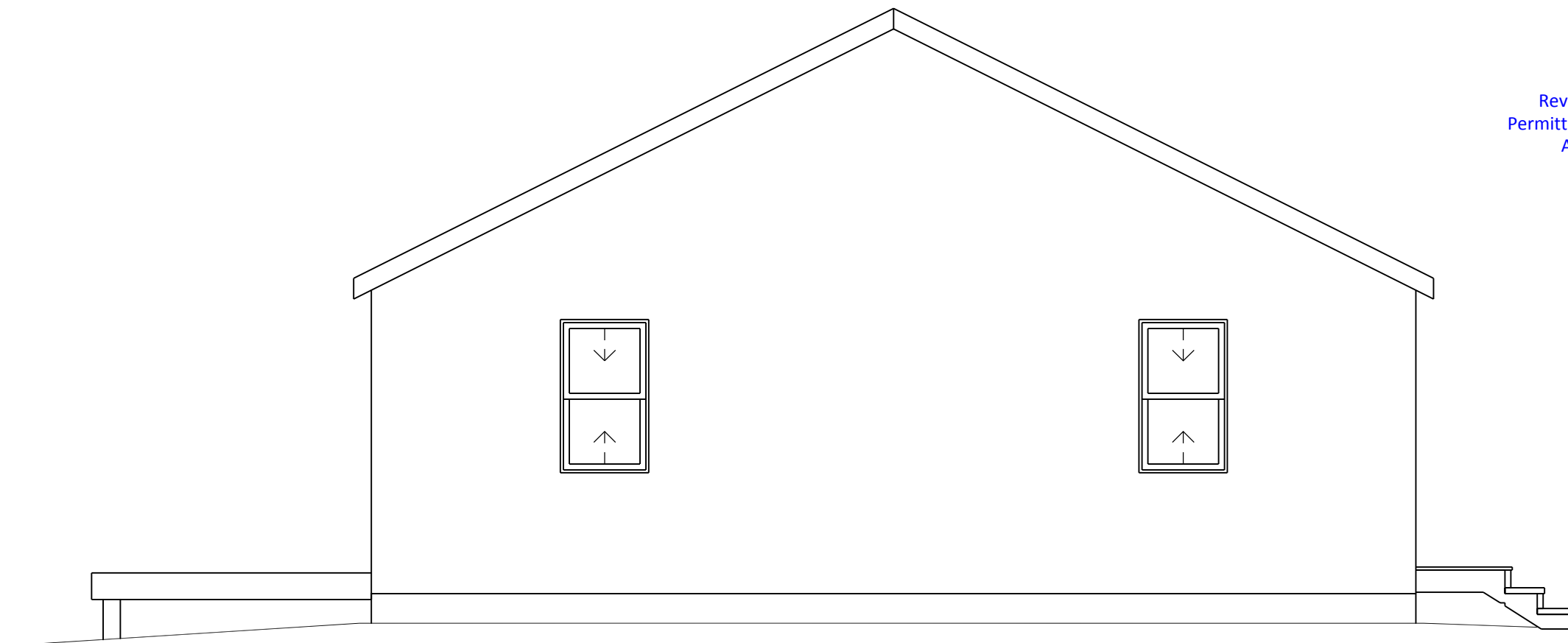
EXISTING ELEVATIONS
NOVEY ADDITION

DATE: 9.17.2018
DRAWN BY: BB
EX2



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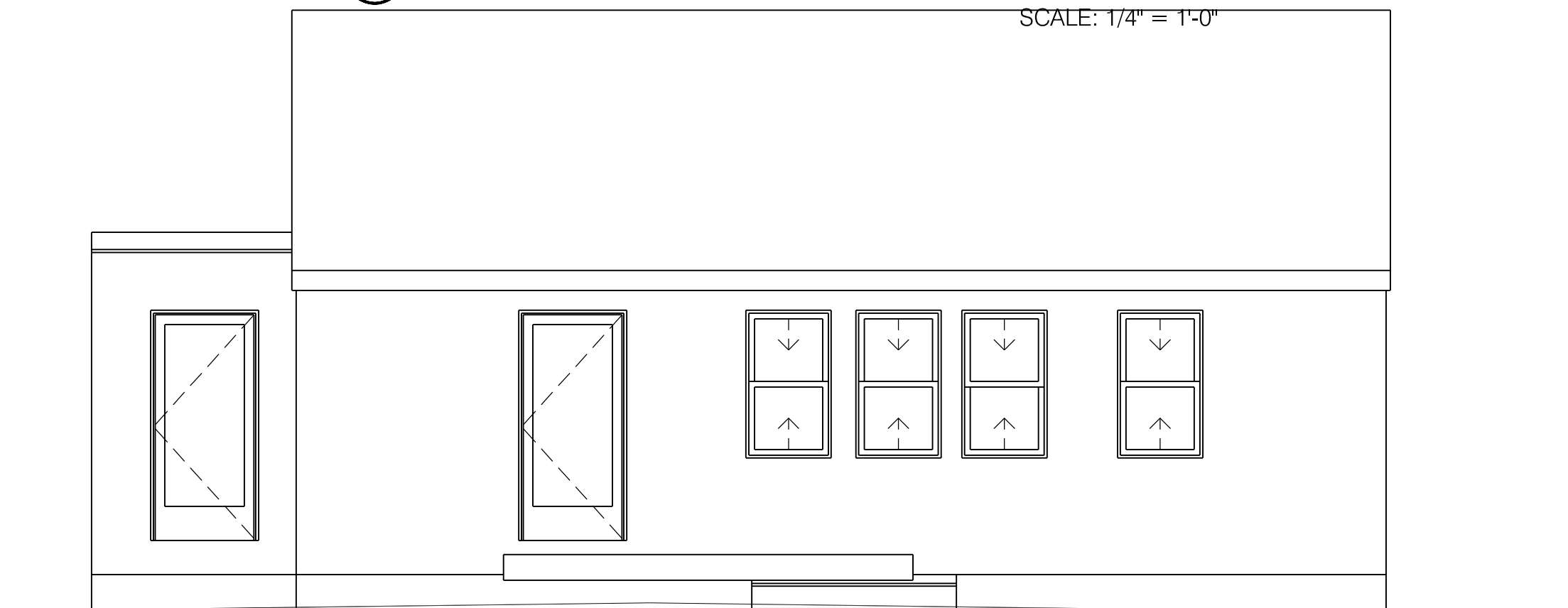
01/07/2019



