

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 081023

OCT 9 2008

This is to certify that ITALIAN HERITAGE CENTER / Great Falls Builders, Inc. A/Smihas permission to Update for rental & customer member use New roof insulation PVC roofing, bathroom ventilation fan, electrical finish uAT 40 WESTLAND AVE

191 B018001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Gregory Lewis

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Bonke 10/8/08
Director - Building & Inspection Services

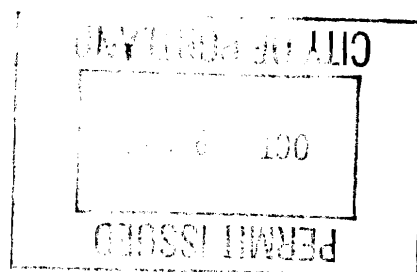
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1023		Issue Date:		CBL: 191 B018001	
Location of Construction: 40 WESTLAND AVE		Owner Name: ITALIAN HERITAGE CENTER		Owner Address: 40 WESTLAND AVE	
Business Name:		Contractor Name: Great Falls Builders, Inc./Jon Smith		Contractor Address: 20 Mechanic Street Gorham	
Lessee/Buyer's Name		Phone:		Phone: 2078922744	
Past Use: Commercial - Italian Heritage Center		Proposed Use: Commercial - Italian Heritage Center - Update for rental & customer/member use. New roof insulation, bar renovations & exterior finish updates		Permit Type: Alterations - Commercial	
Proposed Project Description: Update for rental & customer/member use. New roof insulation /PVC roofing, bar renovations & exterior finish updates -- more cooler / free unit outside (5'x24')		Permit Fee: \$6,020.00		Cost of Work: \$600,000.00	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>		INSPECTION: Use Group: A-2 Type: 2A IBC-2003	
		Signature: <i>Craig Clark</i>		Signature: <i>AMB 10/8/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____ Date: _____			
Permit Taken By: ldobson		Date Applied For: 08/18/2008		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions ABM</i> Date: <i>8/26/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ASU</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

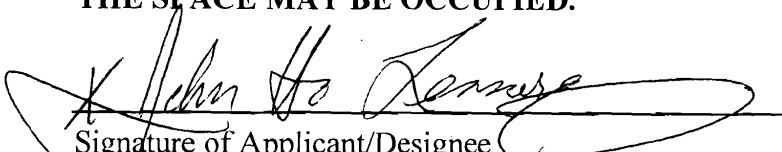
A Pre-construction Meeting will take place upon receipt of your building permit.

- ☒ Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- ☒ Re-Bar Schedule Inspection: Prior to pouring concrete
- ☒ Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- ☒ The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy

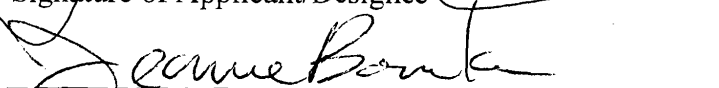
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

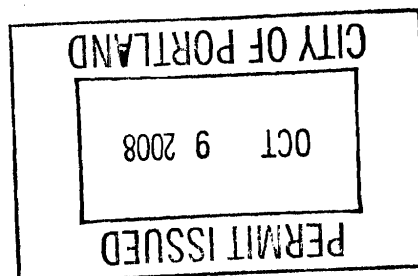
CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.


Signature of Applicant/Designee

8/9/08
Date


Signature of Inspections Official

10/8/08
Date



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1023	Date Applied For: 08/18/2008	CBL: 191 B018001
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Location of Construction: 40 WESTLAND AVE	Owner Name: ITALIAN HERITAGE CENTER	Owner Address: 40 WESTLAND AVE	Phone:
Business Name:	Contractor Name: Great Falls Builders, Inc./Jon Smith	Contractor Address: 20 Mechanic Street Gorham	Phone: (207) 892-2744
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Italian Heritage Center - Update of the metal building for rental & customer/member use. New roof insulation, bar renovations & interior finish updates	Proposed Project Description: Update for of the metal building rental & customer/member use. New roof insulation /PVC roofing, bar renovations & interior finish updates- relocate cooler/freezer on rear (8' x24')
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/26/2008**Note:****Ok to Issue:** ☒

- 1) This permit is being issued with the condition that the compressor on the proposed freezer/cooler unit meet the requirements for noise levels under section 14-187(b) of the ordinance.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This permit is being issued with the condition that all the work is taking place within the existing footprint except for the 9'8" x 25' cooler/freezer addition on the rear. Any future work including additions must be applied for under a separate permit.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/08/2008**Note:****Ok to Issue:** ☒

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 3) Approval of license is subject to health inspections per the Food Code.
- 4) Final report of special inspections shall include a quality assurance letter for seismic resistance for site class D
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 08/26/2008**Note:****Ok to Issue:** ☒

- 1) All construction shall comply with NFPA 101
- 2) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 3) A single source supplier should be used for all through penetrations.
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 6) Emergency lights and exit signs are required
- 7) Emergency lights are required to be tested at the electrical panel.
- 8) All means of egress to remain accessible at all times
- 9) Application requires State Fire Marshal approval.

Location of Construction: 40 WESTLAND AVE	Owner Name: ITALIAN HERITAGE CENTER	Owner Address: 40 WESTLAND AVE	Phone:
Business Name:	Contractor Name: Great Falls Builders, Inc./Jon Smith	Contractor Address: 20 Mechanic Street Gorham	Phone (207) 892-2744
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Comments:

8/25/2008-amachado: Left voicemail for John Leasure. Project description & plans so no new addition. Sheet to the fire department talks about 2,900 sf of additions.

8/26/2008-amachado: Spoke to John Leasure. Originally there was going to be an addition too, but the center decided to do it in phases. All the work for this permit is within the existing structure. Any additions will be applied for in the future.

9/2/2008-gg: received revised plan from Jon Leasure. Filed with permit (in the to be reviewed basket). /gg

9/9/2008-jmb: Gave review back to Ann in zoning as there is a small bump out addition for a cooler/freezer, appears to scale at 8'x24'. Will need a site plan exemption. Ann filed with Barbara B.

9/10/2008-jmb: Left voicemail with John S. With Great Falls, the architect John L is out of town. Details required include: New cooler/freezer addition details, rated doors in lobby, explain several hexagon shapes in lobby, details on work bordering room 128, need bar layout for FSE, under stair protection above storage room, wall detail at Bar #1 pass thru, statement of special inspections for welding.

9/11/2008-jmb: Received an email from John S. Outlining the details required from our conversation, he sent it to John L.

9/12/2008-jmb: John L. Called and referred to the revised sheet from 9/1/08 for fire doors in the lobby. The hexagon shapes is a design in the tile floor, an addendum on the structural design of the 16' opening at bar #1 as this is not exposed yet. The FSE design will be by others. Other info will be submitted by others.

9/29/2008-jmb: Received info on freezer/cooler and decibel levels

10/1/2008-jmb: Spoke to John L. For details on structural loading of the exterior freezer/cooler

10/2/2008-amachado: Received email from Steve Corey for the decibel reading at the property line for the current compressors.

10/6/2008-gg: received granted site exemption as of 10/02/08/ gg filed with per it (Jeanie)

10/7/2008-jmb: Received letter regarding the projected roof snow load capacity of the coolers, ok to issue

9/19/2008-jmb: John L. Submitted the SI statement, foundation plans for the coolers and the bar fse layout. Need the cooler specs. Also, planning/zoning is dealing with the decibels from the compressors.

9/25/2008-amachado: Spoke to John Leasure. Barbara was sent information about the decibel rating being 60- 70. We need to know what the reading will be at the lot line using the A scale.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>40 WESTLAND AVE, PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure/Area <u>EXISTING 13,500. SF</u>		Square Footage of Lot <u>92,878 SF (2.13 AC.)</u>
Tax Assessor's Chart, Block & Lot Chart# <u>191</u> Block# <u>B</u> Lot# <u>18</u>	Applicant *must be owner, Lessee or Buyer* Name <u>ITALIAN HERITAGE (CTR)</u> Address <u>40 WESTLAND AVE</u> City, State & Zip <u>PORTLAND, ME.</u>	Telephone: <u>772.2500</u>
Lessee/DBA (If Applicable) <u>N.A.</u>	Owner (if different from Applicant) Name Address <u>N.A.</u> City, State & Zip	Cost Of Work: \$ <u>600,000.</u> C of O Fee: \$ <u>---</u> Total Fee: \$ <u>6,000.</u>
Current legal use (i.e. single family) <u>PRIV. CLUB + WEDDING PARTY RENTAL, ETC.</u> If vacant, what was the previous use? <u>N.A.</u> Proposed Specific use: <u>SAME AS ABOVE</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>LARGE MTL. BLDG, TO BE UPDATED FOR RENTAL/CUSTOMER USE & MEMBERS. ADD NEW ROOF INSUL. & PVC ROOFING, PLUS BAR RENOV & INTERIOR FINISH UPDATES.</u>		
Contractor's name: <u>GREAT FALLS BLDGS, INC.</u> Address: <u>20 MECHANIC ST.</u> City, State & Zip <u>GORHAM, ME, 04038</u> Telephone: <u>839.2744</u> Who should we contact when the permit is ready: <u>JOHN LEASURE</u> Telephone: <u>767.4600</u> Mailing address: <u>SIX Q ST., SO. PORTLAND, ME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: John H. Leasure

Date: AUG 18, 2008

This is not a permit; you may not commence ANY work until the permit is issued.

AUG 18



Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

1. Applicant Information

Italian Heritage Center.

Applicant/Owner

40 Westland Ave Portland ME 04102

Mailing Address

John Leasure

Consultant/Agent

767-4600 / /

Phone

Fax

Cell

2. Project Information

9/9/08

Application Date

add frame/look^{unit} to Italian Heritage Center.

Project Name/Description

40 Westland Ave.

Address of Proposed Site

191-B-018.

Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development:

add 24'x8' frame/look unit to rear of Italian Heritage Center.

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>new construction - No</u>	<u>No</u>
b) Footprint Increase Less Than 500 sq. ft.	<u>yes</u>	<u>less than 500 sq ft</u>
c) No New Curb Cuts, Driveways, Parking Areas	<u>yes</u>	<u>✓</u>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>yes</u>	<u>✓</u>
e) No Additional Parking/No Traffic Increase	<u>yes</u>	<u>✓</u>
f) No Known Storm water Problems	<u>yes</u>	<u>✓</u>
g) Sufficient Property Screening Exists	<u>yes</u>	<u>documentation w/ respect to fence - meets sound level</u>
h) Adequate Utilities	<u>yes</u>	<u>✓</u>

Planning Division Use Only

Exemption Granted ✓

Partial Exemption

Exemption Denied

OCT - 6 2008

Planner's Signature

Barbara Burroughs

Date

10/5/08



General Building Permit Application

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Location/Address of Construction: <u>40 WESTLAND AVE, PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure/Area <u>EXISTING 13,500. SF</u>		Square Footage of Lot <u>92,878 SF (2.13 AC.)</u>
Tax Assessor's Chart, Block & Lot Chart# <u>191</u> Block# <u>B</u> Lot# <u>18</u>	Applicant *must be owner, Lessee or Buyer* Name <u>ITALIAN HERITAGE CTR</u> Address <u>40 WESTLAND AVE</u> City, State & Zip <u>PORTLAND, ME.</u>	Telephone: <u>772.2500</u>
Lessee/DBA (If Applicable) <u>N.A.</u>	Owner (if different from Applicant) Name Address <u>N.A.</u> City, State & Zip	Cost Of Work: \$ <u>600,000.</u> C of O Fee: \$ <u> </u> Total Fee: \$ <u>6,000.</u>
Current legal use (i.e. single family) <u>PRIV. CLUB + WEDDING PARTY RENTAL, etc.</u> If vacant, what was the previous use? <u>N.A.</u> Proposed Specific use: <u>SAME AS ABOVE</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u> </u> Project description: <u>LARGE MTL. BLDG, TO BE UPDATED FOR RENTAL/ CUSTOMER USE & MEMBERS. ADD NEW ROOF INSUL. & PVC ROOFING, PLUS BAR REHAB & INTERIOR FINISH UPDATES.</u>		
Contractor's name: <u>GREAT FALLS BLDGS, INC.</u> Address: <u>20 MECHANIC ST.</u> City, State & Zip <u>GORHAM, ME, 04038</u> Telephone: <u>839.2744</u> Who should we contact when the permit is ready: <u>JOHN LEASURE</u> Telephone: <u>767.4600</u> Mailing address: <u>SIX Q ST., SO. PORTLAND, ME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

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Signature: John H. Leasure

Date: AUG 18, 2008

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From: *Rich McCarthy!*

09/30/2008 00:56

#429 P.002/002



Reviewed
for Barrier
Free

State of Maine
Department of Public Safety
Construction Permit

18002



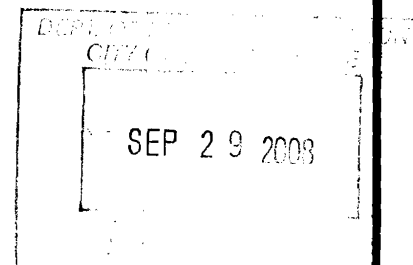
Sprinkled

ADDITIONS & ALTERATIONS TO: ITALIAN HERITAGE CTR

Located at: 40 WESTLAND AVE.

PORTLAND

Occupancy/Use: BUSINESS



Permission is hereby given to:

ITALIAN HERITAGE CENTER

40 WESTLAND AVE.

PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 28 th of March 2009

Dated the 29 th day of September A.D. 2008

Commissioner

Copy-2 Architect

Comments:

JOHN H. LEASURE

SIX Q ST.

SOUTH PORTLAND, ME 04106

Jeannie Bourke

ITALIAN HERITAGE CENTER

John H Leasure

From: "Tom Aldrich" <tald31544@gmail.com>
To: <coreyele@maine.rr.com>; "Kimberley McDonough" <ihcmgr@maine.rr.com>;
<jleasure@maine.rr.com>
Sent: Saturday, September 20, 2008 2:13 AM
Attach: Decibel (Loudness) Comparison Chart.htm
Subject: Re: Drawings

Quick update -

The Db rating is 60-70 - about that of a normal conversation according to the chart I have attached.

John - I'll fax it to the number you gave me. Likely not until Sunday PM or Mondya AM.

Regards,

Tom Aldrich

On Fri, Sep 19, 2008 at 1:37 PM, Tom Aldrich <
Steve, Kim and John -

> wrote:

I am attaching the original drawings I rec'd from American Panel for the walk-in Combination Box. Drawing one shows the location of the door but it does not match to the original drawing I submitted to them and I am expecting the corrected one from them. That said, it occurred to me that if you need this immediately, it might be possible to use this one with the understanding that as shown, it would require moving the location of the box by 18.25" to the left (as looking at the drawing) to match the opening we determined. The new drawing would reflect the proper location. If that is possible OR if you can use this for blessing from the city fathers you can proceed. Naturally, I will forward the corrected drawing to you as soon as I get it.

I have asked them for an answer to the decibel (Db) level and will forward that information to you as soon as received as well.

I hope this helps.

Regards,

Tom Aldrich
C. Caprara

SEP 25 2008

9/21/2008

	> > > Loudness
	<div>How-To's</div> <h2>Decibel (Loudness) Comparison Chart</h2> <p>Here are some interesting numbers, collected from a variety of sources, that help one to understand the volume levels of various sources and how they can affect our hearing</p>

[illegible]

Environmental Noise	
Weakest sound heard	0dB
Whisper Quiet Library	30dB
Normal conversation (3-5')	60-70dB
Telephone dial tone	80dB
City Traffic (inside car)	85dB
Train whistle at 500', Truck Traffic	90dB
Subway train at 200'	95dB
Power mower at 3'	107dB
Snowmobile, Motorcycle	100dB
Power saw at 3'	110dB
Sandblasting, Loud Rock Concert	115dB
Pneumatic riveter at 4'	125dB
Jet engine at 100', Gun Blast	140dB
Death of hearing tissue	180dB
Loudest sound possible	194dB

OSHA Daily Permissible Noise Level Exposure	
Hours per day	Sound level
8	90dB
6	92dB
4	95dB
3	97dB

2	100dB
1.5	102dB
1	105dB
.5	110dB
.25 or less	115dB

Perceptions of Increases in Decibel Level	
Imperceptible Change	1dB
Barely Perceptible Change	3dB
Clearly Noticeable Change	5dB
About Twice as Loud	10dB
About Four Times as Loud	20dB

Sound Levels of Music	
Normal piano practice	60 - 70dB
Fortissimo Singer, 3'	70dB
Chamber music, small auditorium	75 - 85dB
Piano Fortissimo	84 - 103dB
Violin	82 - 92dB
Cello	85 - 111dB
Oboe	95 - 112dB
Flute	92 - 103dB
Piccolo	90 - 106dB
Clarinet	85 - 114dB
French horn	90 - 106dB
Trombone	85 - 114dB
Tympani & bass drum	106dB
Walkman on 5/10	94dB
Symphonic music peak	120 - 137dB
Amplifier rock, 4-6'	120dB
Rock music peak	150dB

NOTES:

- One-third of the total power of a 75-piece orchestra comes from the bass drum.
- High frequency sounds of 2-4,000 Hz are the most damaging. The uppermost octave of the piccolo is 2,048-4,096 Hz.
- Aging causes gradual hearing loss, mostly in the high frequencies.
- Speech reception is not seriously impaired until there is about 30 dB loss; by that time severe damage may have occurred.
- Hypertension and various psychological difficulties can be related to noise exposure.
- The incidence of hearing loss in classical musicians has been estimated at 4-43%.

in rock musicians 13-30%.

