

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 090203

Please Read Application And Notes, If Any, Attached

This is to certify that ANDERSON WILLIAM P & KATE ANDERSON has permission to Relocate basement access by raising landing & adding 1/2 step window. Adding door into hallway & closing off previous door & stairs AT 80 HASTINGS ST CB# 192 H036001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED
MAR 18 2009
CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas H. MacKay 3/19/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

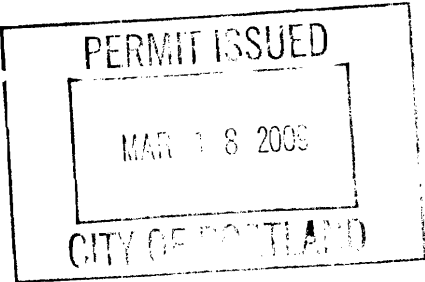
City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0203	Issue Date:	CBL: 192 H036001
-----------------------	-------------	---------------------

Location of Construction: 80 HASTINGS ST	Owner Name: ANDERSON WILLIAM P & KAT	Owner Address: 80 HASTINGS ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home - Relocate basement access by raising landing & adding 3 step winder. Adding door into hallway & closing off previous Door & stairs	Permit Fee: \$30.00	Cost of Work: \$800.00	CEO District: 3
Proposed Project Description: Relocate basement access by raising landing & adding 3 step winder. Adding door into hallway & closing off previous Door & stairs		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type SB IRC 2003	
		Signature: Jm 3/19/09		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 03/17/2009	Zoning Approval
-----------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: Jm 3/19/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 3/19/09
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Spoke with Tom M. re: Winders e
side door
height



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>80 Hastings St, Portland, ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>1152</u>	Square Footage of Lot <u>5000</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>192</u> Block# <u>H</u> Lot# <u>363</u> <u>36</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>William Anderson</u> Address <u>80 Hastings St</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>2-712-9253</u> <u>H 775-0490</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>Materials only</u> <u>1800</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Ø</u> Proposed Specific use: <u>Single family</u> Is property part of a subdivision? <u>no</u> <u>access</u> If yes, please name _____ Project description: <u>relocate basement access by raising landing & adding 3 step winder. Adding door into hallway and closing off previous door.</u>		
Contractor's name: <u>Work to be done by owner</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>William Anderson</u> Telephone: <u>775-0490</u> Mailing address: <u>80 Hastings St Portland, ME 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