3 West Elevation
1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



4 North Elevation
1/4" = 1'-0"

EXISTING ELEVATIONS
NOVEY ADDITION

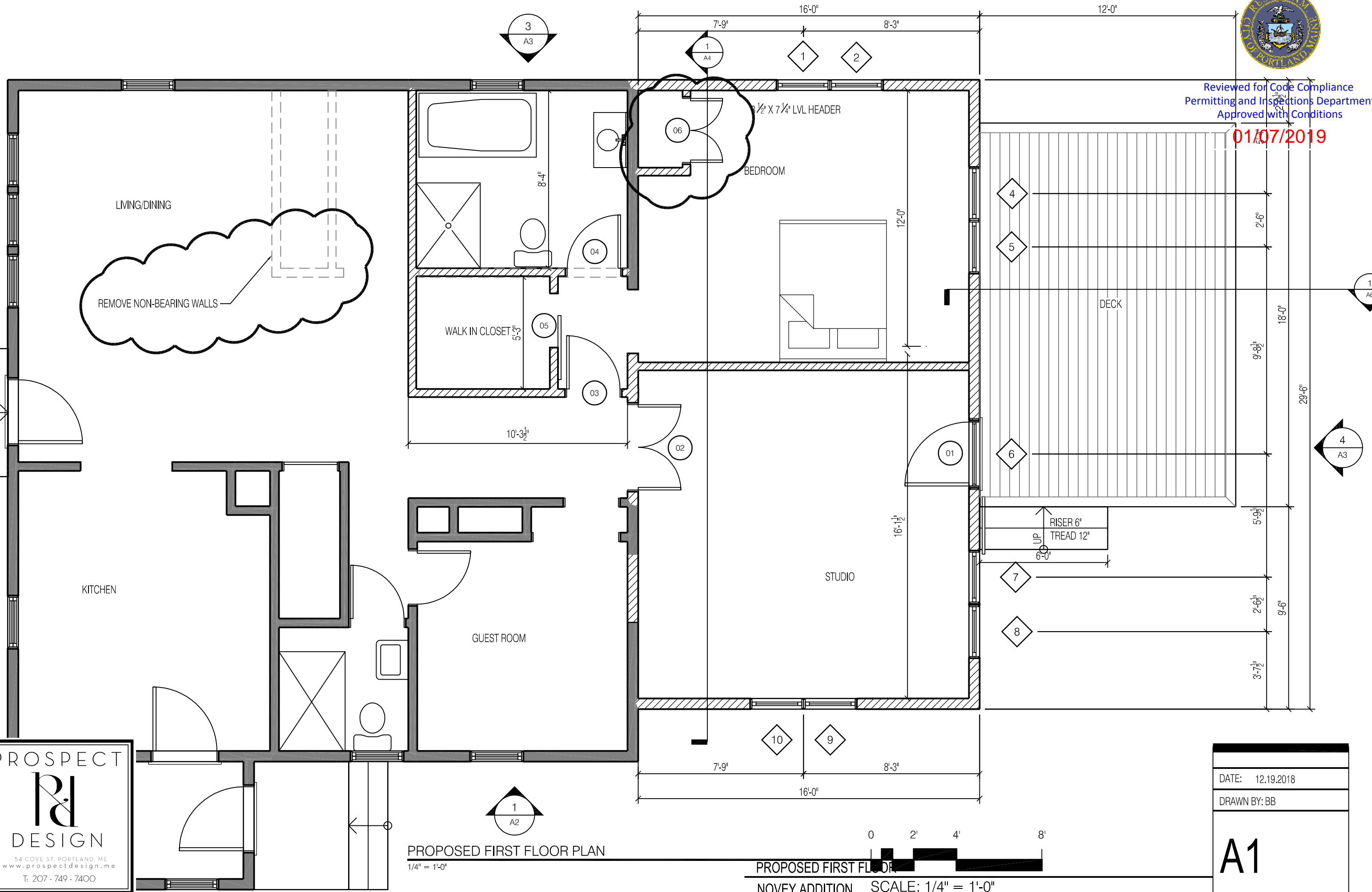


DATE: 9.17.2018
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EX3



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PROSPECT
PD
 DESIGN
 54 COVE ST. PORTLAND, ME
 www.prospectdesign.me
 T: 207-749-7400

PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

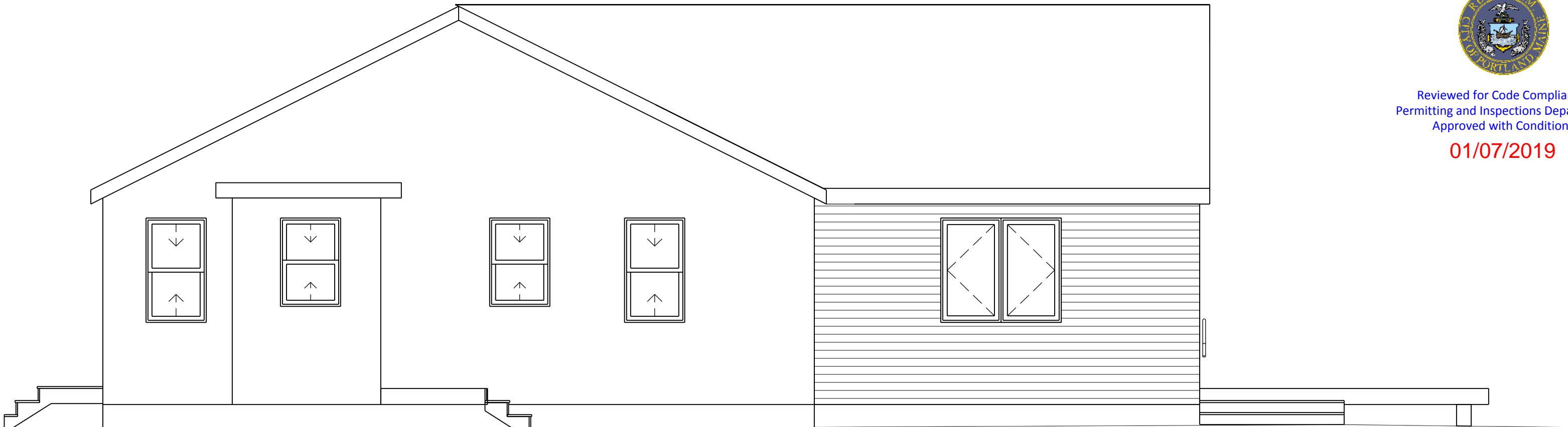
PROPOSED FIRST FLOOR
NOVEY ADDITION SCALE: 1/4" = 1'-0"

DATE: 12.19.2018
DRAWN BY: BB
A1

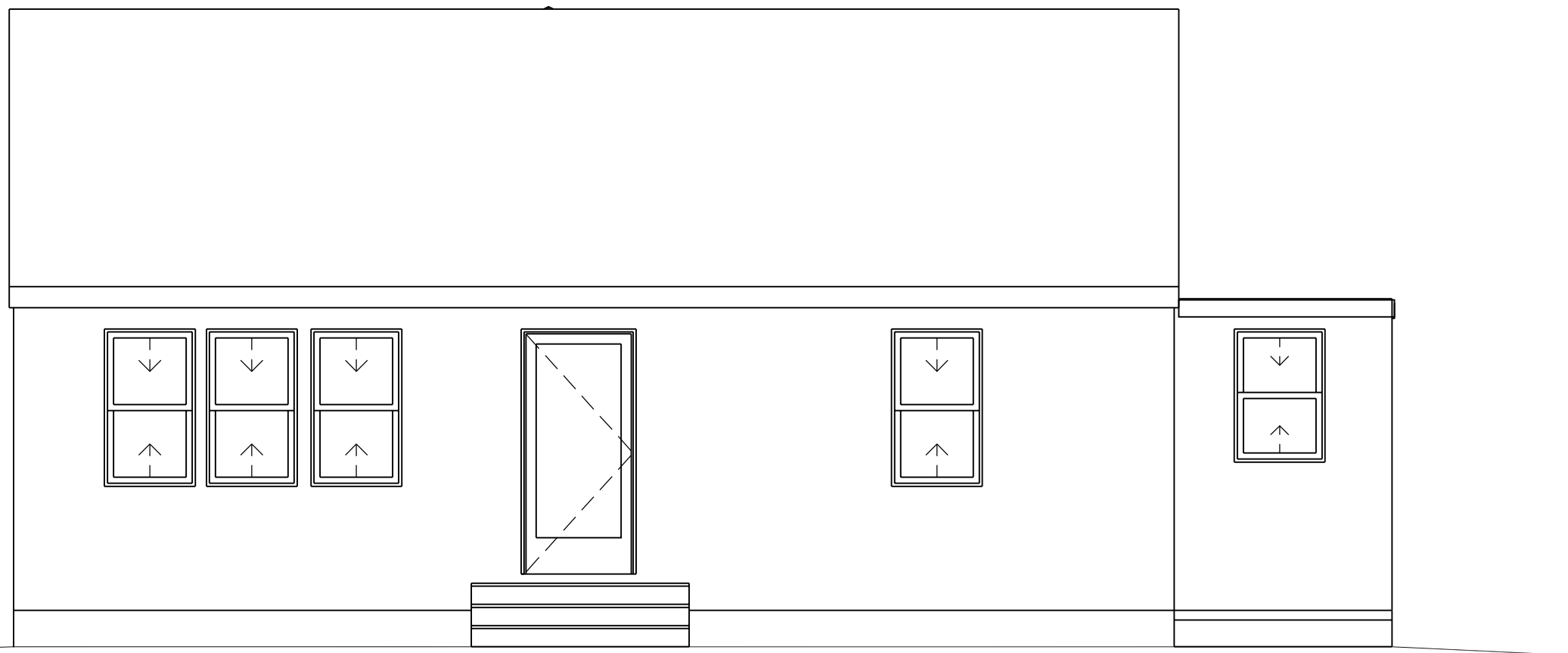


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1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