Statistics for the Decibel (Loudness) Comparison Chart were taken from a study by Marshall Chasin, M.Sc., Aud(C), FAAA, Centre for Human Performance & Health, Ontario, Canada. There were some conflicting readings and, in many cases, authors did not specify at what distance the readings were taken or what the musician was actually playing. In general, when there were several readings, the higher one was chosen.

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From: "Micahel Corey" <coreyele@maine.rr.com>
To: "Ann Machado" <AMACHADO@portlandmaine.gov>
Date: 10/2/2008 10:31:52 AM
Subject: RE: Sound Level

Ann that level was for the existing compressors 55 db

-----Original Message-----

From: Ann Machado [mailto:AMACHADO@portlandmaine.gov]
Sent: Thursday, October 02, 2008 9:23 AM
To: coreyele@maine.rr.com; jleasure@maine.rr.com
Subject: Re: Sound Level

I need to have in writing what the decibel reading was for the existing compressors at the Italian Heritage Center at the rear property line. I could not find that information in what you sent me.

Thank you.

Ann Machado
Zoning Specialist
(207) 874-8709

>>> "Micahel Corey" <coreyele@maine.rr.com> 10/02 9:06 AM >>>
Here you go

- (f) *Exterior Storage:* There shall be no exterior storage with the exception of fully enclosed containers or receptacles for solid waste disposal. Such containers or receptacles shall be shown on the approved site plan. Vehicles or truck trailers with or without wheels shall not be used for on-site storage (1) except where such storage is located in a designated loading zone identified on an approved site plan; or (2) such storage is not visible from the street or adjacent residences during winter months and such storage area is identified on an approved site plan. Truck load sales shall not be considered outside storage provided that such activity does not extend beyond three (3) consecutive days nor occurs more frequently than three (3) times a calendar year.
- (g) *Storage of vehicles:* Storage of vehicles is subject to the provisions of section 14-335.
- (h) *Shoreland and flood plain management regulations:* If the lot is located in a shoreland zone or in a flood hazard zone, then the requirements of division 26 and/or division 26.5 apply.

(Ord. No. 293-88, 4-4-88; Ord. No. 51-96, 7-15-96; Ord. No. 94-99, 11-15-99; substitute Ord. No. 189-00, §4, 4-24-00, Ord. No. 151-03/04, 02-23-04)

Sec. 14-187. External effects.

Every use in a B-2, B-2b and B-2c zone shall be subject to the following requirements:

- (a) *Enclosed structure:* The use shall be operated within a completely enclosed structure except for those specific open air activities licensed by the City, including but not limited to outdoor seating, sidewalk sales, etc.
- (b) *Noise:* Except as provided in 14-183(1)(iii)(2) (relating to Drive-throughs), the volume of sound, measured by a sound level meter with frequency weighting network (manufactured according to standards prescribed by the American Standards Association), generated shall not exceed sixty(60) decibels on the A scale between 7:00 a.m. and 9:00 p.m. and fifty-five (55) decibels on the A scale between 9:00 p.m. and 7:00 a.m., on impulse (less than one (1) second), at lot boundaries, excepting air raid sirens and similar warning devices.

→ JEANIE B OUNKE
RE: ITALIAN HERITAGE CTR
SPEC/LOADS FOR REF/FAZL ROOF?
WILL THIS SUFFICE? JL 767.4600? ①

John H Leasure

From: "Tom Aldrich" <tald31544@gmail.com>
To: "Kimberley McDonough" <ihcmgr@maine.rr.com>; <coreyele@maine.rr.com>; <jleasure@maine.rr.com>
Sent: Tuesday, October 07, 2008 10:15 AM
Attach: IHC Snow Load Info.pdf
Subject: Snow Loads

To all -

I am sorry that this has taken so long and I thank you for your patience.

I have been working with both MPH Group (manufacturer's rep for American Panel) and with American Panel, the walk-in's manufacturer. The cause for the delays from them is that neither of them, in their many, many years in the industry, have ever had this question asked of them. I would add that there are likely hundreds, if not more, of exterior walk-in boxes in Maine, many of those in Portland and vicinity, and no one can understand why at this time, the City of Portland requests this information.

That said, I have attached some data from the internet that has been referenced by American Panel. This data indicates that the ground snow load in Cumberland County, based on the 50 year mean recurrence interval is 70 psf (pounds per square foot). The other associated data indicates that roof snow load in generally figured at 70% of the ground load. Additionally, if the roof is un-heated, a factor of 1.2 is applied. This would indicate that the ROOF SNOW LOAD in Cumberland County would be in the range of 49-50 psf and for a flat roof the psf would be 58-60 psf. Naturally there are several mitigating factors such as frequency of interval of large/heavy snowfall, moisture content of snowfall, topographical differences and structural interference from surrounding buildings within a given county, proximity to moisture sources (i.e. - lakes, rivers, ocean), etc. meaning that, simply stated, there is no exact nor measurable data for the spot at which the proposed walk-in is to be installed.

Based on the above, however, it is the contention of American Panel and The MPH Group that the roof snow load for the walk-in in the proposed location is in a range of 58-60 psf. Please note that this information is not in the expertise nor purview of C. Caprara Food Service Equipment and we cannot guarantee the accuracy of the information. Please note, however, that the material is based on data from ASCE, the National Weather Bureau, and the National Science Foundation.

If you have any questions, please do not hesitate to contact me either by email or via cell phone at 650-6394.

Best regards,

Tom Aldrich
Account Manager
C. Caprara Food Service Equipment

OCT 7 2008

10/7/2008

JEANIE BOURKE
I.H.C.

(2)

John H Leasure

JOHN LEASURE ✓ 767 4600

From: "Tom Aldrich" <tald31544@gmail.com>
To: "Kimberley McDonough" <ihcmgr@maine.rr.com>; <coreyele@maine.rr.com>;
 <jleasure@maine.rr.com>
Sent: Thursday, October 02, 2008 3:02 PM
Subject: Walk-in

All -

I am still waiting for the info on snow load and have been assured I'll have it today at which point I will forward same to you all.

In the meantime and trying to anticipate the next question(s) they might pose to you, I will list the following information:

- 1.) All panels are 4" foamed-in-place urethane with a flame spread rate of 20
- 2.) All wall and ceiling panels (interior and exterior) are finished in .032" Stucco Aluminum
- 3.) Floor finish is .100" smooth aluminum
- 4.) Total exterior size of the box is 9'8" X 25'0" X 7'6"
- 5.) Exterior door to kitchen is supplied with a lockable deadbolt handle with safety release.

Hopefully that will cover any potential future questions.

Again, I'll relay the information re snow load once I get it.

Regards,

Tom Aldrich

OCT 7 2008

10/3/2008

Oct 07 08 11:57a John H

207-767-4600

p. 1

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
Six Q Street
South Portland, ME 04106

Telephone 207 767-4830

Letter of Transmittal

To: Jeanie Bourke Date: 9-17-08 Job # 28125
Portland Code Enforcement Office
Re: Italian Heritage Center - Repair and Renovation

☐ Shop Drawings ☐ Prints ☐ Plans ☐ Specifications ☐ Copy of letter ☒ Other

Copies	Date	No	Description
1	9-15-08	1	Intro letter
1	9-15-08	1	Statement of Special Inspections
1	9-15-08	1 - 5	Schedule of Inspections and Testing Agencies
1	9-15-08	1	Contractor's Statement of Responsibility
1	9-15-08	SK1-SK2	Foundation Plan and Details for Cooler/Freezer

These are transmitted as checked below:

☐ For approval

☒ For your use

☐ As requested

☐ For review and comment

☐ Approved as submitted

☐ Approved as noted

☐ Returned for corrections

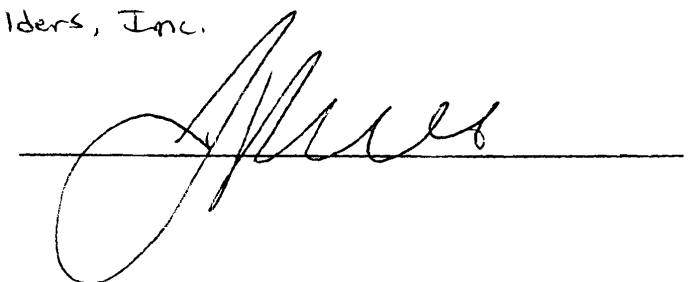
☐ Resubmit: _____ copies for approval

Remarks:

Copy To: John Leasure Arch., Inc. Signed: _____

Martin Joyce, Italian Heritage Center, Inc.

Todd Rothstein; Great Falls Builders, Inc.



SEP 19 2008

L & L STRUCTURAL
ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

September 15, 2008

John Leasure
John Leasure Architects, Inc.
12 Littlejohn Road
Cape Elizabeth, Maine 04107

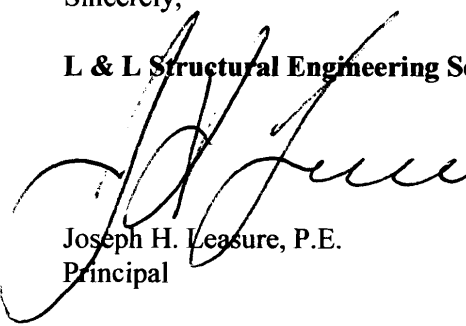
Subject: Italian Heritage Center – Repair and Renovation

Dear John,

Attached is the information required to obtain a building permit. We have sent a copy to Martin Joyce of Italian Heritage Center Inc., Todd Rothstein of Great Falls Builders, Inc., and Jeannie Bourke of the Portland Code Enforcement Office.

Sincerely,

L & L Structural Engineering Services, Inc.



Joseph H. Leasure, P.E.
Principal

Cc: Martin Joyce; Italian Heritage Center Inc.
Todd Rothstein; Great Falls Builders, Inc.

STATEMENT OF SPECIAL INSPECTIONS

PROJECT: ITALIAN HERITAGE CENTER –REPAIR AND RENOVATION
LOCATION: 40 Westland Avenue, Portland, Maine 04102
PERMIT APPLICANT: Italian Heritage Center, Inc.
APPLICANTS ADDRESS: 40 Westland Avenue, Portland, Maine 04102

STRUCTURAL ENGINEER OF RECORD: Joseph H. Leasure, P.E. L&L Structural Engineering Services, Inc.
Name Firm

ARCHITECT OF RECORD: John H. Leasure John H. Leasure, Architects Inc.
Name Firm

This Statement of Special Inspections is submitted in accordance with **CHAPTER 17** of the 2003 International Building Code (IBC 2003). It includes a listing of special inspections applicable to this project, as well as, the name of the Special Inspector(s), and the names of other agencies intended to be retained for conducting these inspections. We have also included a Quality Insurance Plan for Seismic Resisting Systems and Components.

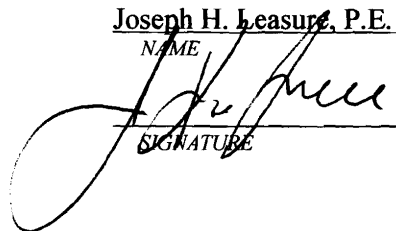
The special inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Code Official and to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected the discrepancies shall be brought to the attention of the Code Official and the Registered Design Professional of Record. Interim reports shall be submitted to the Code Official and Registered Design Professional of Record monthly, unless more frequent submissions are requested by the Code Official.

Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed. The special inspections on this project shall be provided by: L & L Structural Engineering Services, Inc. (Agent #1) and the soils, foundations, concrete, and structural steel testing is to be determined (Agent #2).

Prepared BY:

Joseph H. Leasure, P.E.

NAME



SIGNATURE

9/15/08

DATE

Applicant's Authorization:

Building Code Official:

SIGNATURE

DATE

SIGNATURE

DATE

Schedule of Inspections and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Special Inspection Coordinator	<i>L&L Structural Engineering Services, Inc.</i>	<i>Six Q Street South Portland, Maine 04106 Tel: (207) 767-4830 Fax: (207) 799-5432</i>
2. Inspector #1	<i>L&L Structural Engineering Services, Inc.</i>	<i>Six Q Street South Portland, Maine 04106 Tel: (207) 767-4830 Fax: (207) 799-5432</i>
3. Inspector #2		
4. Inspector #3		
5. Testing Agency #1	<i>TBD</i>	<i>TBD</i>
6. Testing Agency #2		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category	<i>II / Site Class 'D'</i>
Quality Assurance Plan Required (Y/N)	<i>Y</i>

Description of seismic force resisting system and designated seismic systems:

The Seismic resisting system consists of Structural Steel Moment Frames as part of the existing Pre-Engineered Structural Steel Building System.

Testing and observation as required by the Schedule of Special Inspections shall be submitted to the Engineer of Record on a monthly basis.

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)	<i>100 mph</i>
Wind Exposure Category	<i>C</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

Description of wind force resisting system and designated wind resisting components:

The Wind resisting system consists of Structural Steel Moment Frames as part of the existing Pre-Engineered Structural Steel Building System.

The Quality assurance plan is not required per IBC 2003, 1706.1.1. paragraph 1.

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility to the Engineer of Record for distribution.

