

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <del>51-55/57-59 Mitton St</del>		Owner: <u>Ward I. Graffan</u>		Phone:	Permit No: <u>191-B-49</u> <del>191-B-2003</del>
Owner Address: <u>79 Orchard Street</u>		Lessee/Buyer's Name:		Phone:	BusinessName: <u>971270</u>
Contractor Name: <u>Silver Ridge Custom Homes</u>		Address: <u>P.O. Box 437, Raymond, ME 04072</u>		Phone: <u>655-3136</u>	
Past Use: <u>vacant lot</u>	Proposed Use: <u>multi-family dwelling duplex</u>	COST OF WORK: <u>\$190,000</u>	PERMIT FEE: <u>\$ 970.00</u>	<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  NOV 24 1997                  Zone: <u>OCB</u> <b>PORTLAND</b> </div>	
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:		
Proposed Project Description: <u>construction of multi-family dwelling</u>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval: <u>191-B-49</u> <u>De w/cmd</u>	
Permit Taken By: <u>Meg Hall</u>		Date Applied For: <u>November 7, 1997</u>		Special Zone or Reviews: <input type="checkbox"/> Shoreland <u>N/A</u> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <u>N/A</u> <input checked="" type="checkbox"/> Subdivision <u>yes</u> <input checked="" type="checkbox"/> Site Plan <u>maj</u> <u>(minor)</u> <input type="checkbox"/> mm <input type="checkbox"/>	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

*Handwritten notes:*  
~~214 191-B-3~~  
 new 191-B-49

Call for pickup 655-3136

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: 11/10/97

*Signature:* DC Cap

**CEO DISTRICT** 4

*Signature:* Ms Powell

COMMENTS

1/28/98 Plumbing Reinspection - sistered 2x's - OK.

Framing Inspection

3/4/98 Pre CID - Inspection, smokes tested - OK

Pinnai model 1001 F install per manufacturer's specs.

Water tests OK

Attic Access - OK 5/8 Type X on

Vents - OK (no-siliconed ext. Hot Water Heater vents)

No gutters.

Plumber to amend Permit to include

4/24/98 NO sitework yet.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	1/28/98
Plumbing: _____	1/28/98
Final: _____	3/4/98
Other: _____	_____



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 57-59 Mitton St

(191-B-049)

Issued to Ward Graffam

Date of Issue October 5, 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 9701270 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Duplex

Limiting Conditions:

None

This certificate supersedes  
certificate issued

Approved:

*Walter M. ...*  
.....  
(Date) Inspector

*G. ...*  
.....  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Applicant: Steve Harvey

Date: 11/14/97

Address: 57-59 Milton St  
Called Lot 2

C-B-L:

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - construct 25' x 38' 2 Story Duplex - No garage  
No decks shown

Sewage Disposal - City

Lot Street Frontage - 50' req 60' shown

Front Yard - 20' req - 20' shown

Rear Yard - 20' req - 21' shown at closest corner

Side Yard - 12' req - using provision to reduce down to 10' with 2' added to other side or 14' req - 27' is shown

Projections - front overhang may not project over  
2' into front setback  
Porch roof may not extend over 5' into front setback

Width of Lot - 60' req - 133' shown

Height - 25' or

Lot Area - 6,000<sup>sq</sup> req - 6,827<sup>sq</sup>

Lot Coverage/ Impervious Surface - 20% MAX

Area per Family - 3000<sup>sq</sup>/unit or 6,000<sup>sq</sup> req - ok

Off-street Parking - 4 spaces req - 4 spaces shown

Loading Bays - N/A

Site Plan - minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A

# BUILDING PERMIT REPORT

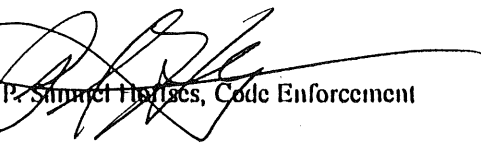
DATE: 18 Nov. 97 ADDRESS: 57-59 MITTON ST  
REASON FOR PERMIT: To Construct one duplex dwelling  
BUILDING OWNER: Ward Z. Grafton  
CONTRACTOR: Silver ridge Custom Homes  
PERMIT APPLICANT: Steve Harvey APPROVAL: \*1, \*2, \*3, \*6, \*7, \*8, \*10, \*12, \*16, \*26, \*27, \*28, \*29  
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 53

## CONDITION(S) OF APPROVAL

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- \*3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- \*6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
- \*7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- \*8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".)
9. Headroom in habitable space is a minimum of 7'6".
- \*10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- \*12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- \*16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms

• In each story within a dwelling unit, including basements  
In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 26. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 27. All requirements must be met before a final Certificate of Occupancy is issued.
- 28. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 29. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- 30. Please read and implement all site plan requirements
- 31. \_\_\_\_\_
- 32. \_\_\_\_\_
- 33. \_\_\_\_\_
- 34. \_\_\_\_\_