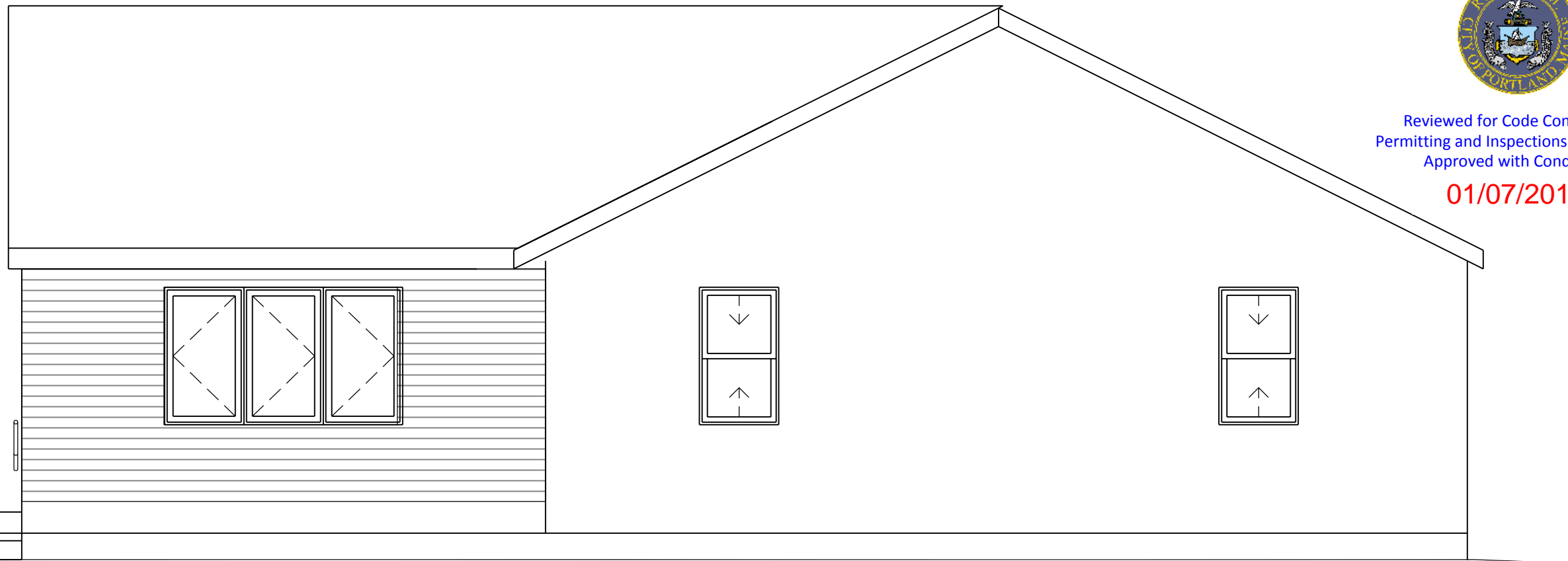
ELEVATIONS
NOVEY ADDITION

DATE: 9.17.2018
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A2



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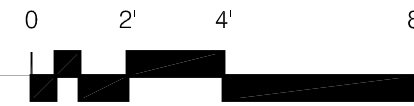
3 WEST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"



ELEVATIONS
NOVEY ADDITION



SCALE: 1/4" = 1'-0"

DATE: 9.17.2018
DRAWN BY: BB
A3

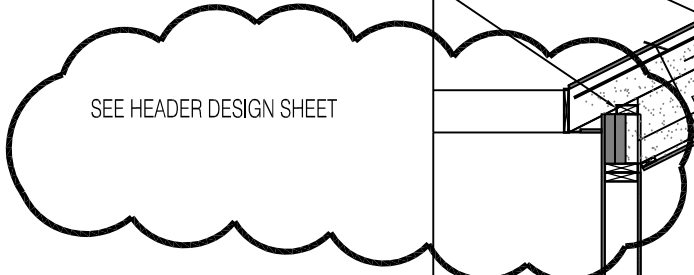


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RAISED TIE ROOF TRUSS DESIGNED BY
MANUFACTURER, SEE TRUSS DESIGN

1" AIR SPACE/ RIDGID BAFFLE/ DENSE
PACK CELLULOSE R-49
RAISED HEEL WITH 3 1/2" BEARING
3 1/2" X 7 1/4" LVL HEADER OUTSIDE
RAISED HEEL