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS EIFS Third Party Inspector

Other

SCHEDULE OF SPECIAL INSPECTIONS

Project: Italian Heritage Center - Renovation (Level 1 Special Inspection per IBC 2003 Section 1708)

Page: 1 of 4

9/15/2008

MATERIAL/ ACTIVITY	ITEM	SERVICE		APPLICABLE TO THIS PROJECT				
			Y/N	EXTENT & FREQUENCY	Agency Required Qualifications	AGENT #	DATE COMPLETED	REV #
1704.8 PILE FOUNDATIONS								
Pile Driving	1.01	Observe Pile driving and maintain driving log per project specifications	N	Continuous field inspection				
Pile Splicing	1.02	Observe splicing during welding operation	N	Continuous for all splices				
Pile load test	1.03	Observe load test		Continuous during test				
1704.4 CONCRETE CONST.	1.04							
Reinforcing Bars	1.05	Review bar size, location & splice length as indicated on the approved shop drawing and design drawings	Y	Freq: Prior to each Conc. placement		1		
Column Anchor Bolts	1.06	Review size and location prior to Concrete Placement	Y	Freq: Prior to Conc. Placmeent				
Concrete mix design	1.07	SER shall review and approve mix to be used on the project	Y	Freq: Once prior to Conc Placement		1		
Concrete Placement and Strength	1.08	Sample fresh concrete at time of placement in accordance w/ the project drawings & specification for Stregth tests, Slump, Air Content and concrete temperature.	Y			2		
Concrete Placement Techniques	1.09	Inspect placement of fresh concrete (ACI 318: 5.9, 5.10)	Y	Freq: Perform after concrete footing and wall placement.		1		
Concrete Curing Techniques	1.1	Review compliance w/ project specifications (ACI 318: 5.11-5.13)	Y	Review after each placement		1		
Precast Struct. Members	1.11	Submittal of design calculations for review by the SER.	N					
Erection of Precast Members	1.12	Review the precast members for conformance w/ the approved shop drawings.	N					

SCHEDULE OF SPECIAL INSPECTIONS

Project: Italian Heritage Center - Renovation (Level 1 Special Inspection per IBC 2003 Section 1708)

Page: 2 of 4

9/15/2008

MATERIAL/ ACTIVITY	ITEM	SERVICE APPLICABLE TO THIS PROJECT						
			Y/N	EXTENT & FREQUENCY	Agency Required Qualifications	AGENT #	DATE COMPLETED	REV #
1704.5 MASONRY CONST.								
Mortar	1.13	Review proportions of site prepared mortar (ACI 530)		Freq: Periodically				
Mortar Joints	1.14	Review construction of mortar Joints		Freq: Periodically				
Masonry Elements	1.14	Verify size and location of structural elements	N	Freq: Periodically				
Anchors & Anchorage	1.16	Verify anchors and anchorage per structural drawings	N	Freq: Periodically				
Masonry Reinforcement	1.17	Verify size and grade of reinf.	N	Freq: Periodically				
Protection of Masonry	1.18	Verify that adequate protection of the masonry is being maintained during cold weather construction	N	Freq: Periodically				
Grout space and reinf	1.19	Verify that the grout space is clean and reinforcement placement is accurate.	N	Freq: Periodically				
Grout Placement	1.20	Verify that conformance with the design documents	N	Freq: Continuous during task				
Grout Specimens	1.21	Verify specimens meet the project specifications	N	Freq: Continuous during task				
Masonry Shop Drawings	1.22	Verify compliance with the Masonry shop drawings	N	Freq: Periodically				
1708.4 STRUCT. STEEL								
Steel Fabrication	1.23	Submit Manuf. Cert. Mill Test Reports	N					
	1.24	Submit welders certification	N					
Weld Inspection	1.25	Inspection of field welded conn's	y	Radiographic Testing of Random Sample of all Welds in each steel frame		2		
Structural Steel								
Joint Detail Compliance	1.26	Review joint details for Compliance w/ approved const. document.	Y	Perform a visual inspection on 50% of all joints.		2		
w/ approved Const Doc's								

SCHEDULE OF SPECIAL INSPECTIONS

Project: Italian Heritage Center - Renovation (Level 1 Special inspection per IBC 2003 Section 1708)

Page: 3 of 4

9/15/2008

MATERIAL/ ACTIVITY	ITEM	SERVICE		APPLICABLE TO THIS PROJECT					
			Y/N	EXTENT & FREQUENCY	Agency Required Qualifications	AGENT #	DATE COMPLETED	REV #	
1704.7 SOILS									
Site Preparation	1.27	Verify that the site has been prepared in compliance with the approved soils report.	Y			2			
Fill Placement	1.28	Verify that the maximum fill lift is in compliance w/ the design documents, as well as, materials.	Y			2			
Soil compaction	1.29	Verify that the in-place dry density is in compliance with the design drawings.	Y			2			
LIGHT GAGE FRAMING									
Wall Studs	1.30	Review studs for material grade, zinc coating, plumbness and squareness in track as indicated on the approved shop drawings.	N						
Roof joists	1.31	Review joists for material grade, zinc coating, spacing and special connections for conformance with approved shop drawings.	N						
Roof Trusses	1.32	Review truss for material grade, gage zinc coating, spacing and special connections for conformance with approved shop drawings.	N						
MECHANICAL SYSTEMS									
	1.33	Review of the HVAC roof top unit anchorage and submit manufacturers certificate stating compliance with resisting the seismic load on the unit	N						

[illegible]

Project: Temple Bet Ha'am Synagogue (Level 1 Special inspection per IBC 2003 Section 1708) Page: 4 of 4 8/8/2008

Page: 4 of 4

8/8/2008

Contractor's Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility.

Project: Italian Heritage Center - Repair and Renovation
Address: 40 Westland Avenue, Portland, Maine 04102

Contractor's Name: Great Falls Builders, Inc.
Address: 20 Mechanics Street, Gorham, Maine 04038

License No.:

Description of designated building systems and components included in the Statement of Responsibility:

Subsurface and Backfill Soils including Gradation and Compaction
Concrete Foundation System including Steel Reinforcing and Accessories
Structural Steel Frame including Connections and Accessories

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

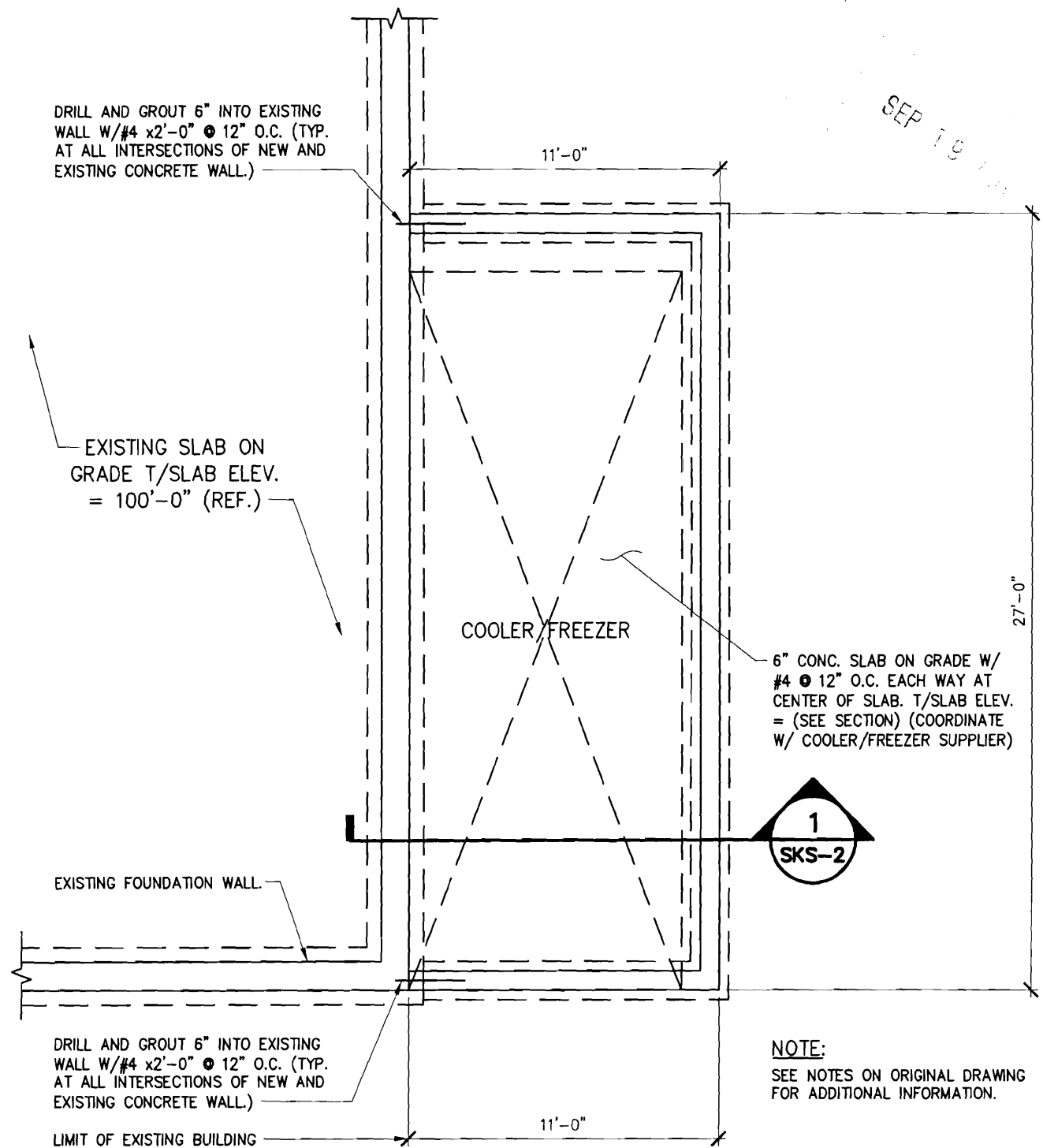
Signature

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.



PARTIAL FOUNDATION PLAN

3/16" = 1'-0"

27168

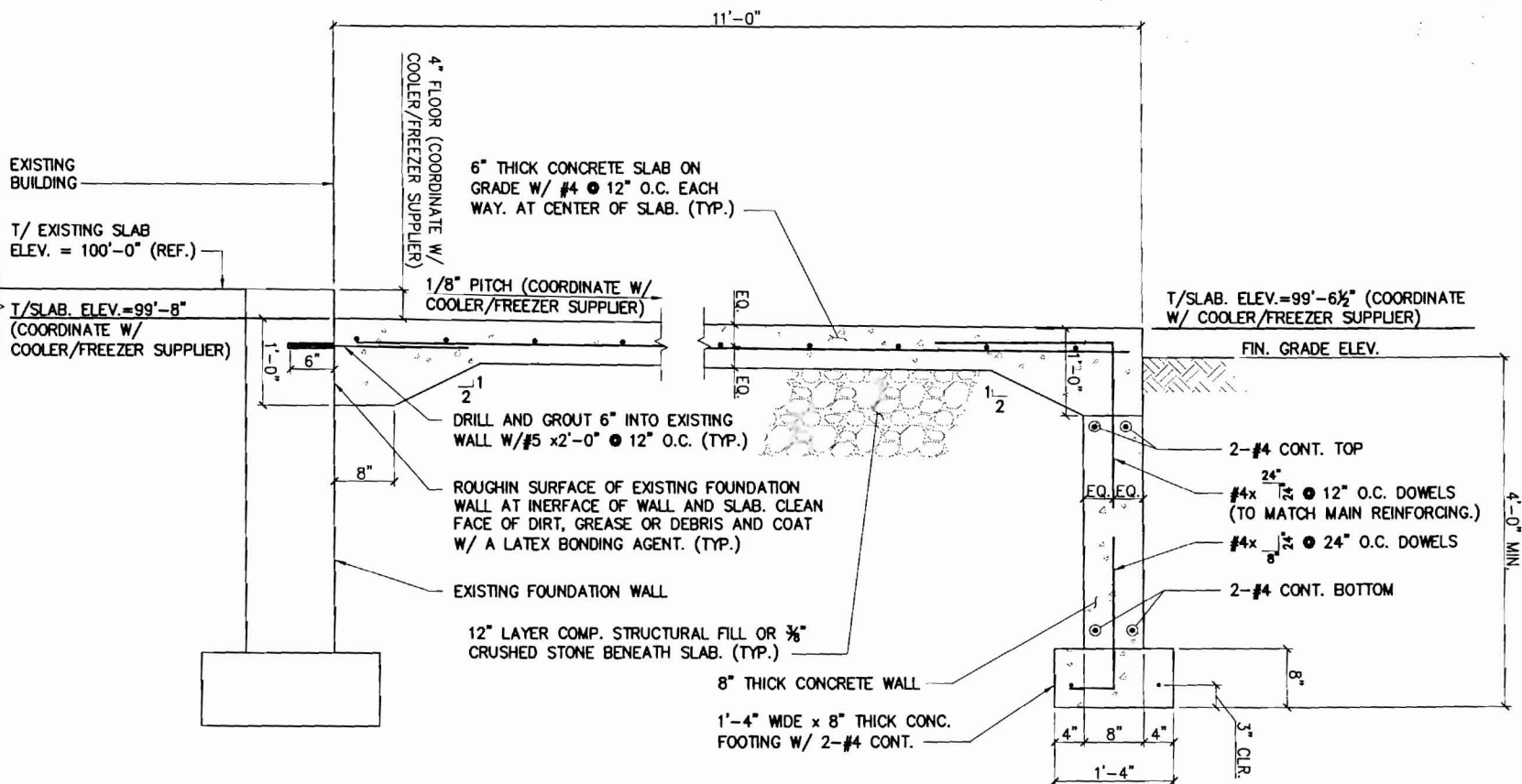
designed by:	JHL	ITALIAN HERITAGE CENTER-ADDITION 40 WESTLAND AVE. PORTLAND, MAINE
drawn by:	KSP	
checked by:	JHL	
scale:	3/16" = 1'-0"	
date:	09/16/08	PARTIAL FOUNDATION PLAN

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
FAX: (207) 799-5432
EMAIL: LLENG@AOL.COM

SKS-1

SEP 19 2008



SECTION 1
1/2" = 1'-0"
SKS-1

27168

designed by:

JHL

drawn by:

KSP

checked by:

JHL

scale: 1/2" = 1'-0"

date: 09/16/08

ITALIAN HERITAGE CENTER-ADDITION
40 WESTLAND AVE.
PORTLAND, MAINE

FROST WALL SECTION

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
FAX: (207) 799-5432
EMAIL: LLENG@AOL.COM

SKS-2

Applicant: Italian Heritage Center

Date: 8/26/08 (9/9/08)

Address: 40 Westland Ave.

C-B-L: 191-B-018.

perm. # 08-1023

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-2 (abotts B5)

Interior or corner lot -

Proposed Use/Work - 24'x8' addition on rear.

Sevage Disposal -

Lot Street Frontage -

Front Yard - N/A

Rear Yard - where abotts residential zone - 20' min. - 38' scaled.

Side Yard - " - 10' - 65' on right

Projections -

Width of Lot -

Height -

Lot Area - 93,330

Lot Coverage Impervious Surface - 80% 74,664 (18,666) N/A addition

Area per Family -

going on existing
pavement.

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

ITALIAN HERITAGE CENTER PERMIT INFO

PLEASE SEND TO:

JOHN H LEASURE ARCHITECT, INC
SIX Q STREET, SO. PORTLAND, MAINE 04107

&

GREAT FALLS BLDRS
20 MECHANIC ST, GORHAM, ME 04038

&

MR MARTY JOYCE
% MERRILL LYNCH
350 FORE ST, PORTLAND, ME 04101



Certificate of Design

Date: _____

From: _____

JOHN H. LEASURE

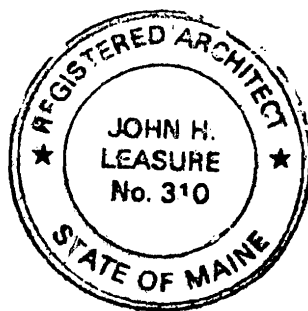
These plans and / or specifications covering construction work on:

THE ITALIAN HERITAGE CENTER

40 WESTLAND AVE, PORTLAND, MAINE 04

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

(SEAL)



Signature: _____

Title: _____

Firm: _____

Address: _____

Phone: _____

John H. Leasure
ARCHITECT ME 310

JOHN H. LEASURE ARCHT INC.

SIX Q ST, So. PORT, ME.

767 4600

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

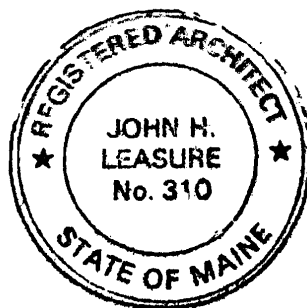
Designer: JOHN H. LEASURE ARCH'T, INC.

Address of Project: 40 WESTLAND AVE, PORT, ME.

Nature of Project: REMODELING OF INTERIOR

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)



Signature: John H. Leasure

Title: ARCHITECT/Pres.

Firm: JOHN H. LEASURE ARCH'T INC.

Address: SIX Q ST, DO. PORTLAND
MAINE 04103

Phone: 767 4600

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

L + L

From Designer:

JOHN H. LEASURE ARCHITECT, ME 310

Date:

Job Name:

ITALIAN HERITAGE CENTER

Address of Construction:

40 WESTLAND AVE, PORTLAND, ME. 04102

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) _____

Type of Construction PROTECTED NON-COMBUSTIBLE

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC App'd Hydrant-Pro

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO!

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, I_w table 1604.5, 1609.5
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D & S_{D1} (1615.1)
- _____ Site class (1615.1.5)

- _____ Live load reduction
- _____ Roof live loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R and deflection amplification factor C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

FIRE DEPARTMENT OF PORTLAND, MAINE

Permitting requirements for this Department:

1. **Italian Heritage Center (Alterations & Additions)**
40 Westland Ave, Portland, Maine
Mr. Martin Joyce, chmn of building committee
Tel: 871 1995
Architect- John H Leasure Architect, Inc
Six Q Street, South Portland, Maine
Tel: 767 4600
2. **Structure is used as a Membership Club and two ballrooms rented for dancing and food service**
NFPA 101 and IBC 2003 classification
3. **14,900 sf existing plus 2,900 sf of new additions-**
Total new floor area = 17,800 sf.
4. **Structure is protected with a Hydro-Pro sprinkler system which has been approved by Fire Marshal (see enclosed letter from Steve Dodge)**
5. **Egress Fire Ratings**
Ballroom longest travel distance 136 ft
Fire Extinguishers - See sheet A1
Emergency Lites- See E1 - Elec. Plan
Exit Signs - See E1
NFPA Summary

not part of
this application

From: Jon Smith at Great Falls <jon@greatfallsinc.com>
To: John H Leasure <jleasure@maine.rr.com>
Date: 9/10/2008 4:41:43 PM
Subject: Italian Heratige Center

Hi John,

I spoke with Jeanie earlier and will summarize the list of items she needs addressed and/or clarification of. Please address asap so she has what she needs to issue a permit.