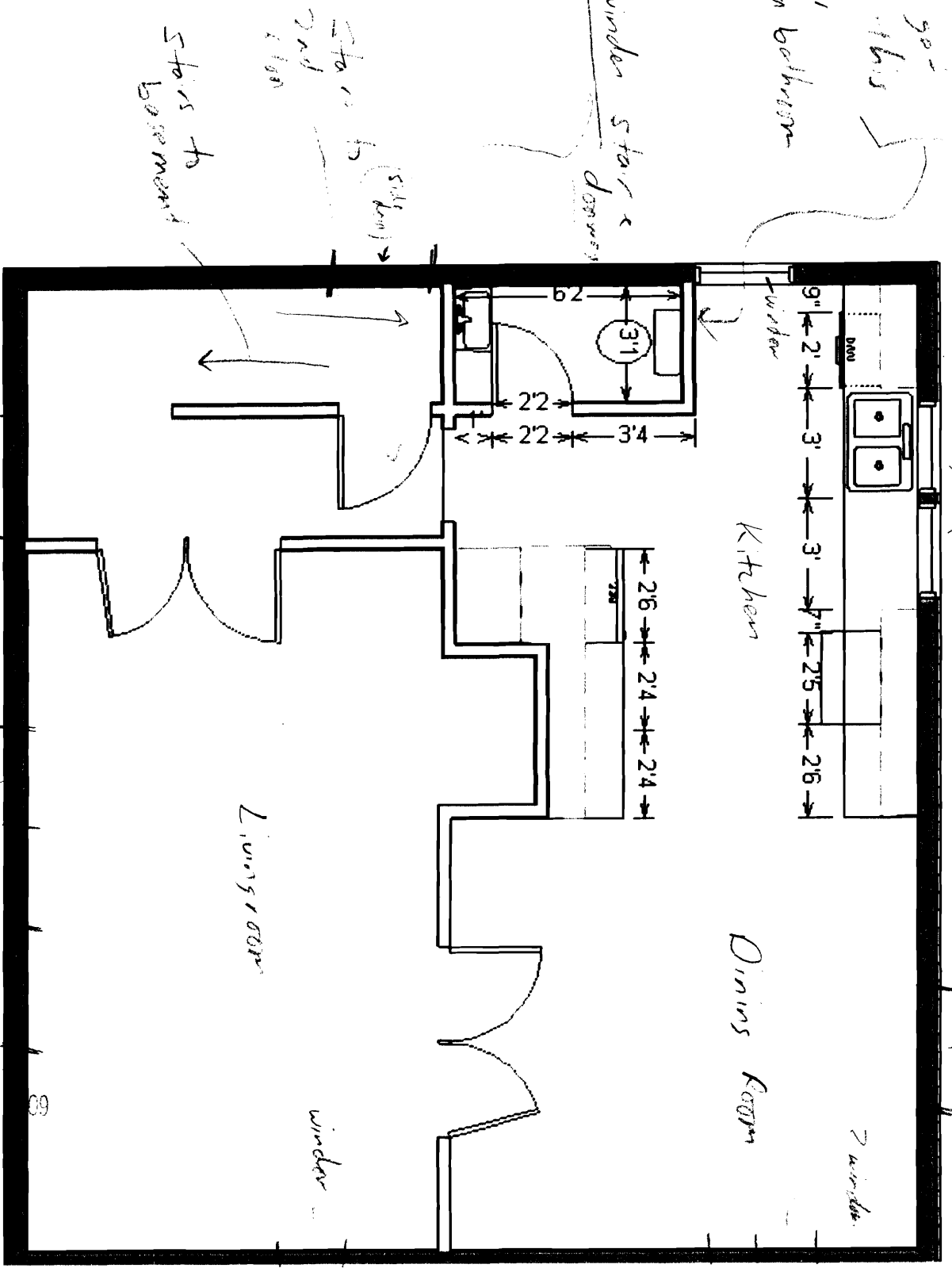
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/16/09 MAR 17 2009

This is not a permit; you may not commence ANY work until the permit is issue

Note: Adding bathroom
 Action stairs, will go
 separate perm. for this
 we need to install stairs
 before closing off for bathroom