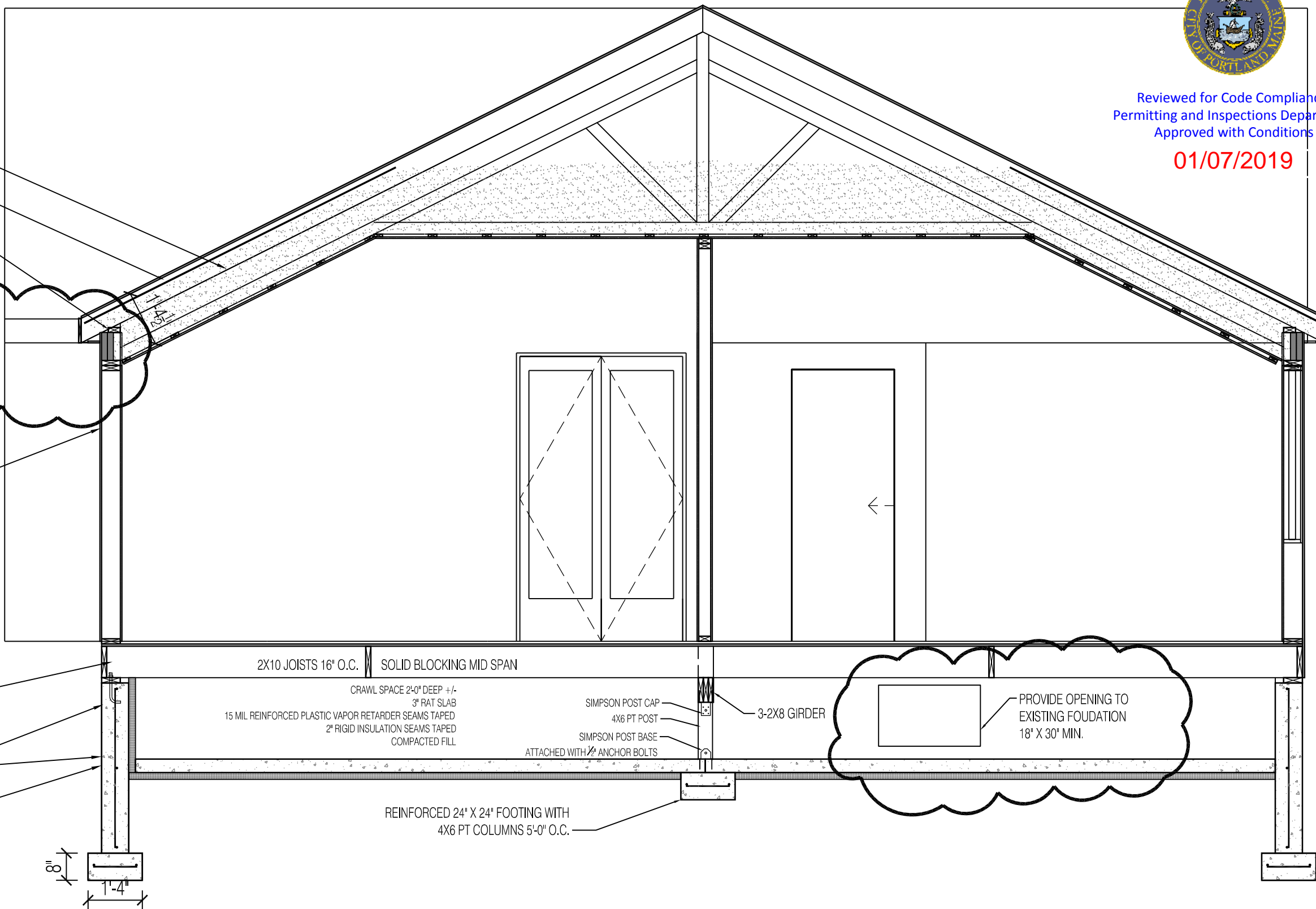
SEE HEADER DESIGN SHEET

NEW WALLS
HARDIE BOARD CLAPBOARDS
1/2" ZIPWALL SYSTEM SHEATHING
TAPED TO MANUFACTURERS SPECS.
2x6 @ 16" OC
WITH DOUBLE TOP PLATE
& P.T. SILL PLATE
DENSE PACK CELLULOSE
1/2" GYPSUM BOARD

NEW FLOOR 3/4" ADVANTEK PLYWOOD
2x10 @ 16" OC WITH JOIST HANGERS

2 # 4 BARS TOP
1 # 4 BAR MIDDLE

NEW FOUNDATION WALL:
8" CONCRETE FOUNDATION WALL 4'-0" BELOW GRADE
WITH #4 BAR REINFORCING AND 5/8" ANCHOR BOLTS @ 4'-0" OC
AND 1'-0" OFF EACH CORNER WITH 4" MINIMUM EMBEDMENT
2" RIGID INSULATION ON INSIDE
8"x16" CONCRETE FOOTING ON UNDISTURBED EXISTING SOIL



2X10 JOISTS 16" O.C. SOLID BLOCKING MID SPAN

CRAWL SPACE 2'-0" DEEP +/-
3" RAT SLAB
15 MIL REINFORCED PLASTIC VAPOR RETARDER SEAMS TAPED
2" RIGID INSULATION SEAMS TAPED
COMPACTED FILL

SIMPSON POST CAP
4X6 PT POST
SIMPSON POST BASE
ATTACHED WITH 1/2" ANCHOR BOLTS

3-2X8 GIRDER

REINFORCED 24" X 24" FOOTING WITH
4X6 PT COLUMNS 5'-0" O.C.

PROVIDE OPENING TO
EXISTING FOUNDATION
18" X 30" MIN.

1 SECTION
3/8" = 1'-0"



SECTION
NOVEY ADDITION

DATE: 11.9.2018
DRAWN BY: BB
A4

DOOR AND FRAME SCHEDULE

DOOR						NOTES
MARK	SIZE			MATL	GLAZING	
	WD	HGT	THK			
1	3'-0"	6'-8"	1 3/4"	--	--	Relocated existing
2	4'-0"	7'-0"	1 3/8"	--	--	--
3	2'-6"	6'-8"	1 3/8"	--	--	--
4	2'-6"	6'-8"	1 3/8"	--	--	--
5	2'-6"	6'-8"	1/2"	--	--	--
6	3'-0"	6'-8"	1 3/8"	--	--	--

WINDOW NOTES:

ALL WINDOWS SHALL BE LOW E, ARGON FILLED INSULATING GLASS.
 ALL WINDOWS TO HAVE A U-FACTOR RATING OF 0.30 OR BETTER.
 ALL WINDOW GRILLES SHALL BE SIMULATED DIVIDED LITE.

ALL GLAZING SHALL CONFORM TO IRC 2015 R308
 WINDOW GLAZING WITH SILL HTS LESS THAN 18" TO BE TEMPERED.
 WINDOW GLAZING 24" OR CLOSER TO DOORS SHALL BE TEMPERED.
 WINDOW GLAZING 36" OR CLOSER TO STAIRWAYS AND 36" OR LESS ABOVE FLOOR SHALL BE TEMERED.
 WINDOW GLAZING WITHIN 60" OF THE BOTTOM OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR SHALL BE TEMERED.

ALL WINDOWS SHALL CONFORM TO R312.2 WINDOW FALL PROTECTION
 ALL WINDOWS WITH SILL HTS LESS THAN 24" AND MORE THAN 72" ABOVE GRADE TO HAVE OPENING LIMITERS TO RESITRICT OPENING TO 4".

R310 EMERGENCY ESCAPE AND RESCUE OPENINGS
 SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A SILL HT OF NOT MORE THAN 44", A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20"

HEADER NOTES:

SEE PLAN FOR HEADER SIZES.
 ALL HEADERS SPANS GREATER THAN 5'-0" SHALL HAVE 2 JACK STUDS AT EACH END.