- 1 Details on addition for coolers are missing. Foundation, slab, cooler type, etc.. Please provide details.
- 2 This is under 500 sf so it should qualify for a site plan exemption. The form has been filled out but we should be sure there is no action required by us at this point.
- 3 In the rated lobby area, the doors do not appear to be rated????? Also, the rating does not include the coat closet and the coat closet doors do not appear to be rated. Please clarify.
- 4 There are multiple hexagon shapes on the plan and she request labeling them so she knows what they are.
- 5 The details at wall in room 128 are unclear. Please clarify the intent.
- 6 New bars need to show layout of fixtures so they can be reviewed for food safety codes.
- 7 At bar number 1 the construction details are unclear for the wide opening.
- 8 Need to submit a statement of special inspections for the welding portion of the project. Joe Leasure can perform the inspections and produce the reports but a statement of special inspections needs to be submitted with the revised plans in order to receive the permit.
- 9 Under the existing stairs 112, she needs confirmation on the protection or a detail showing what is needed to provide protection.

I think this completes the list we discussed. Please contact me when you are working on revising the plans.

Thanks, Jon

--
Jonathan Smith
Great Falls Construction, Inc
20 Mechanic Street
Gorham, ME 04038

(207)839-2744 office
(207)839-3737 fax
(207)329-5825 cell
www.greatfallsinc.com

CC: Jeanie Bourke <jmb@portlandmaine.gov>, Todd Rothstein <todd@greatfallsinc.com>

From: <acdc1@atlanticbb.net>
To: <jmb@portlandmaine.gov>
Date: 9/11/2008 3:33:17 PM
Subject: Italian Heritage Center.....

Jeannie, I am in central penna but I am online today...my cell is 207-838-6168 email: acdc1@atlanticbb.net
I will try to expedite IHC PERMIT, IF POSSIBLE...
YOUR EMAIL LETTER TO JON @ GREAT FALLS, INC...
L+L AND TODD/GFI 1. COOLER DETAILS? PROVIDE COOLER TYPE, FOUNDATION DTLs AND SLAB DETAILS TO JEANNIE BOURKE.

2. OK

3. All doors in Lobby and Great Room are indicated 1 hr/ Class B rated. Coat room doors are also Class B (coat room doesn't have to be rated) This is indicated on first sheet of dwgs at left of center??

4. Hex shapes are existing fire extinguishers.

5. Will furnish wall details as soon as we can tear existing out and find out what is already there??

Owner/Todd/?? 6. Need layout of new bar fixtures (two bars) for food safety code requirements.

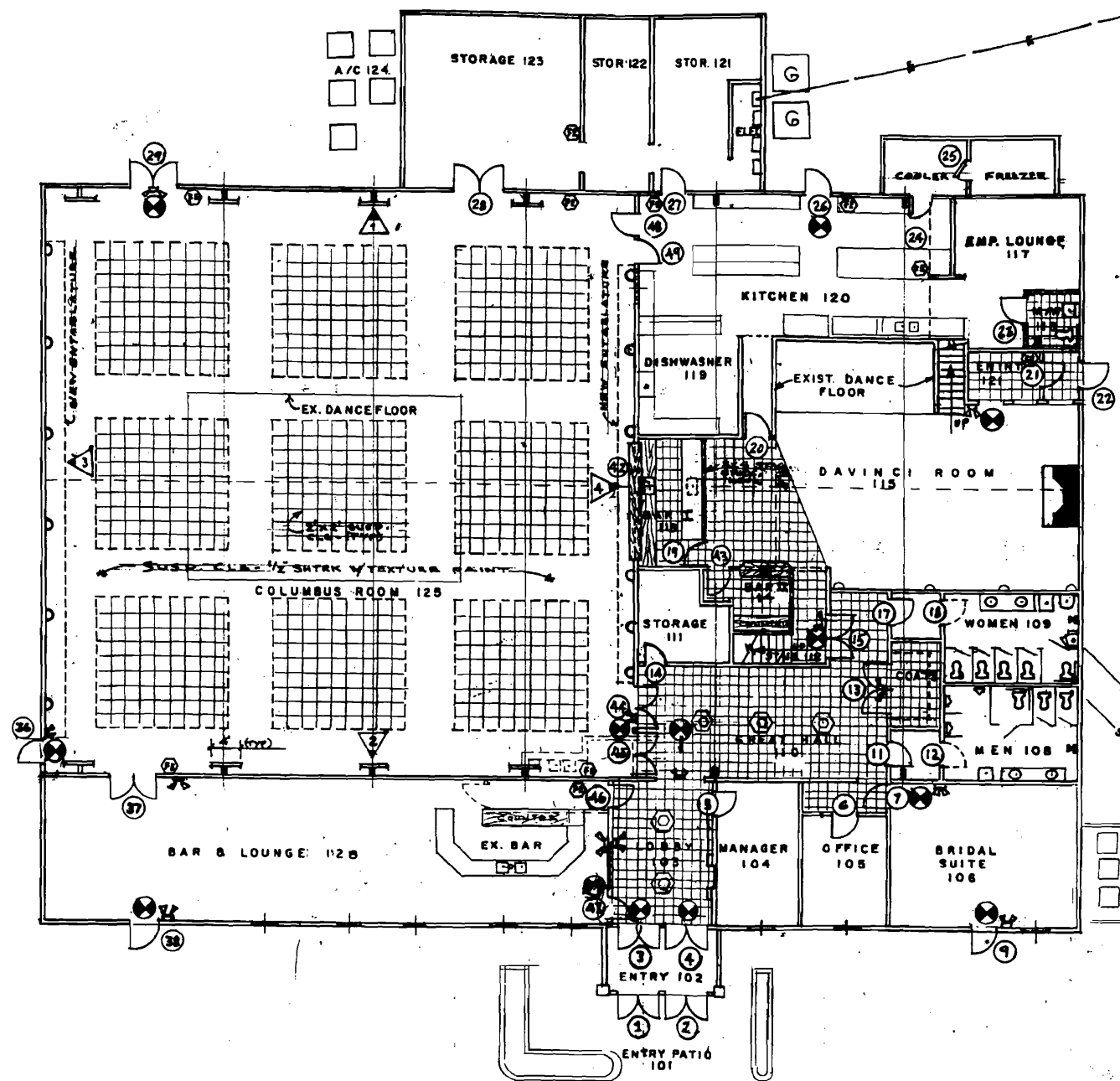
7. Will supply details of headers required when we can tear out existing and review same with L and L Engineering.

L & L Eng 8. Submit SPECIAL INSPECTION FORMS for welding permit to City.

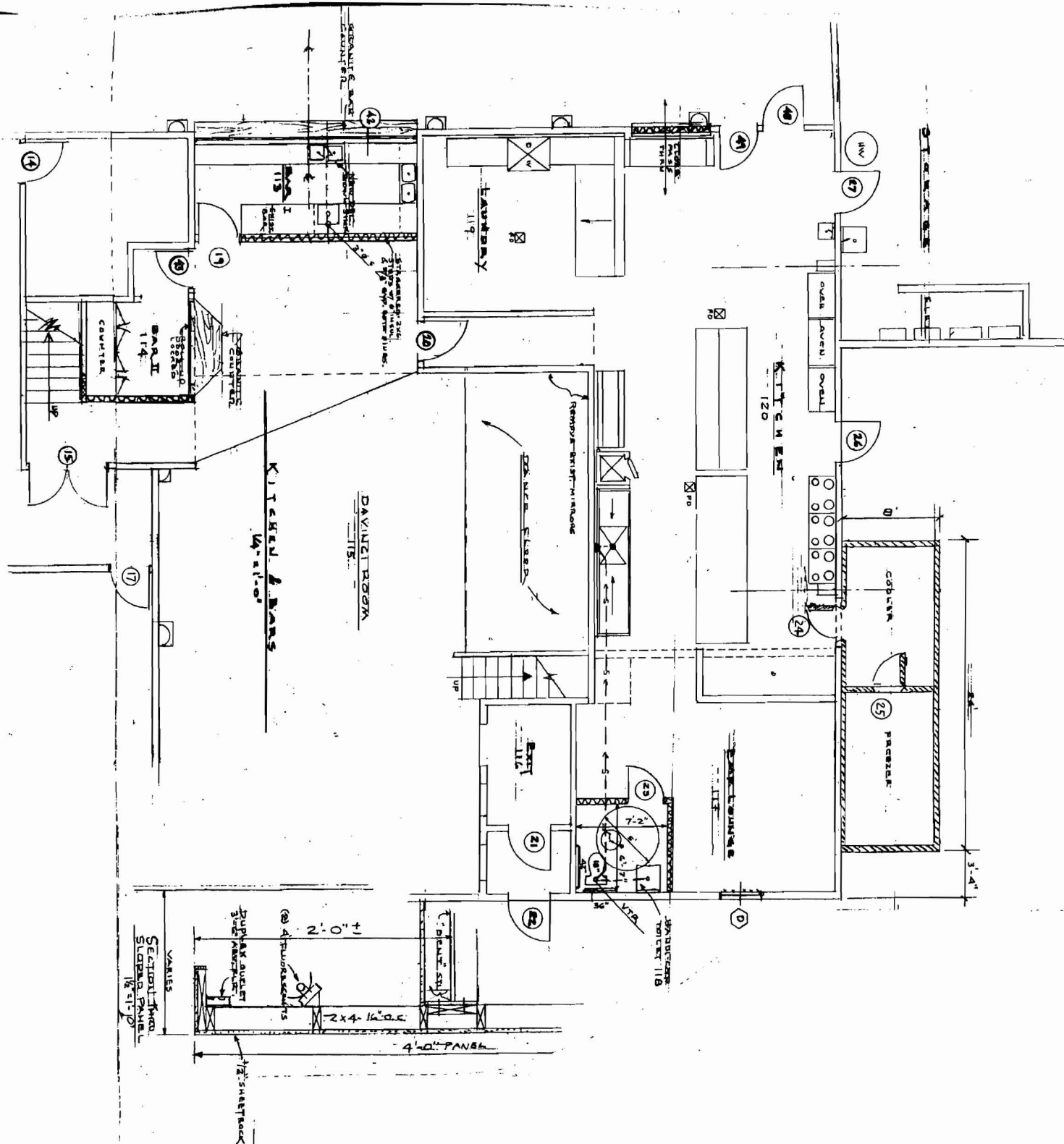
9. Underside of stair 112 will receive two layers of 5/8" fc sht rock separated by Z or high hat spacers approx. 2' oc.

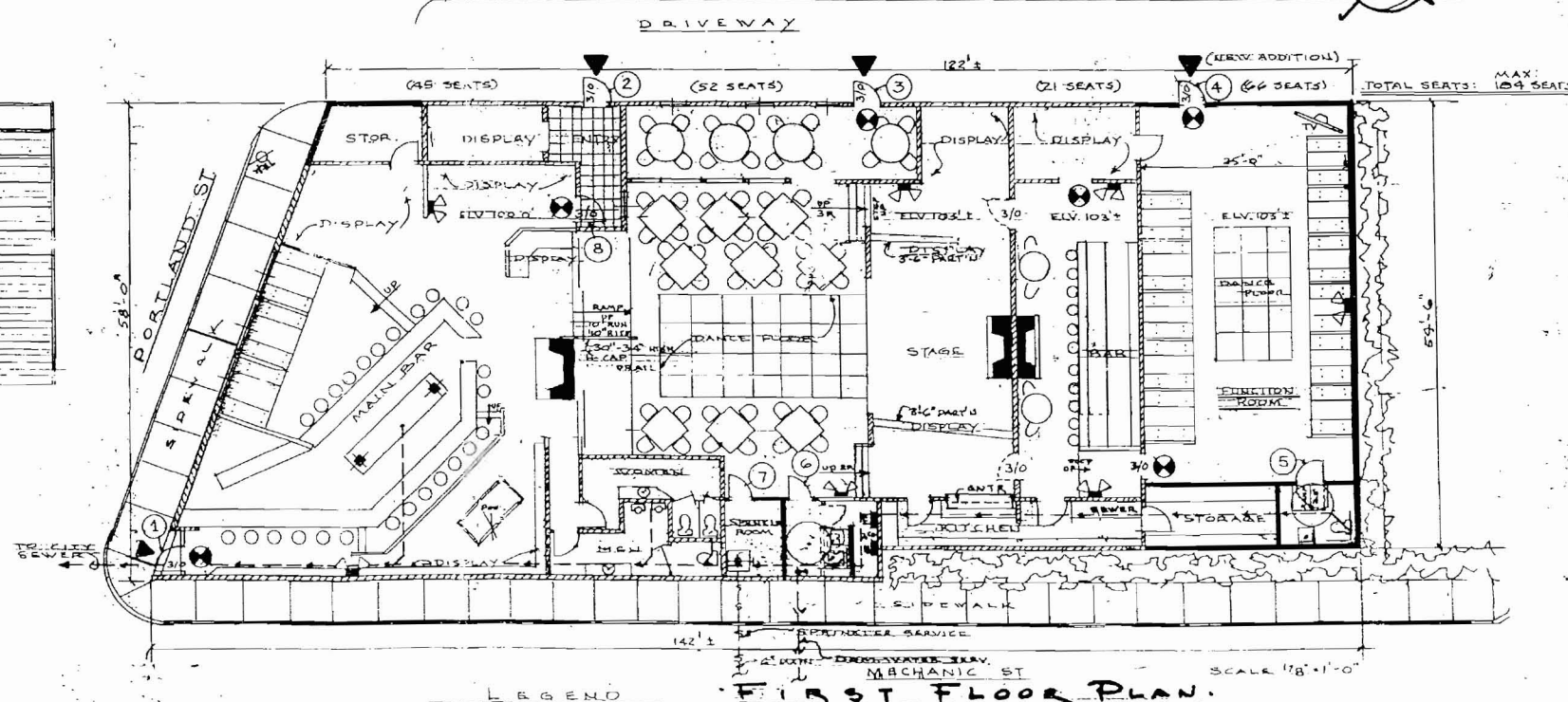
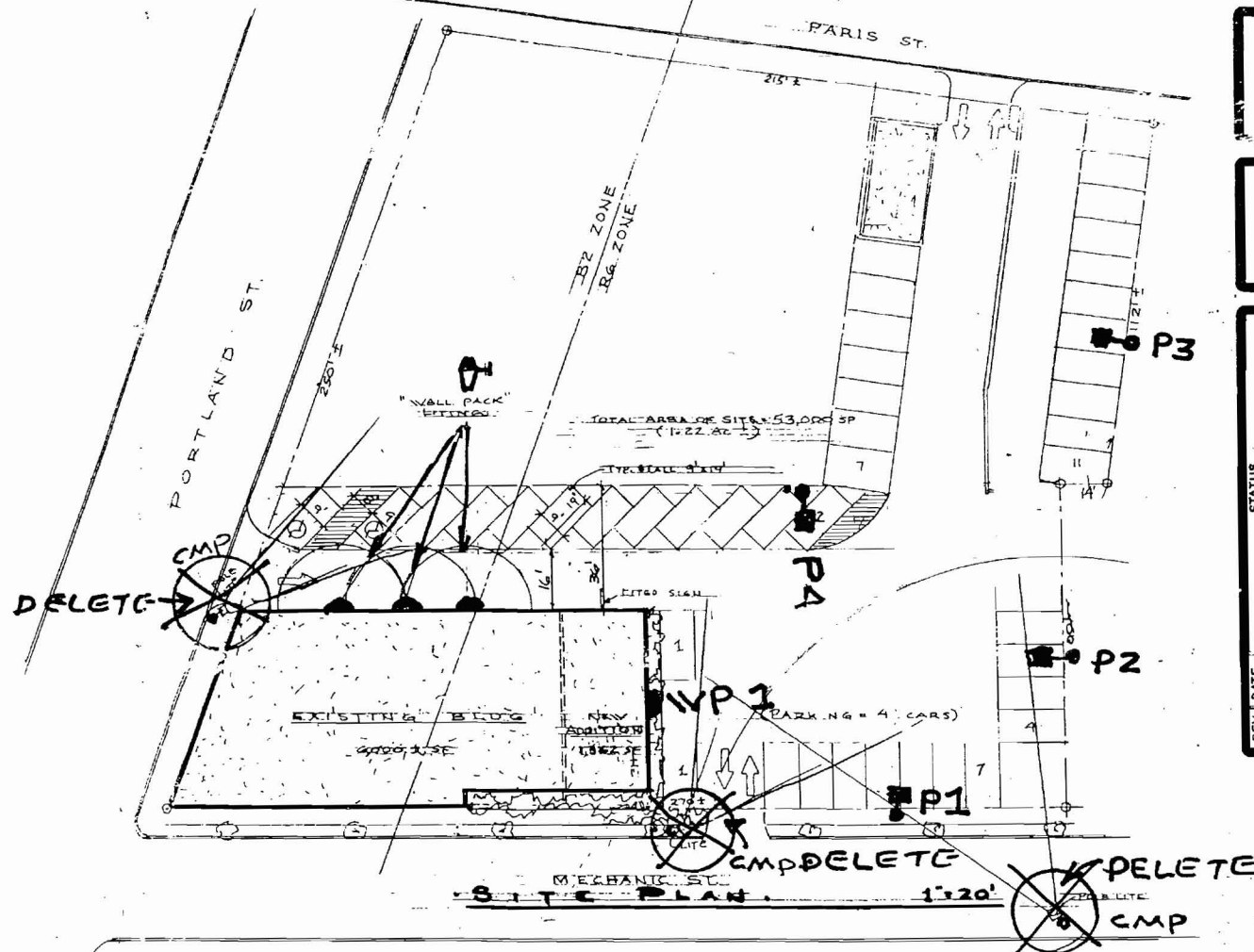
JOHN H LEASURE ARCHITECT, INC
sept 11,2008 alias 911