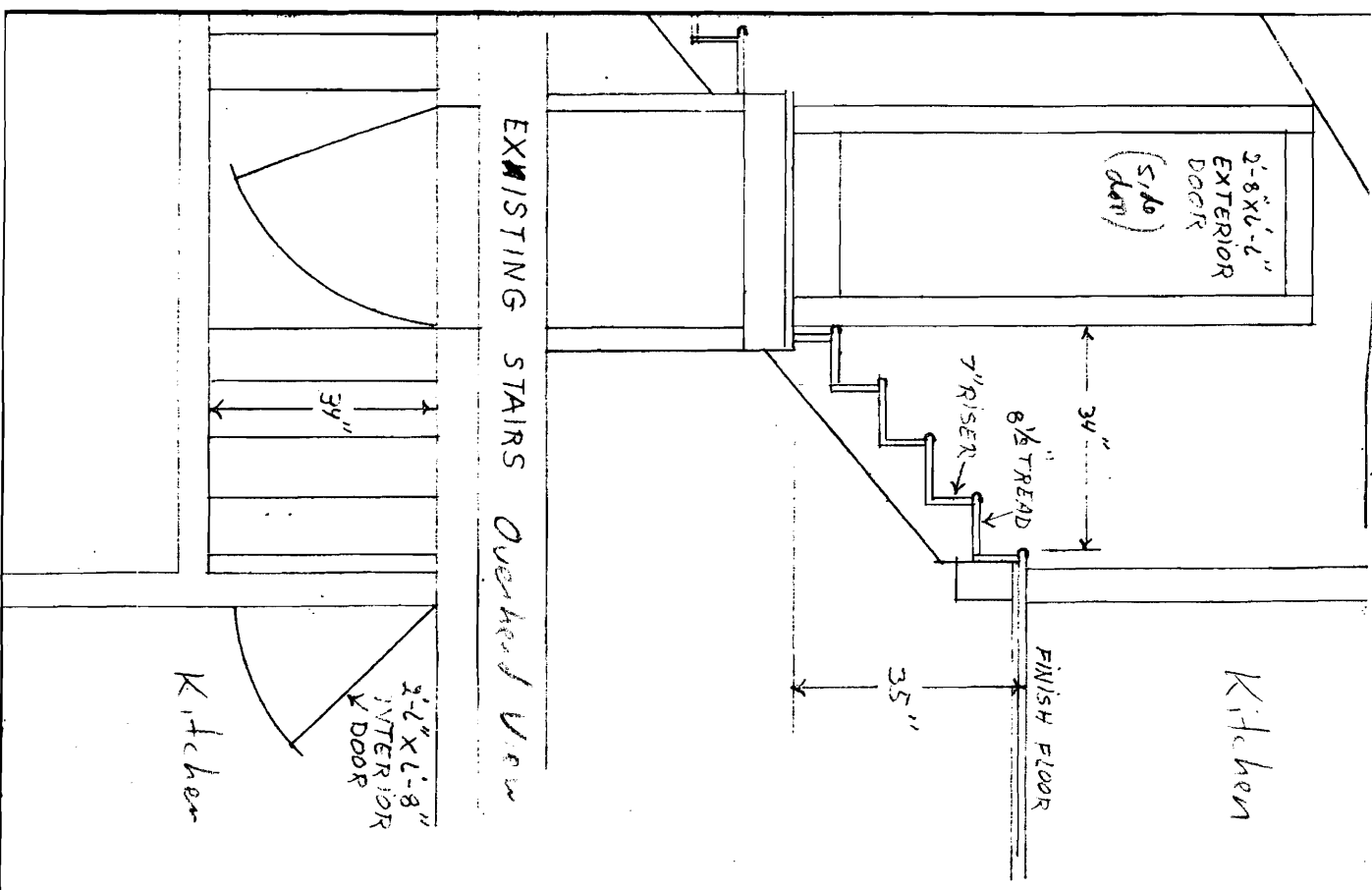
* Proposed new window stairs & doors



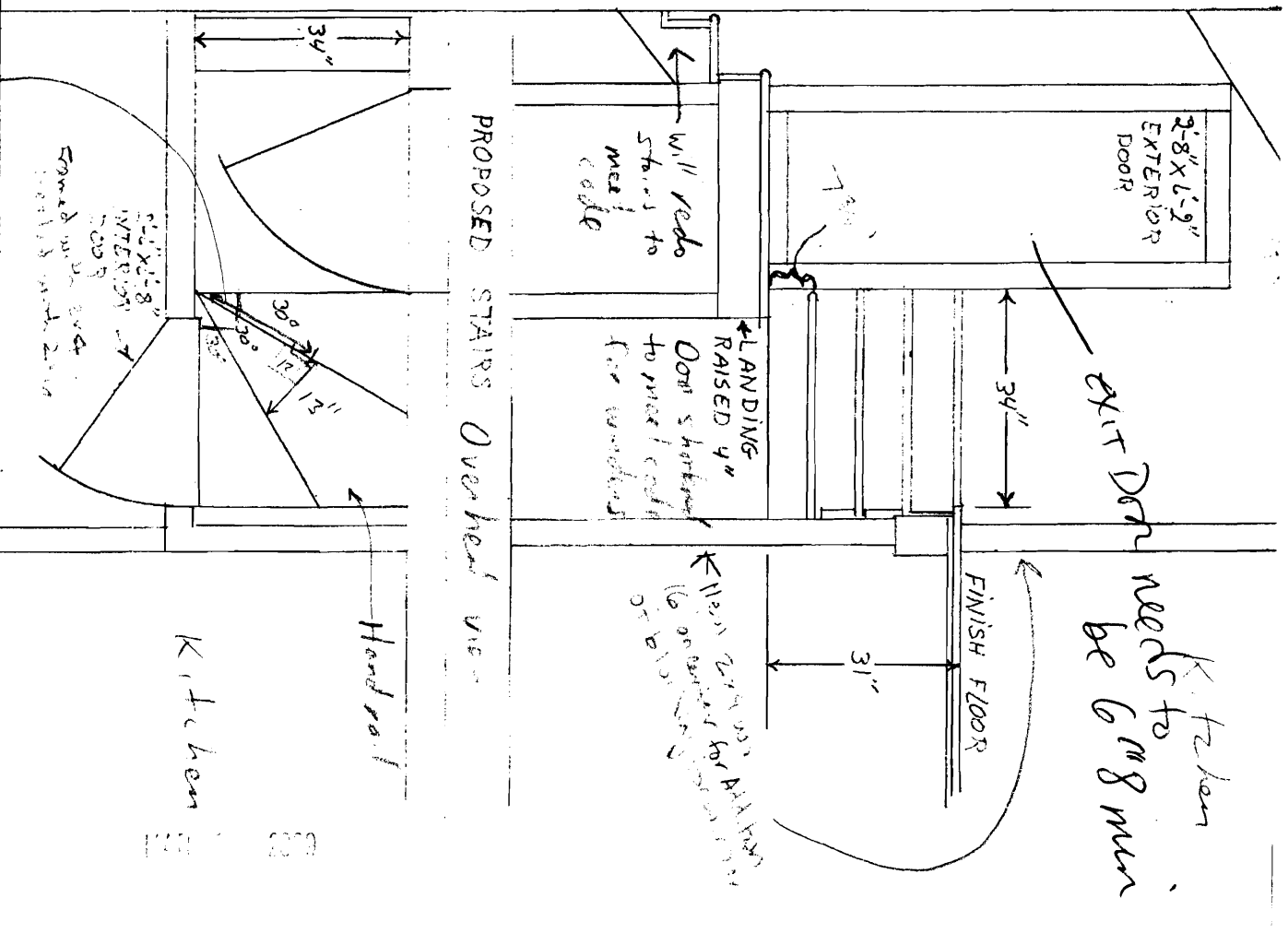
LIVING AREA
 675 sq ft

MAP 17 69

Side View



Side View



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0203	Date Applied For: 03/17/2009	CBL: 192 H036001
------------------------------	--	----------------------------

Location of Construction: 80 HASTINGS ST	Owner Name: ANDERSON WILLIAM P & KAT	Owner Address: 80 HASTINGS ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Relocate basement access by raising landing & adding 3 step winder. Adding door into hallway & closing off previous Door & stairs	Proposed Project Description: Relocate basement access by raising landing & adding 3 step winder. Adding door into hallway & closing off previous Door & stairs
--	---

Dept: Zoning **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 03/19/2009

Note: **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 03/19/2009

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

3/17/2009-tm: called Bill Anderson with some questions about proposed stairs. Spoke to Bill and found that the proposed door is an exit door which requires 6"8 minimum ht. 6"2 shown on plans. He will get back to me with needed changes.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas A. Mackley

Signature of Inspections Official

Date

3/19/09

Date

Noted