WINDOW SCHEDULE

MARK	SIZE		Style	NOTES
	WIDTH	HEIGHT		
1	2'-4"	4'-2"	Casement	--
2	2'-4"	4'-2"	Casement	--
4	2'-4"	4'-2"	Casement	--
5	2'-4"	4'-2"	Casement	--
6	3'-0"	2'-4"	Awning	--
7	2'-4"	4'-2"	Casement	--
8	2'-4"	4'-2"	Casement	--
9	2'-4"	4'-2"	Casement	--
10	2'-4"	4'-2"	Casement	--

WINDOW MARK 3 DELETED



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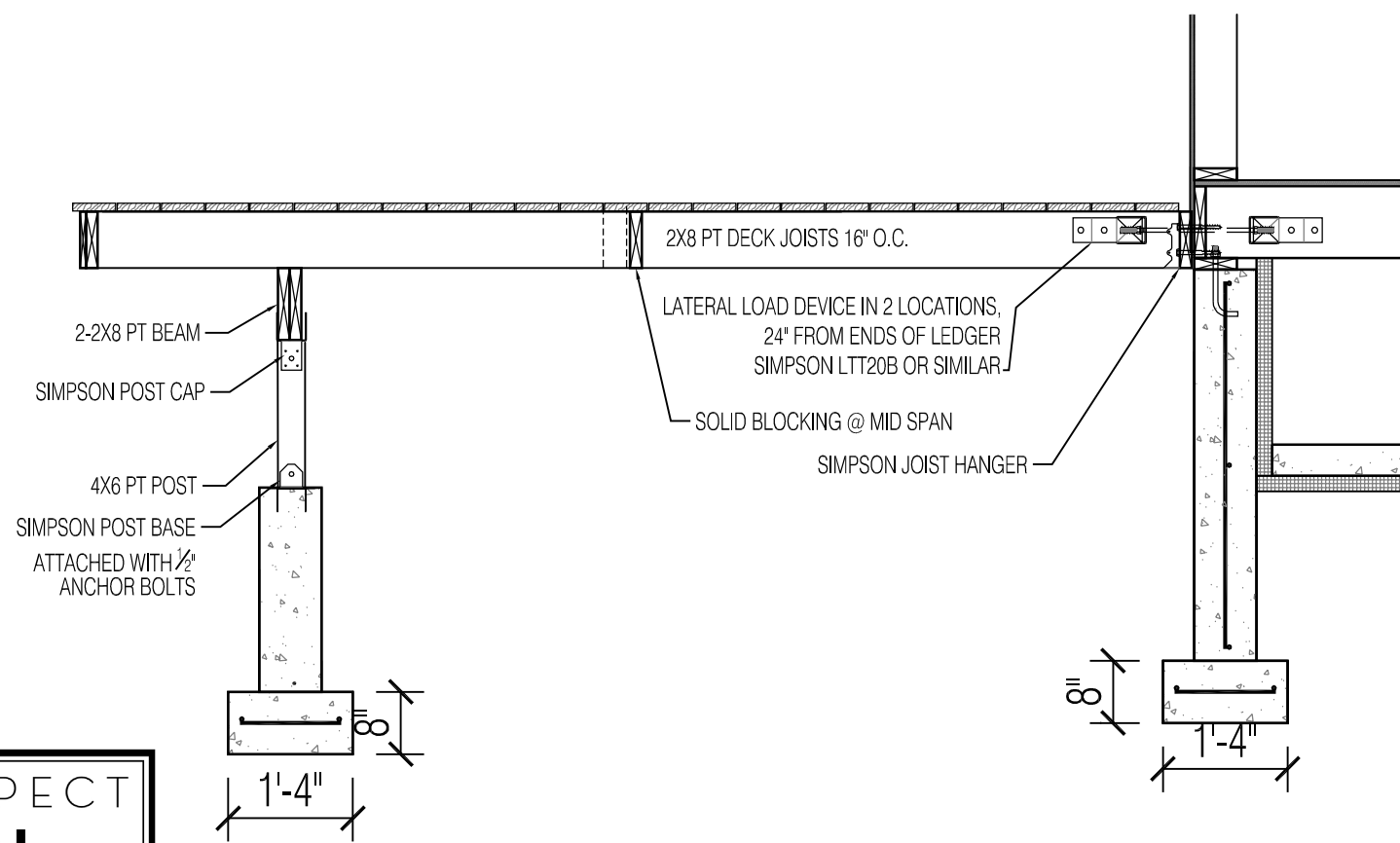
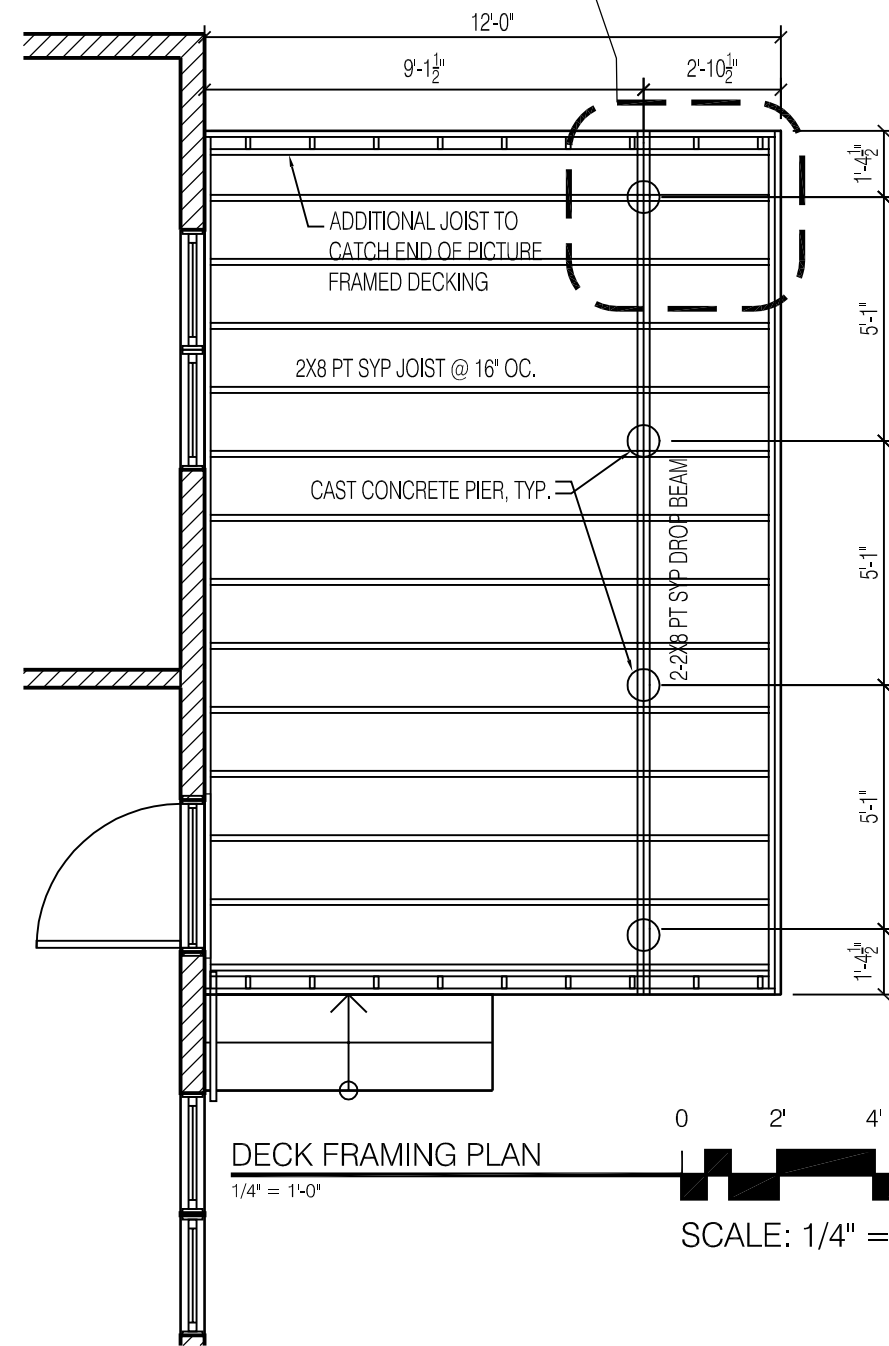
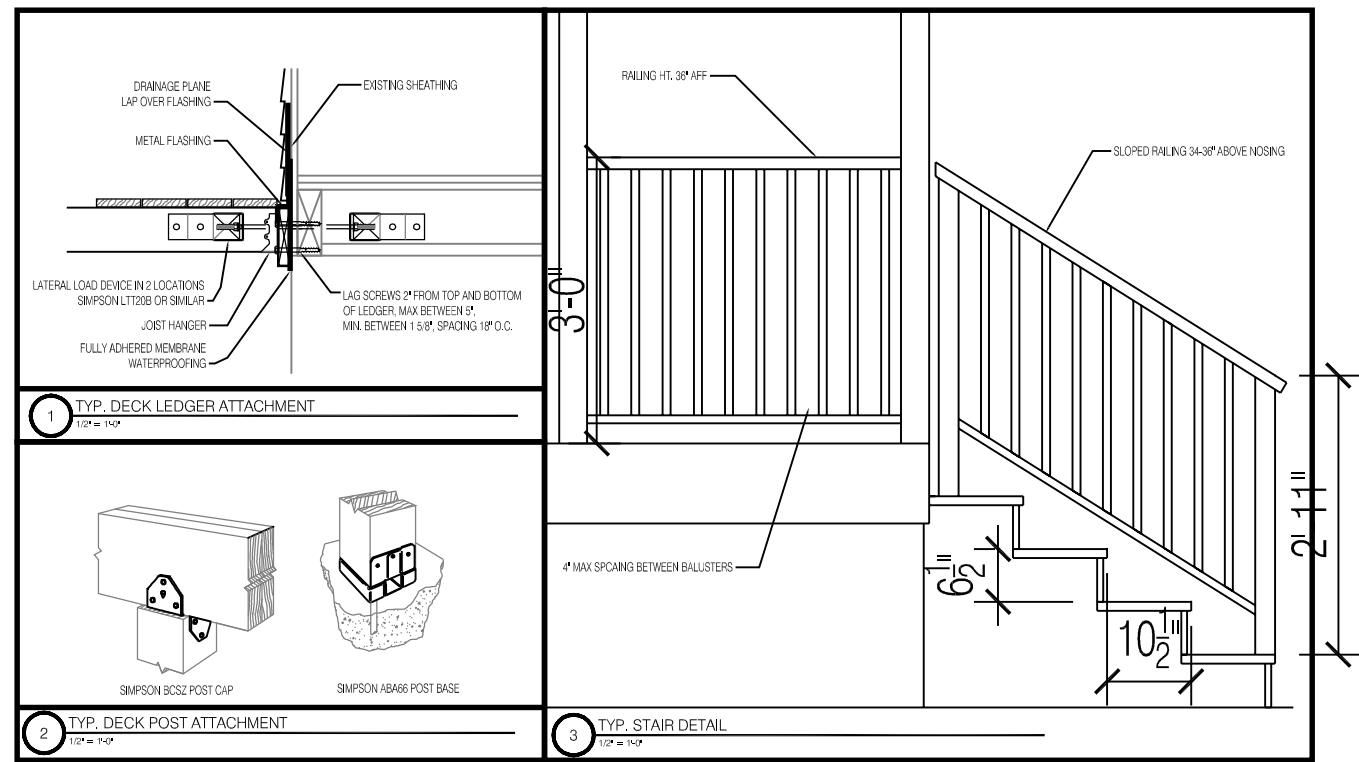
SCHEDULES
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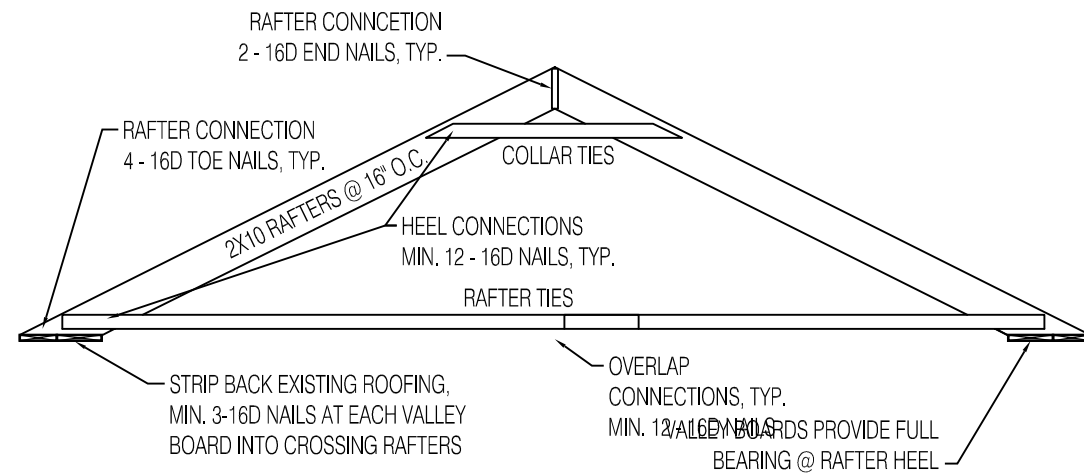
DECK DETAILS
 NOVEY ADDITION