CC: <jleasure@ll-eng.com.>, <todd@greatfallsinc.com.>, <jon@greatfallsinc.com.>, <martin_joyce@ml.com>



First Floor Plan
1/8"=1'-0"





LEGEND

EXISTING FLOOR AREA: 6,210 SF

NEW FUNCTION ROOM AREA: 1,362 SF

TOTAL FLOOR AREA: 7,572 SF

BUILDING IS FULLY SPARKLERED

ZONE: B2 & R6

~~JANUARY 25, 2008~~ ~~REV: APRIL 3, 2008~~

Bubba's Sulky Lounge Addition
Portland & Mechanic Street
Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

SEP 25 2003

BUBBA - 200.15

A. I.

• NEW EXT LIGHTING PLAN • 10/11/92008

Jennie Bank

-10°F Freezer, 35°F Cooler

~SPECIFICATIONS~

BOX HEIGHT: 7'-6" OVERALL

CONSTRUCTION: FOAMED IN PLACE
NSF LISTED, STANDARD NO. 7

INSULATION: 4" URETHANE, FINISHED PANEL
UL CLASSIFIED FLAME SPREAD 20
CORE SMOKE DEVELOPED 300

INSTALLATION: OUTDOOR

FREEZER - 4" FOAMED-IN-PLACE

FLOOR: COOLER - 4" FOAMED-IN-PLACE

DOOR HARDWARE & ACCESSORIES: DEADBOLT LOCKING PULL HANDLE W/INSIDE RELEASE
(EXTERIOR DOORS ONLY)

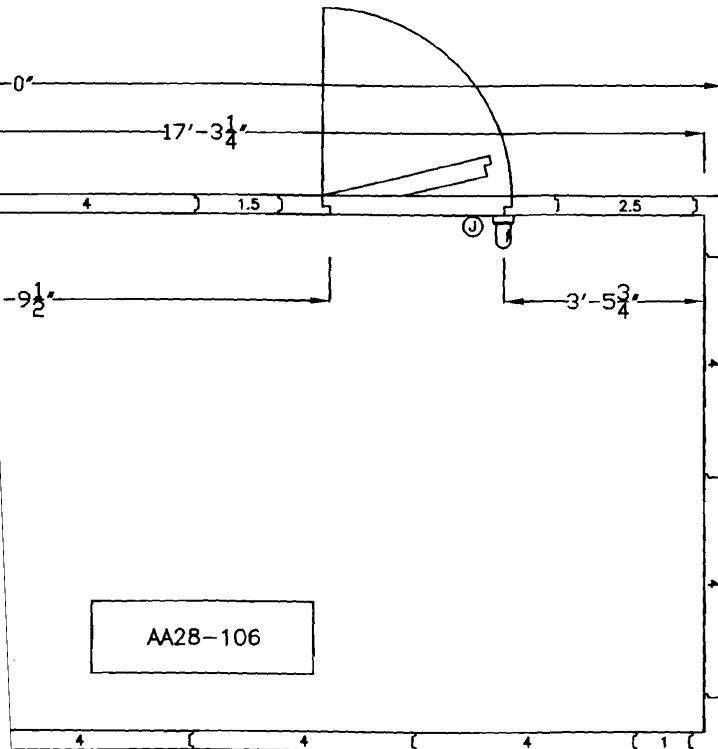
FRAME HEATER WIRE
HYDRAULIC DOOR CLOSER
ROCKER TYPE LIGHT SWITCH W/PILOT
INCANDESCENT VAPOR PROOF LIGHT FIXTURE
2 - STD. CAM LIFT HINGES
STD. DIAL THERMOMETER
1 - PRESSURE RELIEF VENT(S)

METAL FINISHES: INTERIOR WALLS - .032 STUCCO ALUMINUM
INTERIOR CEILING - .032 STUCCO ALUMINUM
EXPOSED EXTERIOR - .032 STUCCO ALUMINUM
UNEXPOSED EXTERIOR - .032 STUCCO ALUMINUM
EXTERIOR FLOOR & CEILING - 26 GA. STUCCO GALV. STEEL
INTERIOR FLOOR - .100 SMOOTH ALUMINUM

REFRIGERATION: U.L. LISTED, AIR COOLED, OUTDOORS
LEFT COMPARTMENT: CONDENSING UNIT: 1 - STD. PRE-ASSEM. REMOTE, 1.50 HP HERMETIC,
MODEL NO. AWA2464ZXTXC(2B3225-9) (R404A)
EVAPORATOR: 1 - MODEL NO. AE16-46

RIGHT COMPARTMENT: CONDENSING UNIT: 1 - STD. PRE-ASSEM. REMOTE, 1.01 HP HERMETIC,
MODEL NO. F3AM-A105-TFC-001 (R22)
EVAPORATOR: 1 - MODEL NO. AA28-106

REFRIGERATION ACCESSORIES: 2 - GALVANIZED WEATHER COVER
2 - WINTERIZATION CONTROLS /W LASA
2 - MEMBRANE MOUNTING CURBS



35°F COOLER
w/ 4" Floor

16". Verify site restrictions.
shown on drawing. Drawing is for illustration purposes only.

⊕ = POINT OF ELECTRICAL CONNECTIONS.

LEFT COMPARTMENT	VOLTAGE/PHASE	AMPS
CONDENSING UNIT	208/230/60/3	8.4
EVAPORATOR COIL	208/230/60/1	1.4(Fans)/4.8(Htr)
RIGHT COMPARTMENT		
CONDENSING UNIT	208/230/60/3	9.3
EVAPORATOR COIL	208/230/60/1	2.2(Fans)/0(Htr)
WALK-IN DOORS: 115v/1ϕ - 350w		

American Panel

American Panel Corporation
5800 S.E. 78th St, Ocala, FL 34472
Ph (352) 245-7055 Fax (352) 245-0726

Customer: C. CAPRARA

Project: IHC

Date: 9/17/2008

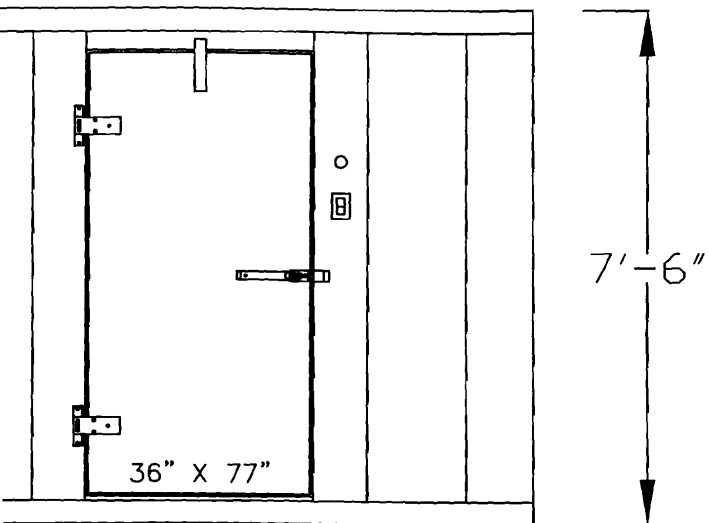
Drawn By: Jane Roach

Scale: NTS

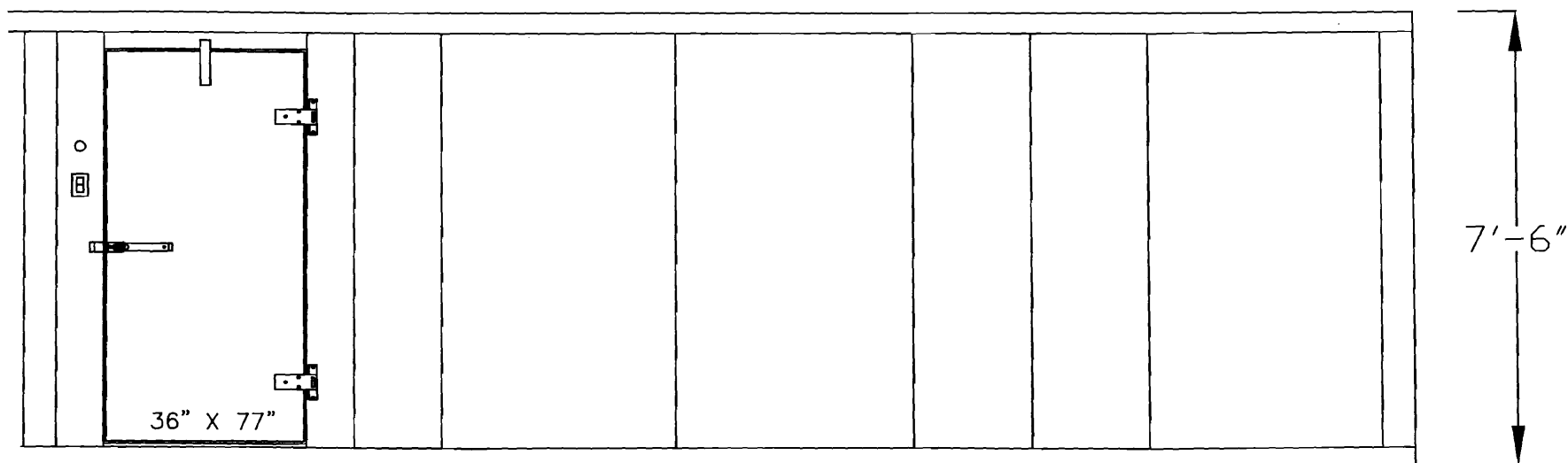
A.P.C. #: ADJ090308B

SEP 25 2003

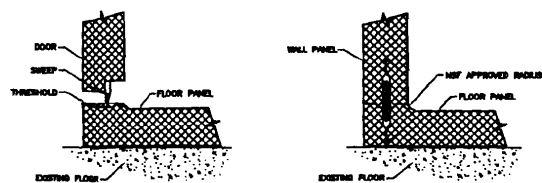
Elevation



-10°F Freezer



35°F Cooler



35°F Cooler



American Panel Corporation
5800 S.E. 78th St, Ocala, FL 34472
Ph (352) 245-7055 Fax (352) 245-0726

Customer: C. CAPRARA

Project: IHC

Date: 9/17/2008

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Scale: NTS

A.P.C. #: ADJ090308B

Project Name: IHC

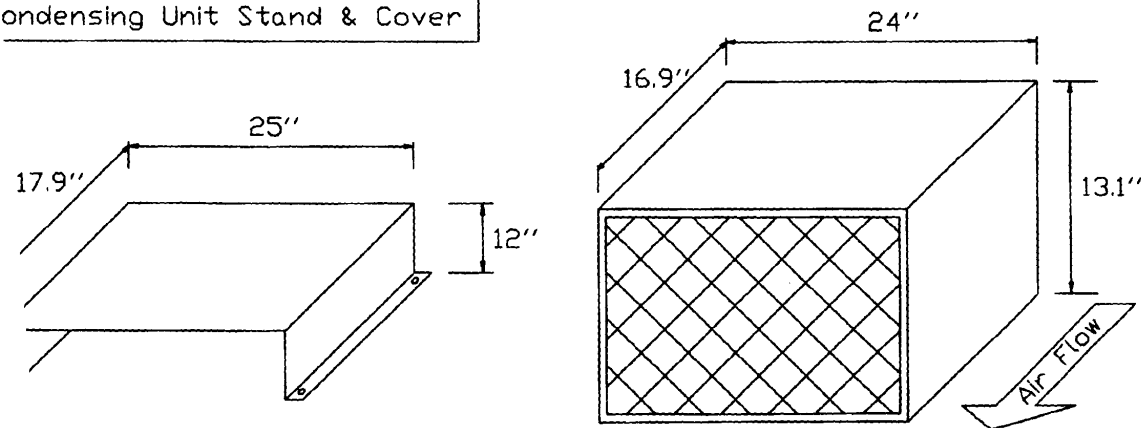
APC Quote #: J090308B

35°F Cooler

1 Condensing Unit(s) w/ 1 evaporator coil(s).

Quoting a 'Pre-Assembled Remote' refrigeration system. All controls are factory mounted. Labor warranties, line sets and refrigerant by others.