DATE: 12.19.2018
DRAWN BY: BB
A6



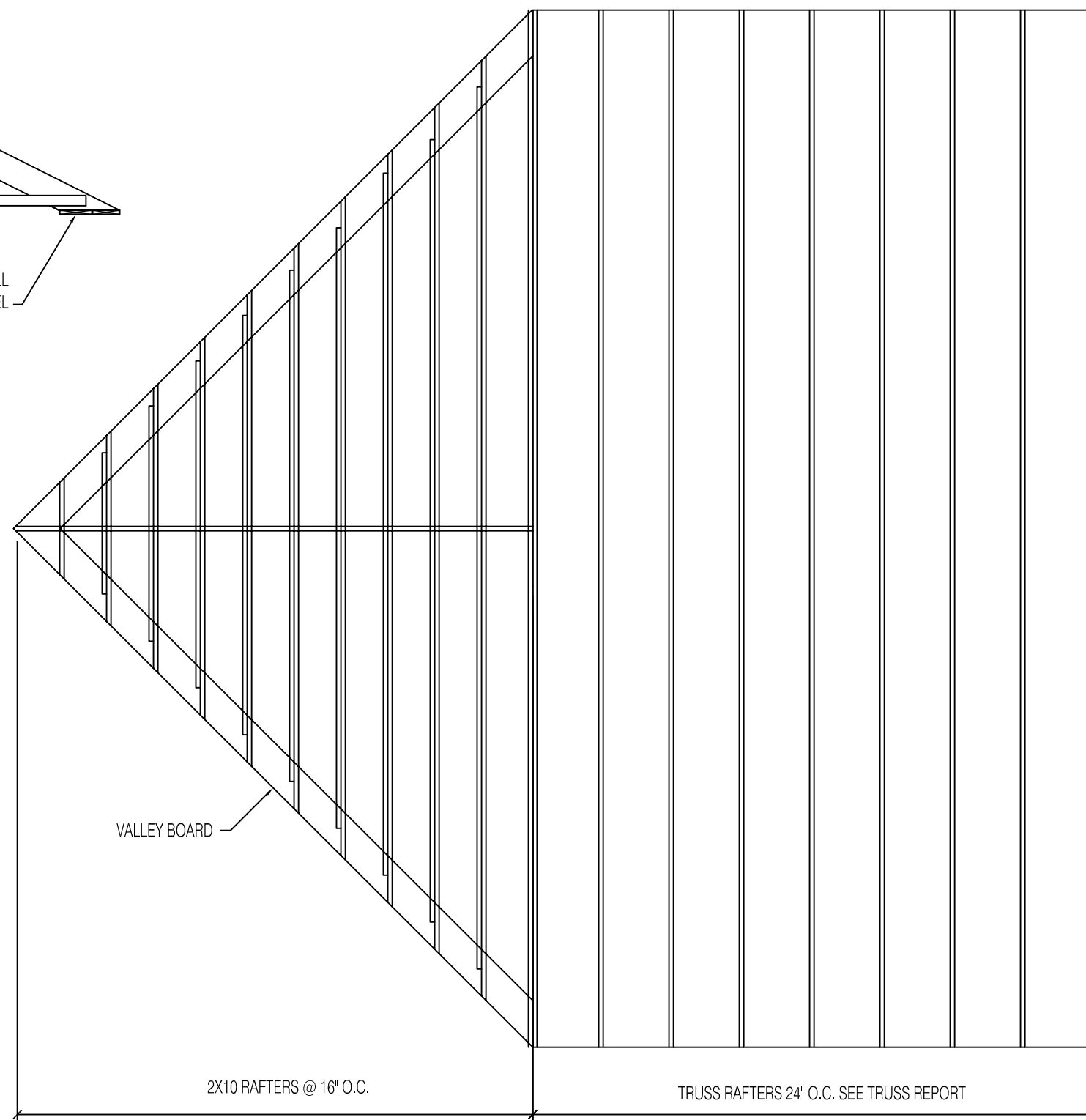
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TYPICAL OVER-FRAMING RAFTERS

1/4" = 1'-0"



ROOF FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING PLAN

NOVEY ADDITION



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A7