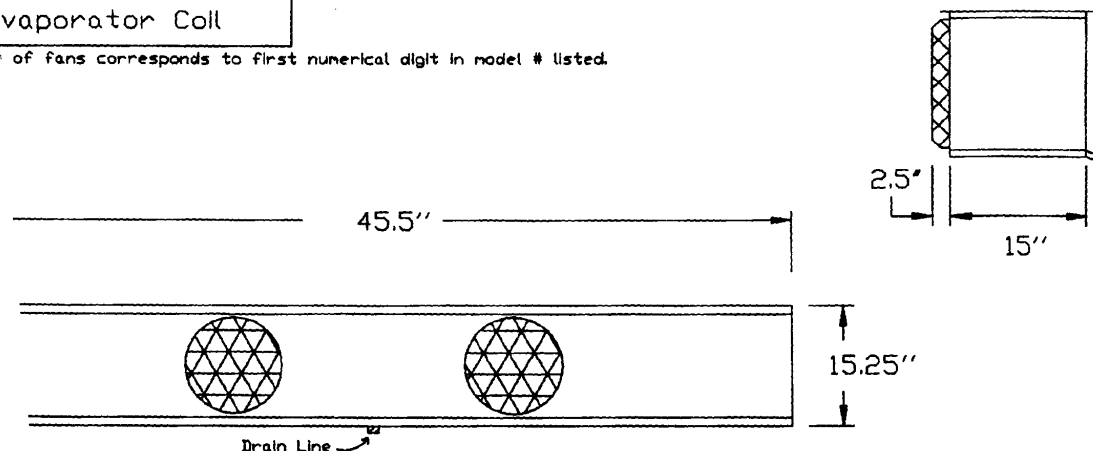
Condensing Unit Stand & Cover



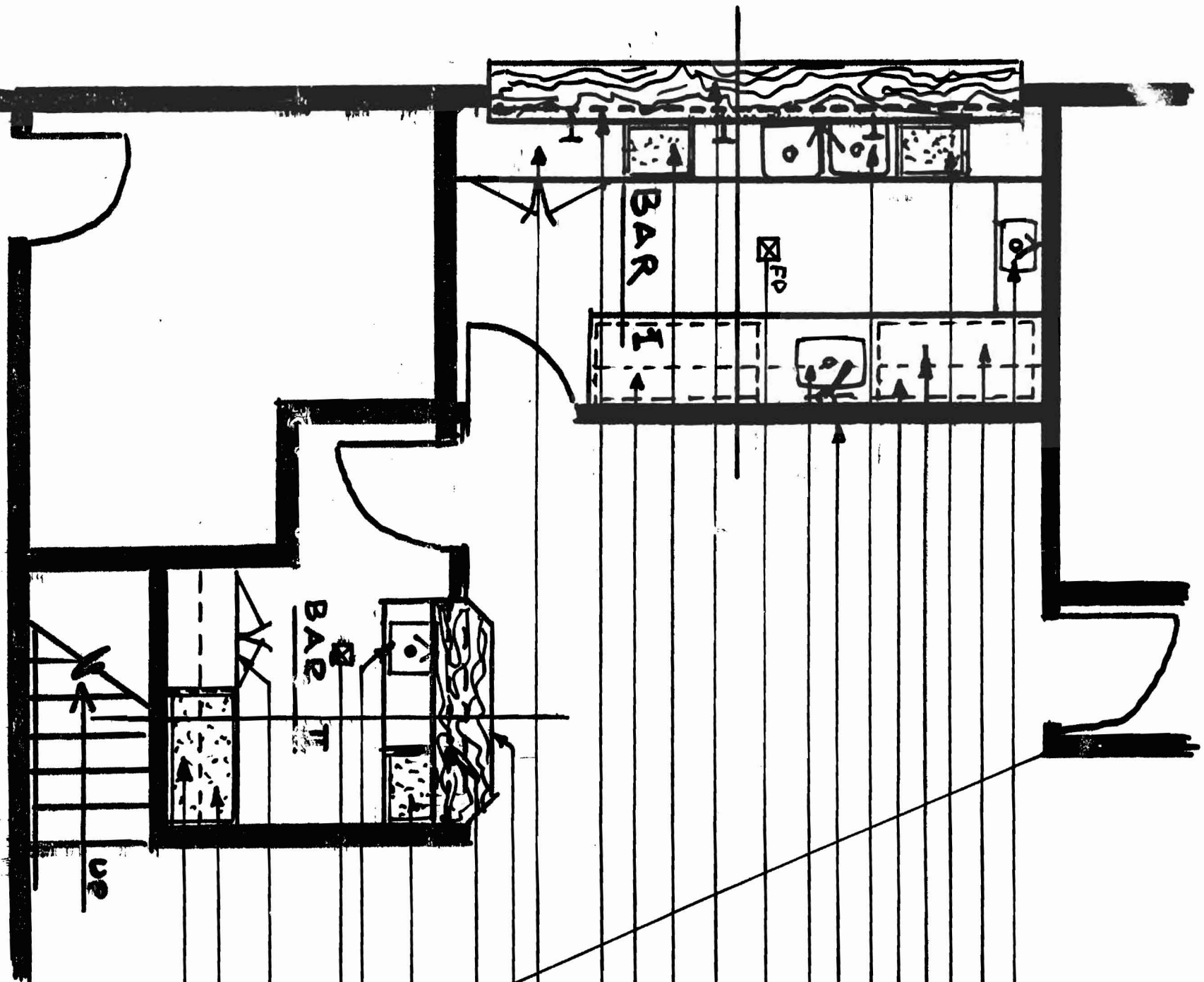
Model #	Compressor Type	Refrigerant	Electrical
F3AM-A105-TFC-001	Hermetic	R22	208/230/60/3
	Weight	112 lbs.	Amp Draw
			9.3A

Evaporator Coil

Number of fans corresponds to first numerical digit in model # listed.



Model #	Weight	Electrical	Fan Amps	Htr Amps
AA28-106	66 lbs.	208/230/60/1	2.2A	0A

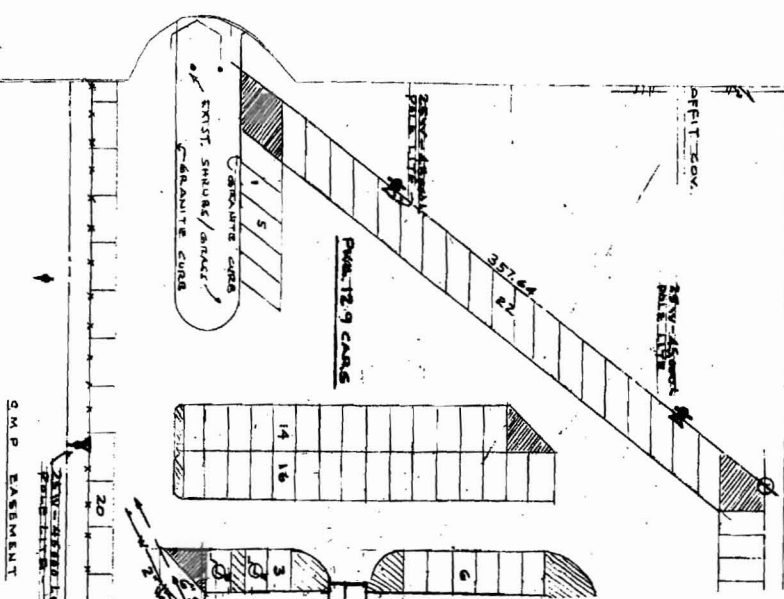


- EXIST. SINK
- EXIST. BEER COOLER
- ICE WELL
- EXIST. COUNTER
- (2) SHELVES ABOVE
- NEW S/S DBL. BOWL SINK
- NEW SOUND INSUL. WALL
- EXIST. SINK
- FLOOR DRAIN
- GRANITE COUNTER-3'-6" H
- ICE WELL
- EXIST. BEER COOLER
- ROLL DOWN O/H DOOR
- COUNTER W/ CAB. UNDER
- GRANITE COUNTER-3'-6" H
- ROLL DOWN O/H DOOR
- NEW S/S SINGLE BOWL SINK
- NEW FLOOR DRAIN
- COUNTER W/ CAB. UNDER
- ICE WELL
- (2) SHELVES ABOVE

FILL HOSE

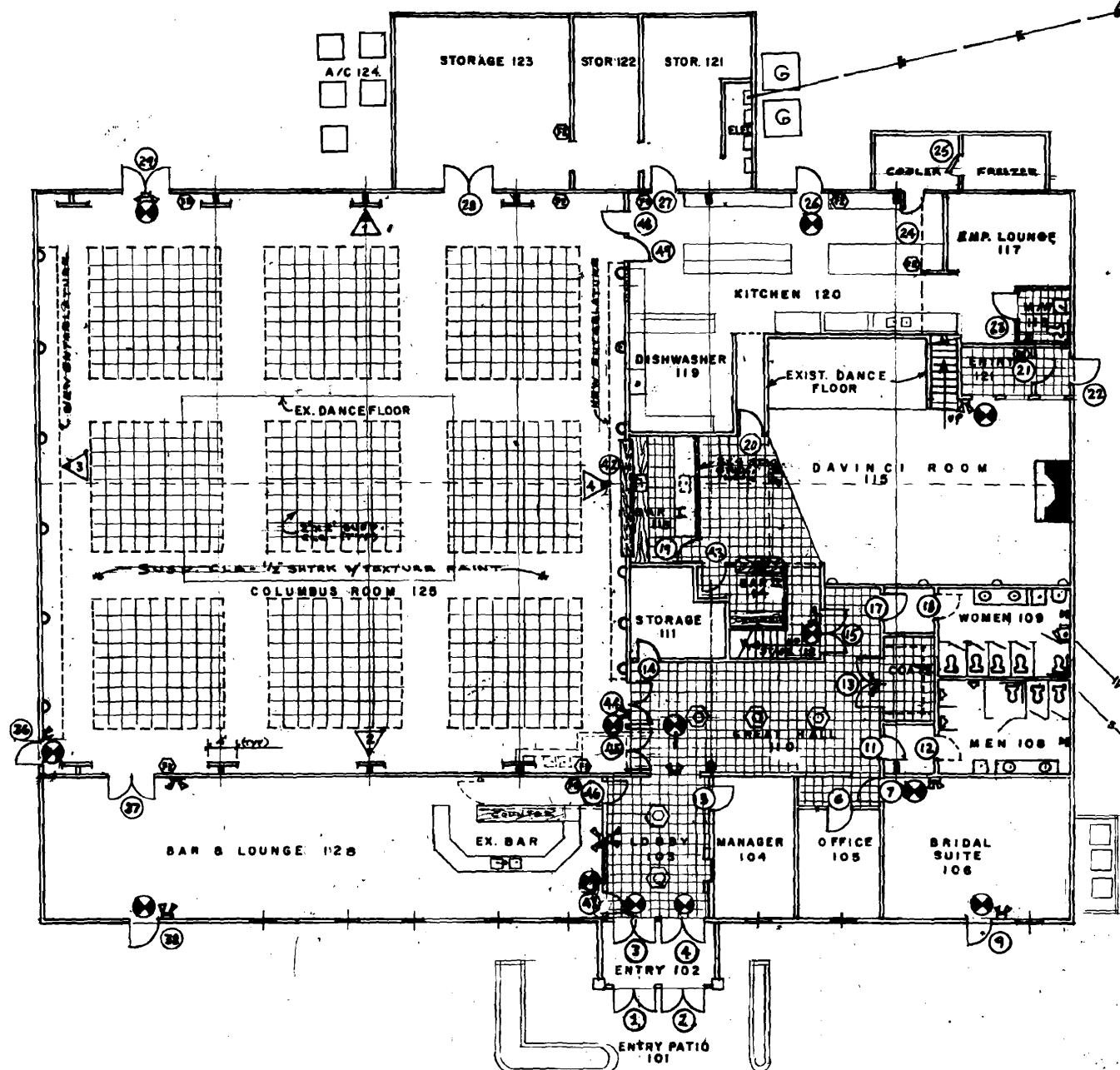
FLOOR PLAN @ 1/4" = 1'-0"

REMARKS

[illegible]

E 124 + 5 T

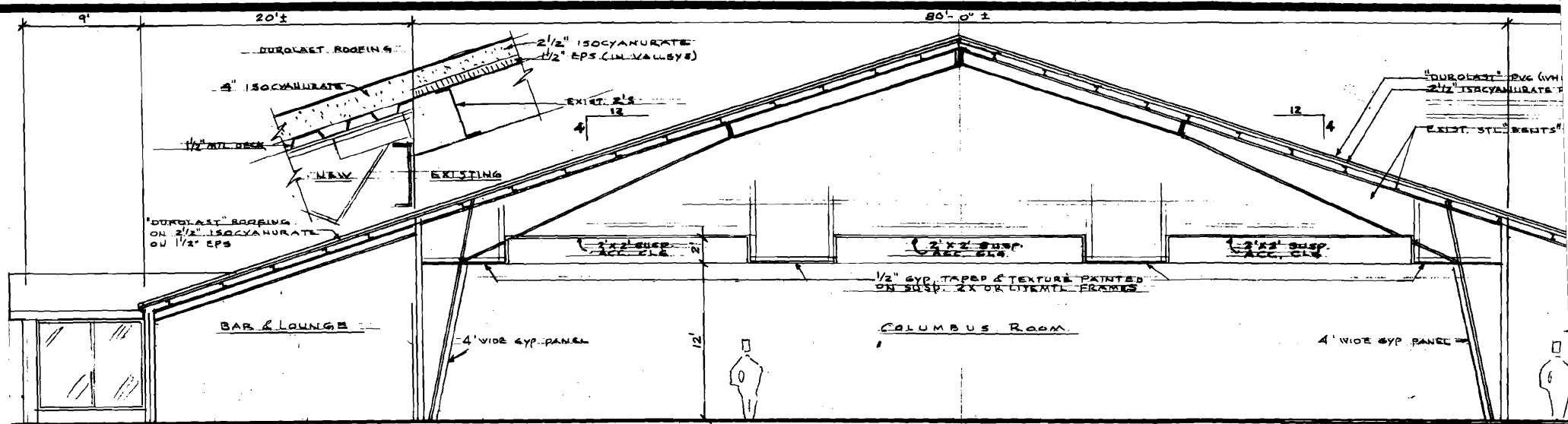
E 124 + 5 T



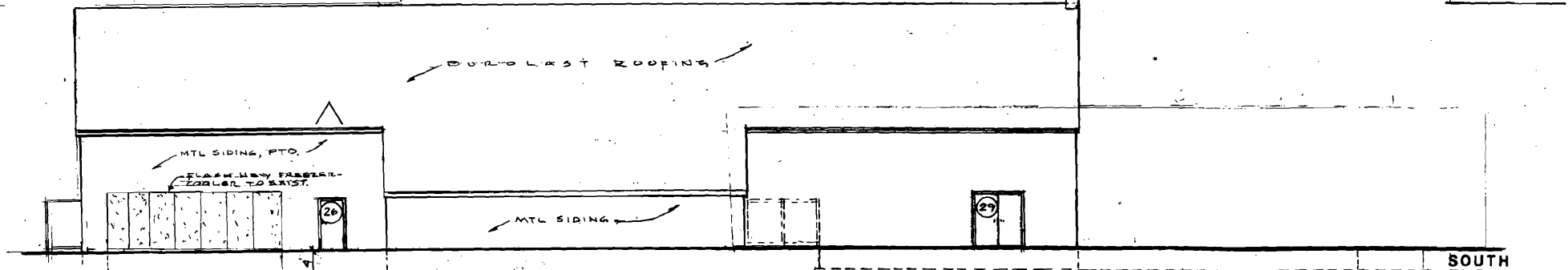
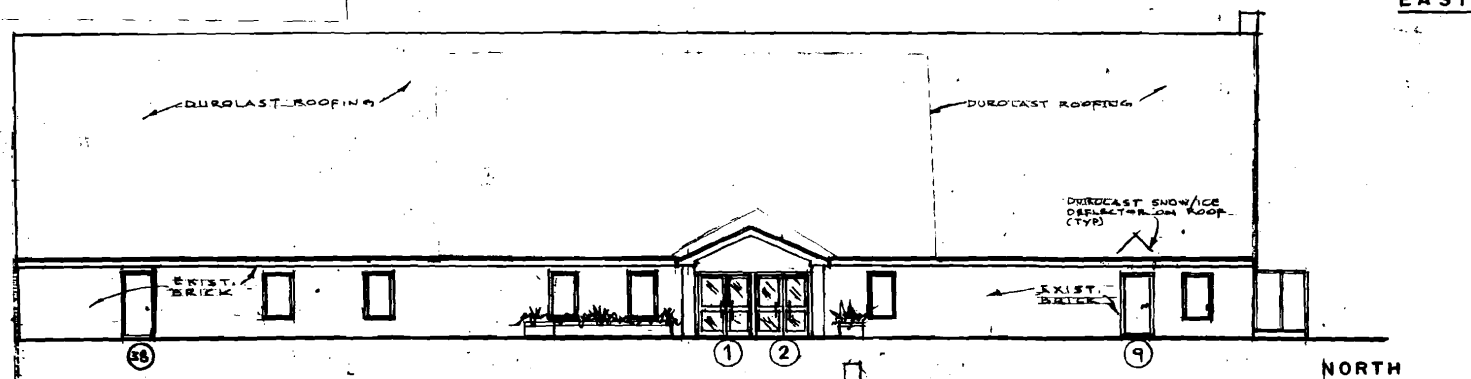
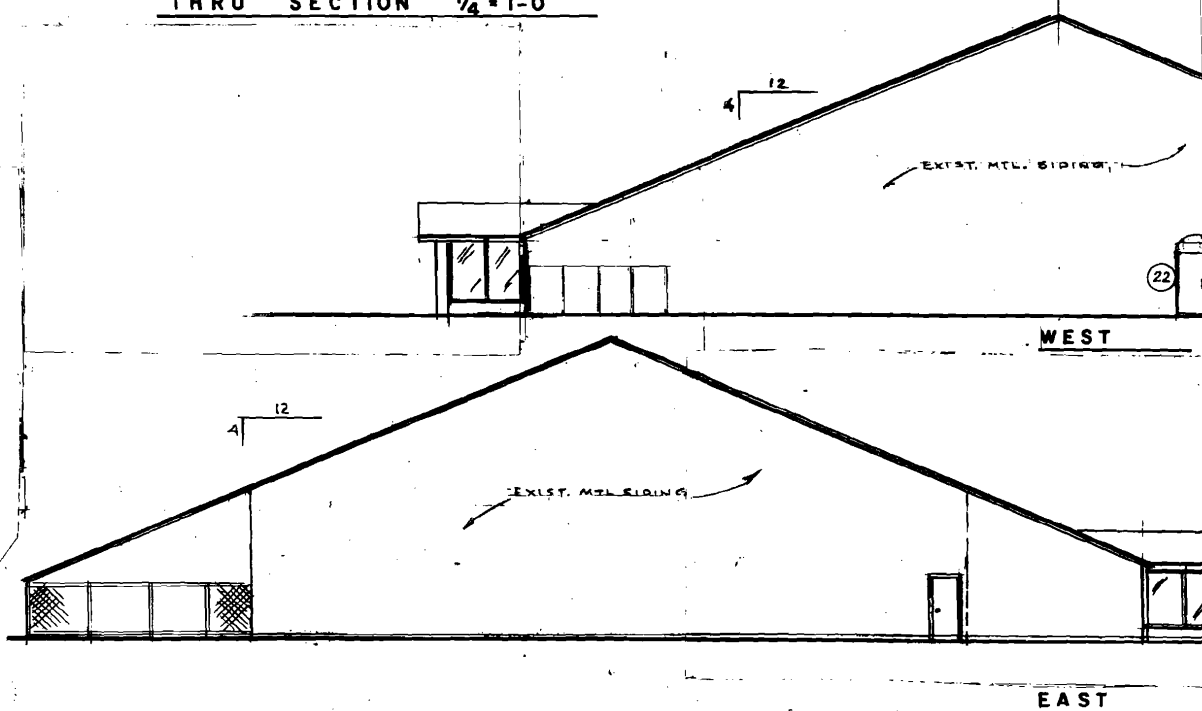
First Floor Plan
1/8"=1'-0"

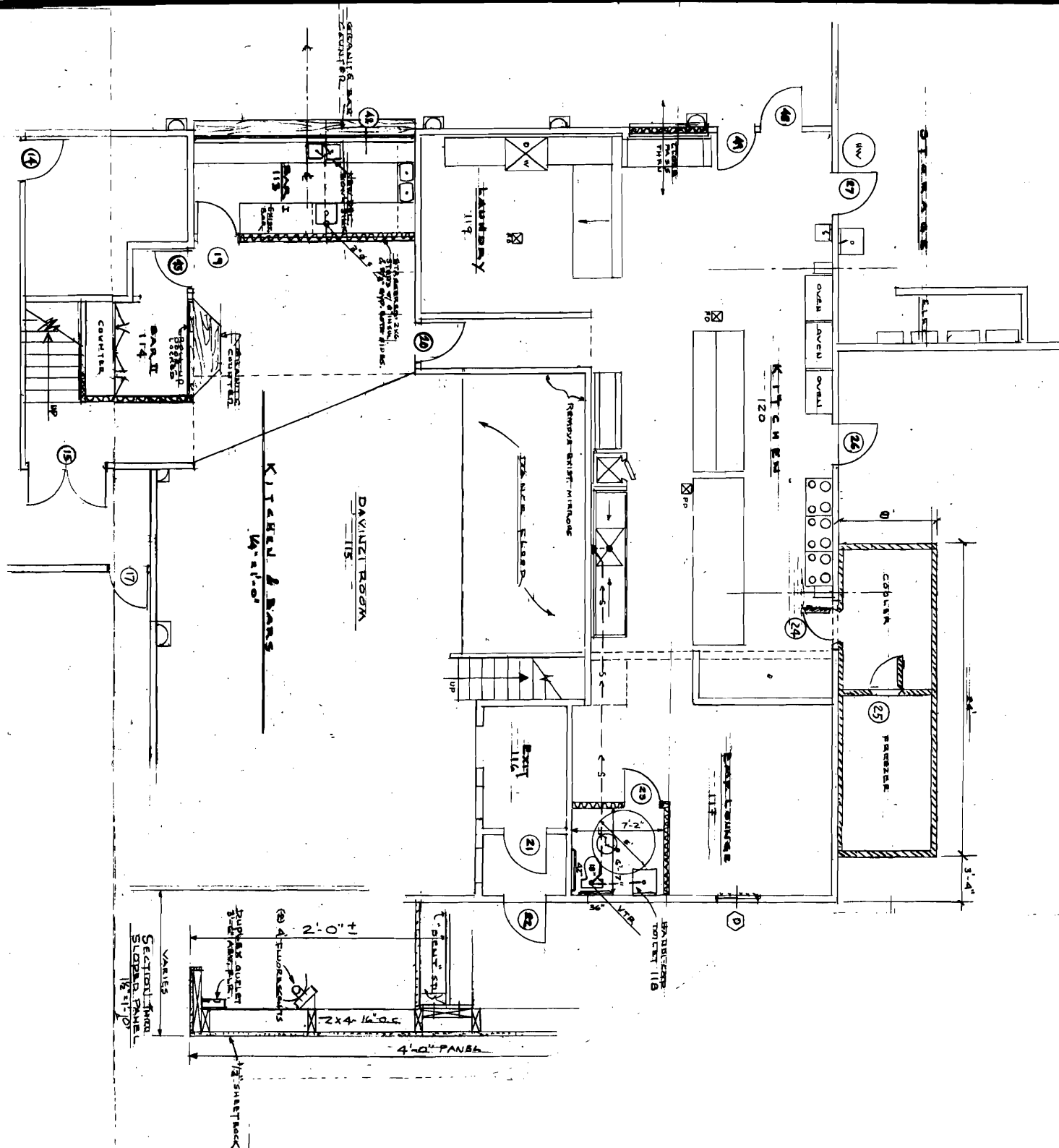
EXIT
 Emergency
 Fire exit
 Horn st

Ad
 Hall



THRU SECTION $\frac{1}{4}'' = 1'-0''$



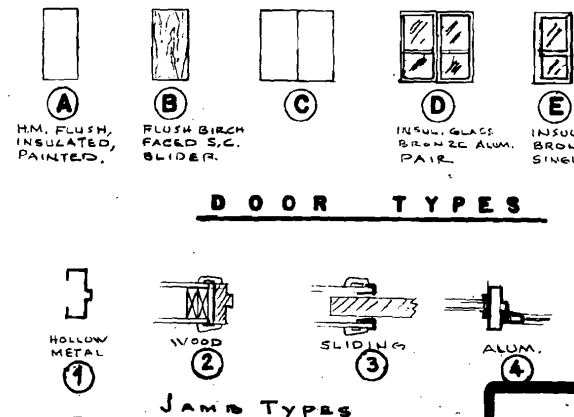


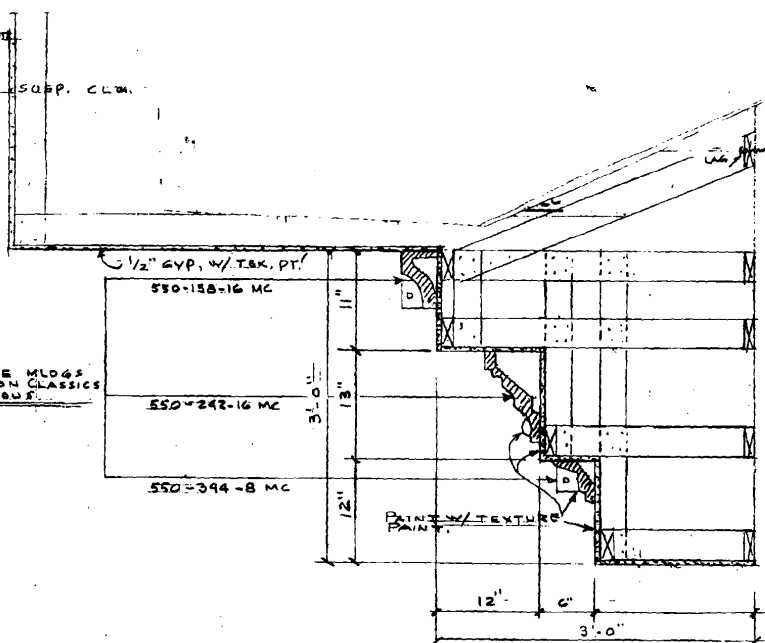
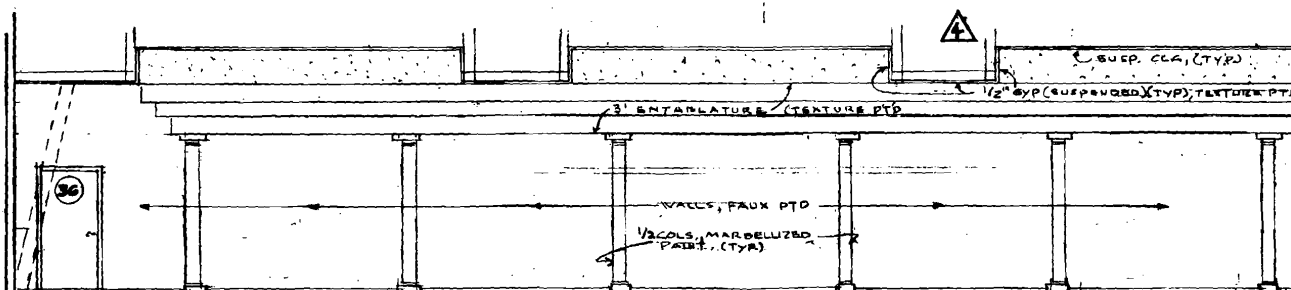
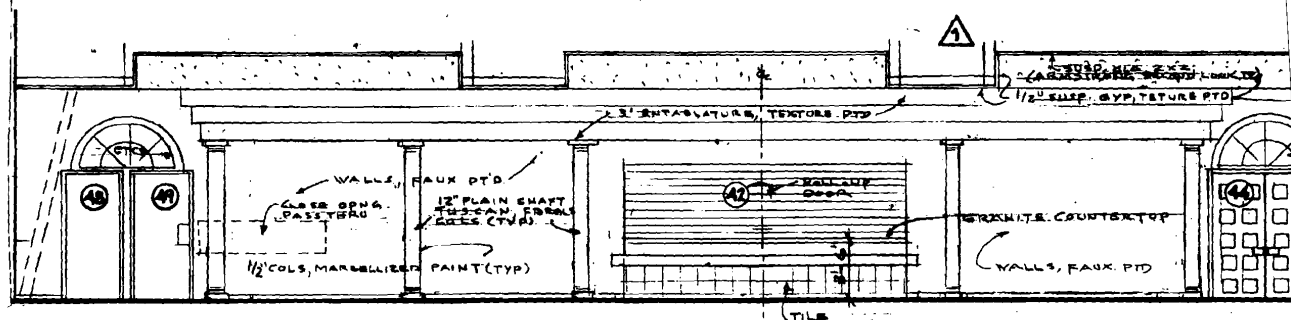
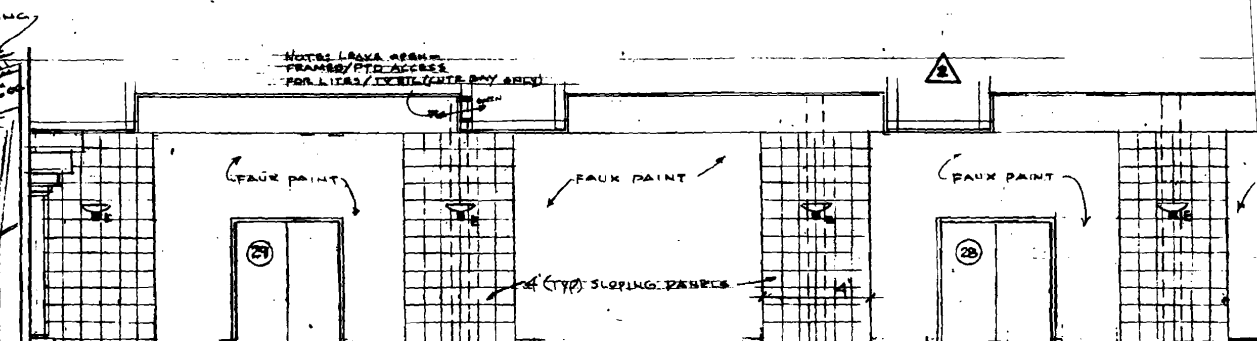
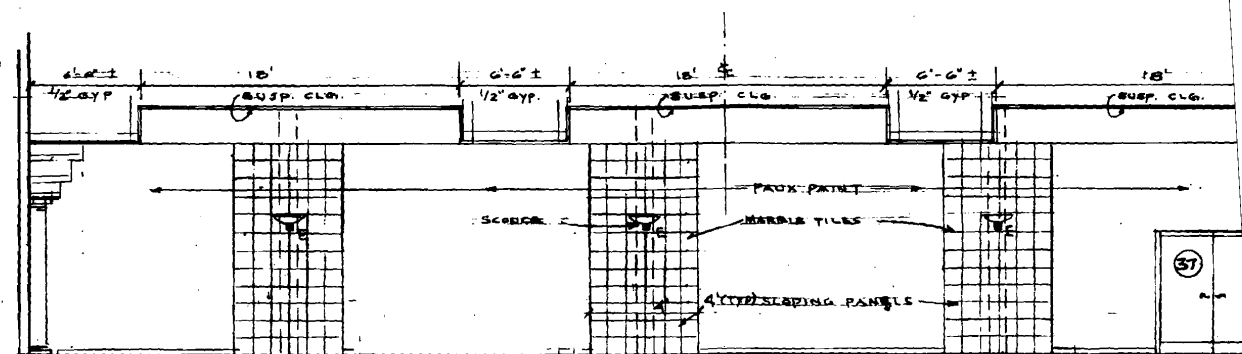
R O O M S C H E D U L E

MK	NAME	FLOOR	BASE	W A L L S				CEILING	REMA
				NORTH	EAST	SOUTH	WEST		
100	ENTRANCE CANOPY								PHASE 2
101	ENTRY PATIO								REPLACE PAVERS
102	ENTRY	EXIST. PAVERS #							
103	LOBBY	EXIST. BRICK PAVERS TO REMAIN		2 PR-ENTRY DOORS (1 PR AUTO-H-CAP)	EXIST. GLAZING	2 PR-ENTRY DOORS (1 PR-AUTO-H-CAP)	EXIST. GLAZING	EXIST.	
104	MGR. OFFICE	EXISTING TO REMAIN							
105	OFFICE	EXISTING TO REMAIN							
106	BRIDAL SUITE	DO							
107	BRIDAL TOILET	DO							
108	MEN'S TOILET	CER. TILE - EXISTING	C.T. - EXIST.						
109	WOMEN'S TOILET	CER. TILE - EXISTING	C.T. - EXIST.						
110	GREAT HALL	SAME AS 103 BUT W/ (C) M3600 MEDALLIONS	MATCHING 6" C.T. COVE	REMOVE PICTURES & PAINT 1/2" FC. GYP	PAINTED - 1/2" FC. GYP.	PAINTED - 1/2" FC. GYP.	PAINTED - 1/2" FC. GYP.	DITO	(3) INLAID MEDALLION OF MATCHING 6" BORDER
111	STORAGE								TO REMAIN AS IS
112	STAIR/ENTRY	18" X 18" CELLAMICA MAGICA, PACIFIC SERIES	6" MATCHING G.C.T. COVE	PTD.	PTD.	PTD.	PTD.	EXIST. SUSP.	
113	BAR I	EXIST. REMAINS AS IS. (MOVE EXIST. BAR TO 114-CUT OFF)							
114	BAR II	18" X 18" CELLAMICA MAGICA, PACIFIC SERIES TILES W/ MATCHING VINYL	C.T.		OPEN WALL - INSTALL LINTEL 16" BOWLING BALLS				MOVE SINK/PLUMBING ADD STAIR, STAIR WALL - IN ADD NEW COUNTER/SINK
115	DAVINCI ROOM	18" X 18" CELLAMICA MAGICA, PACIFIC SERIES W/ MATCH. VINYL CARPET TILE JOINTS 1/2" X 3/4" YD. CARPET ALUM.	C.T.	"FAUX" PT. TRIM/EXIST. COLE - NOT PAINTING	PTD.	REMOVE MIRRORS, PT GYP. WALL.	"FAUX" PT.	EXISTING SUSP.	EXIST. PAINTING (MURALS) PROTECTED FROM TRIM
116	ENTRY	18" X 18" CELLAMICA MAGICA, PACIFIC SERIES	C.T.	"FAUX" PAINT	"FAUX" PAINT	"FAUX" PAINT	"FAUX" PAINT	EXIST.	
117	EMP. LOUNGE	MANNINGTON COMM. VCT	4" VCT OR 4" VINYL	SUSP. 2' X 2' CLG. TILES	PT. 1/2" GYP.			SUSP. 2' X 2' CLG. TILES	18" H 1/2" W/ GRAB BAR
118	TOILET	DITO	DITO	SUSP. 2' X 2' CLG. TILES	PT. 1/2" GYP.			SUSP. 2' X 2' CLG. TILES	
119	DISHWASHER	EXISTING							
120	KITCHEN	EXISTING							REPLACE 6" X 6" QUARRY TILE INSTALL TOILET IN SEWER
121	STORAGE	EXISTING							
122	STORAGE	EXISTING							
123	STORAGE	EXISTING							
124	OUTSIDE HVAC UNITS	EXISTING - ROOF COVER ONLY			MATCHING MTL SIDING, PTD.	EXIST. MTL SIDING	EXISTING	EXPOSED, UNFIN.	
125	COLUMBUS ROOM	COMM. CARPET ALLOWANCE 130' X 50' (DANGER TO REMAIN)	6" CARPET W/ MATCH. EDGING	"FAUX" PTD - FLOPPY PANELS - VWC	"FAUX" PTD. - TEXT. PTD. ENTABLATURE	"FAUX" PTD. - SUPPLY PANES - VWC	"FAUX" PTD. & TEXT. PTD. ENTABLATURE	1/2" SUSP. SATEX, TEXTURE PTD W/ UPSET 18" X 18" SUSP. ACC. CLG.	ADD TWO ENTABLATURE INSIDE COLE PTD. W/
126	KITCHEN	EXISTING - CATCH QUARRY TILE BLD REMOVED							
127	ENTRY	6" X 6" QUARRY TILE FLOORING W/ 4" Q.T. BASE							
128	BAR & LOUNGE	EXISTING REMAINS						REPLACE EX. CLG. W/ 2' X 2' SUSP. ACC. TILE	"LEVEL" 20' X 20' END FL
129	GAME ROOM								DELETED
130	WOMEN	CERAMIC TILE EXIST.	DO	DO	DO	PTD.	DO	2' X 2' SUSP. CLG. (REPLACE)	DELETED
131	MEN	DITO	DO	DO	DO	PTD.	DO	2' X 2' SUSP. CLG. (REPLACE)	DELETED
132	HALLWAY	DITO	DO	DO	DO	PTD.	DO	2' X 2' SUSP. CLG.	DELETED
133	CULTURE CENTER	DITO	DO	DO	DO	PTD.	DO	2' X 2' SUSP. CLG.	DELETED
134	NEW STORAGE	4" CONC. SLAB ON COMPACTED FILL		EXIST. MTL SIDING	UNFIN.	UNFIN.	UNFIN.	UNFIN.	PHASE 3
135									

D O O R S C H E D U L E

MK	SIZE	TYPE	JAMB	HARDWARE	REMARKS
1	PR 3/0 X 7/0	D	BRONZE ALUM. W/ INSUL. GLASS	PANIC + PUSH/ CLOSERS	REMOVE EXIST. GL/ALUM. DOOR/SIDELITE - MOVE TO (35)
2	PR 3/0 X 7/0 (AUTO H-CAP)	D	DITO	PANIC + AUTO/ELEC. ENTRY	
3	PR 3/0 X 7/0	D	DITO	PANIC - PUSH - CLOSERS	REMOVE EXIST. GL/ALUM. DOOR/SIDELITE - MOVE TO (34)
4	PR 3/0 X 7/0 (AUTO H-CAP)	D	DITO	PANIC - AUTO/ELEC. ENTRY	
5	EXISTING (NEW DOOR)	F			
6	EXISTING				
7	EXISTING				
8	DELETED				
9	EXISTING				
10	EXISTING				
11	EXISTING (NEW DOOR)				
12	EXISTING - REMOVE				
13	EXISTING (NEW PAIR)				
14	EXISTING (NEW DOOR)				
15	EXISTING				
16	DELETE THIS DOOR				RELOCATE TO (6)
17	EXISTING (NEW DOOR)				REINSTALL
18	EXISTING - REMOVE				
19	3/0 X 7/0 - SOLID CORE	B	2	KEYLOCK, LEVER	WEATHER STRIPPED (SOUND RETRICTION)
20	EXISTING				
21	EXISTING				
22	3/0 X 6/8 SOLID CORE	B	2	LEVER, PRIV. LATCH	
23	INSUL. REF. DOORS	BY MFG.			SEAL EXT. FROM WEATHER & COOLER
24	INSUL. REF. DOORS	BY MFG.			
25	EXISTING				
26	EXISTING				
27	EXISTING				
28	EXIST. PR				REVERSE, IF POSSIBLE
29	EXIST. PR	B		KEYLOCK	PANIC HORN / CLOSERS
30	DELETED				





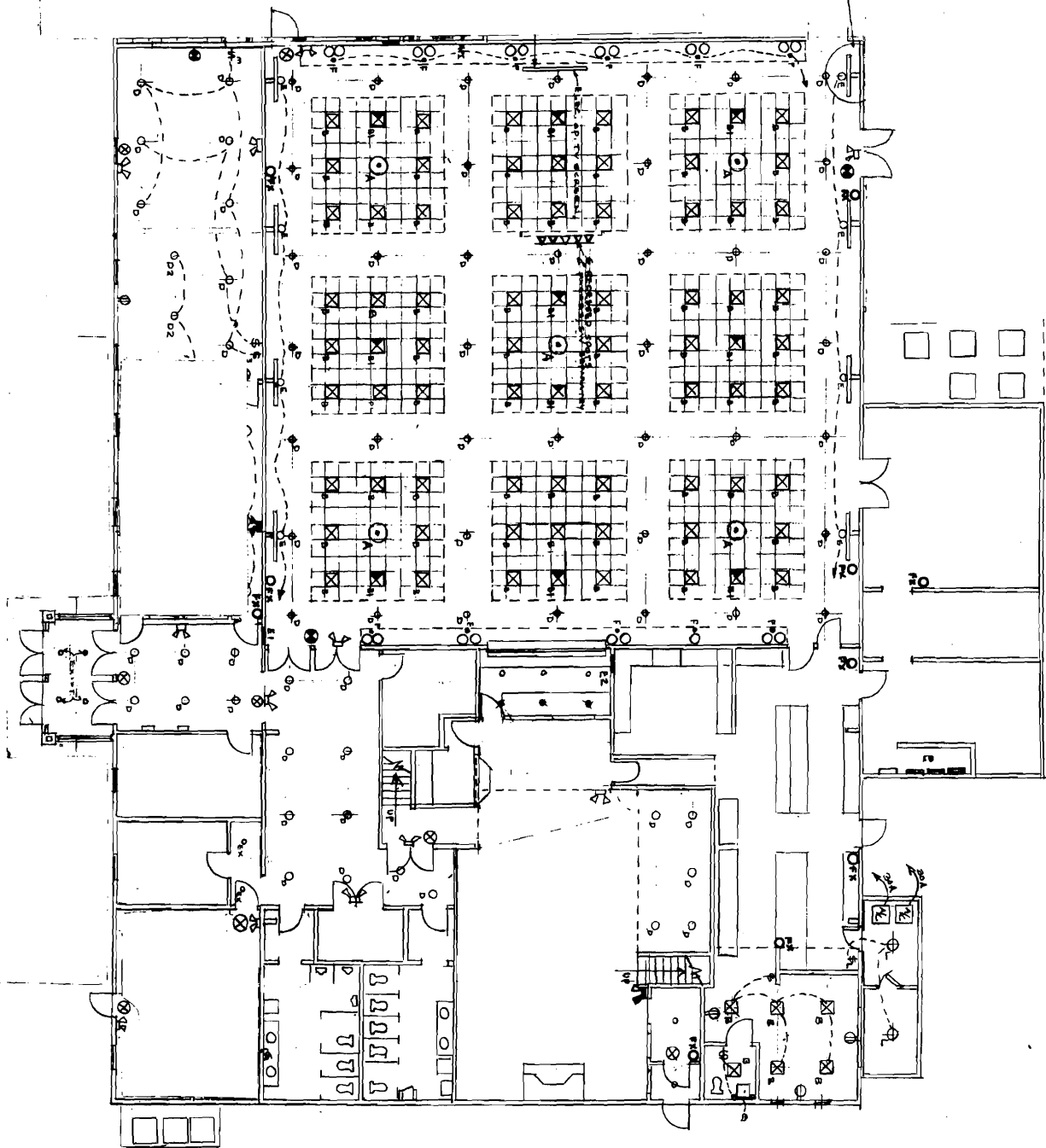
INTERIOR ELEVATIONS-COLUMBUS ROOM 125

• 1/4" = 1'-0" •

Interior Elevations

FLUORESCENT
 4' TYPICAL
 4' 0" 4' 0" 4' 0"
 TYPICAL SLOTTED WALL DETAIL
 (See Spec.)

2 x 4
 LITRE
 C.R.F.



ELECTRICAL FLOOR PLAN 1/8" = 1'-0"

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications, in addition to general notes. See specifications for requirements.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: IBC (2003) International Building Code.
2. Design Live Loads: (Ground Snow load = 60 psf)
Roof 45 psf + drift
3. Design wind loads are based on exposure C using 100 mph basic wind speed.
4. Seismic Design Utilizes a Bearing wall system: Light frame walls with shear panels - wood structure panels/sheet steel panels. Analysis Procedure shall be equivalent Lateral Force Procedure per IBC 2003.

FOUNDATION NOTES:

1. Foundations have been designed with a presumptive building capacity of 2000 psf to be verified by the general contractor in the field.
2. Interior spread footings and exterior strip footings shall be founded on undisturbed native soil or compacted structural fill.
3. Exterior strip and spread footings shall be founded a minimum of 4'-0" below finished site grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill or $\frac{3}{4}$ " crushed stone. If loose or undesirable fill is encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

6. Structural fill beneath slabs shall be placed in layers not exceeding 6 inches in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
7. Underdrains shall be placed as shown on the site drawings. Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to site drawings for additional information.
8. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce top of slabs with 6X6 - W1.4xW1.4 WWF.
9. Backfill both sides of foundation walls simultaneously.
10. Do not backfill basement walls until the first floor elevated slab and basement slab have been installed.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318--Latest Edition.
2. Concrete strength at 28 days shall be:
a) 4000 psi for basement walls.
b) 3000 psi for footings, frost walls & piers.
c) 4000 psi for all elevated slabs.
d) 4000 psi for all slabs on grade.
3. All concrete shall be air entrained 4% to 6% per the specifications.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315--Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ASTM C-1116.
9. Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of the work. All accessories must be shown on the shop drawings. Submit (6) blue line prints and (1) reproducible (sepio) to the Architect.
10. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
11. Concrete finishes: See specifications and Architectural drawings for applicable finishes.
12. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing locations shall conform to ASTM A36.
13. Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
14. The general contractor shall be responsible for coordination of door bondout locations, slab depression & other required bondouts. Coordinate location of bondouts with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.
15. Provide formed or saw cut control joints $\frac{1}{2}$ " wide X 1" deep at 15'x15' (225 square feet max) intervals.
16. Moist cure slab per ACI.

TIMBER NOTES:

1. All Timber framing shall be in accordance with the AITC timber construction manual or the national design specification (NDS)--latest edition.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with CCA to 0.4 #CF in accordance with AWPA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Provide Simpson H3 hurricane anchors where timber framing and/or trusses bear on structural steel beams.
6. Nailing not specified shall conform with IBC 2003.
7. Provide $\frac{1}{2}$ " thick APA rated exterior wall sheathing fastened w/ 10d nails @ 4" o.c. at panel edges and 6" o.c. intermediate. Lap sheathing 1'-0" minimum over existing structure.
8. Provide $\frac{3}{8}$ " thick APA rated roof sheathing fastened w/ 10d nails @ 6" o.c. at panel edges and intermediate.

STRUCTURAL

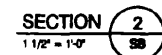
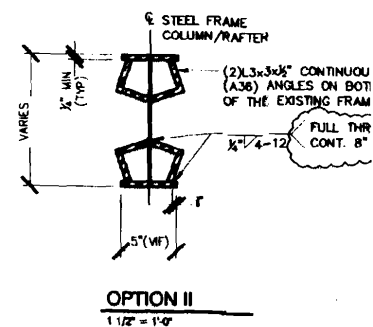
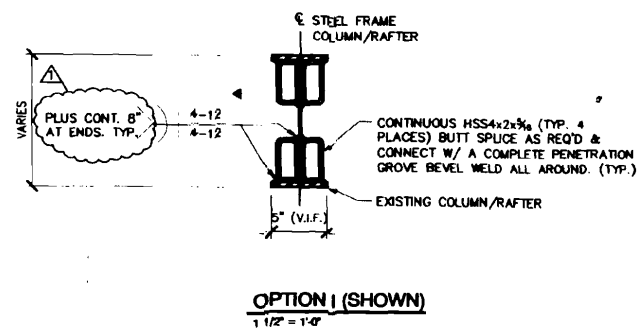
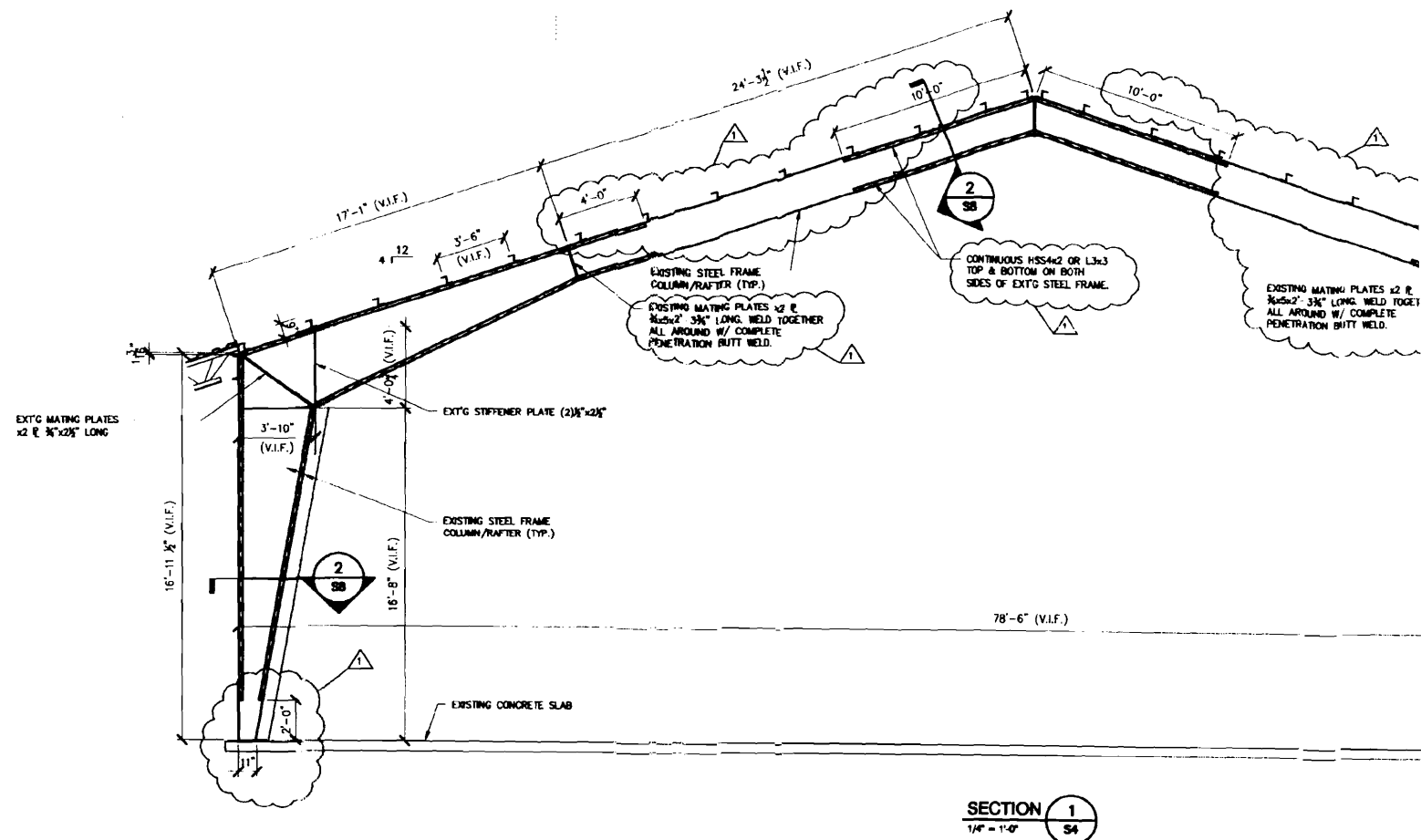
1. Structural steel shall conform to specifications.
2. Structural steel shall be fabricated and erected in accordance with specifications.
3. Fabrication of steel shall be in accordance with specifications.
4. Field connections shall be in accordance with specifications.
5. All welding shall be in accordance with specifications.
6. Structural steel shall be in accordance with specifications.
7. Structural steel shall be in accordance with specifications.

METAL DECK

1. Steel floor deck shall be in accordance with specifications.
2. Steel floor deck shall be in accordance with specifications.
3. Steel floor deck shall be in accordance with specifications.

OPEN WEB STEEL

1. Open web steel shall be in accordance with specifications.
2. Open web steel shall be in accordance with specifications.
3. Open web steel shall be in accordance with specifications.
4. Open web steel shall be in accordance with specifications.
5. Open web steel shall be in accordance with specifications.
6. Open web steel shall be in accordance with specifications.



~~Magnetic 1904~~

BRADLEY

WESTLAND

ANSWORTH
(Not Bull)
Collectors
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STREET

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PORTLAND TERMINAL CO.

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