  
P. Schumuckal, Code Enforcement  
cc: Lt. McDougall, PFD  
Marge Schumuckal

# PLUMBING APPLICATION

191-B-049

Department of Human Services  
Division of Health Engineering

## PROPERTY ADDRESS

Town Or Plantation	Portland
Street Subdivision Lot #	57-59 Mitton Street
<b>PROPERTY OWNERS NAME</b>	
Last: Graffam	First: Ward
Applicant Name:	Caron & Waltz
Mailing Address of Owner/Applicant (if Different)	P.O. Box 2400 So. Portland, Me. 04106

PORTLAND Date Permit Issued: 3.2.98	PERMIT # 6388	STATE COPY	<input type="checkbox"/> If Double Fee Charged
L.P.I. # 0124		FEE	
Local Plumbing Inspector Signature <i>S. Samuel Hayes</i>			

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

*Walter Graffam*  
Signature of Owner/Applicant

2-26-98  
Date

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

## PERMIT INFORMATION

<b>This Application is for</b>	<b>Type Of Structure To Be Served:</b>	<b>Plumbing To Be Installed By:</b>
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # 0, 1, 5, 2, 6

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.  PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
<b>OR</b>  TRANSFER FEE [\$6.00]		<b>Fixtures (Subtotal) Column 2</b>	2	<b>Fixtures (Subtotal) Column 1</b>
			2	<b>Fixtures (Subtotal) Column 2</b>
			0	<b>Total Fixtures</b>
			2	<b>Fixture Fee</b>
			\$	<b>Transfer Fee</b>
		\$	<b>Hook-Up &amp; Relocation Fee</b>	
		\$ 12.	<b>Permit Fee (Total)</b>	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

- 1.) All water heaters with storage capacity shall be provided with an approved self-closing levered water pressure relief valve and temperature relief valve or combination thereof with a rating equal to or exceeding the heater BTU input [see paragraphs below for valve ratings]. Such valves shall be installed in the shell of the water heater tank or may be installed in the hot water outlet provided the thermo bulb extends into the shell of the tank and in all cases installed at the highest practical point. For installation with separate storage tanks, said valves shall be installed on the tank and there shall not be any type of valve installed between the water heater and the storage tank. Where in the opinion of the local plumbing inspector, safety valves are required they shall be installed in accordance therewith. Relief valves shall comply with all construction testing and installation requirements of the current ANSI Std. Z21.22. Temperature relief valves shall be so located in the tank as to be actuated by the water in the top one-eighth (1/8) of the tank served and in no case more than three (3) inches away from such tank. Pressure-relief valves may be located adjacent to the equipment they serve.

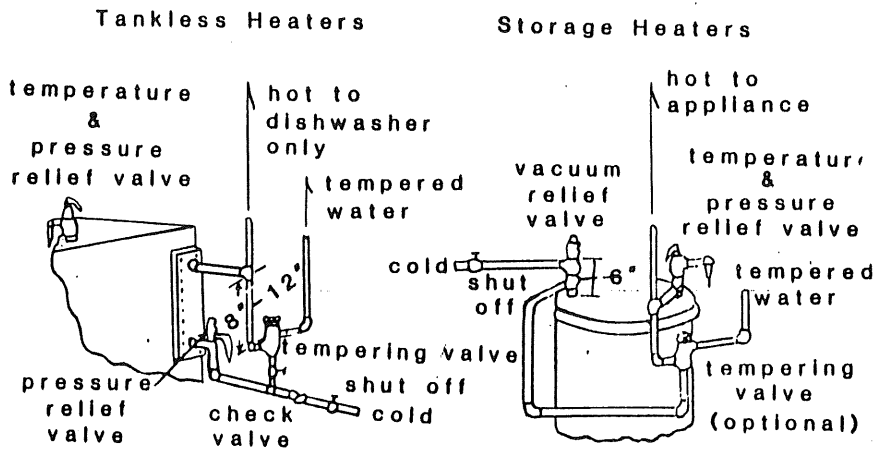
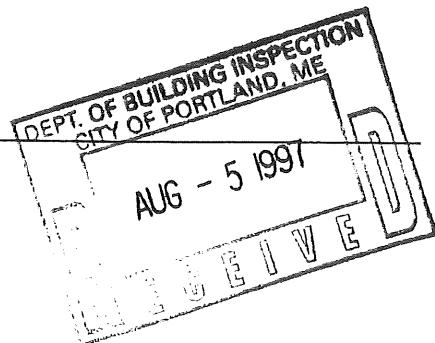


Fig. 11-2

- 11.) For a storage type heater with a capacity of less than 200,000 BTU/HR input the relief valve shall have a minimum AGA temperature steam rating equal to or greater than the BTU input to the heater.
- 111.) For a heater over 200,000 BTU/HR there shall be one or more combination temperature and pressure relief valves, the sum of whose AGA temperature steam rating equals or exceeds the heating capacity of the system or 250,000 BTU per hour, whichever is less, and shall have a minimum one (1) inch inlet and outlet pipe size connection. In addition, the temperature relieving element of the valve shall have a water rated discharge capacity based on 1,250 BTU's for each gallon per hour of



Ward I. Graffam, Jr.  
29 Orchard Street  
Portland, ME 04102  
828-4663



August 5, 1997

Mr. Alex Jaegerman, Chief Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Plan for two duplexes on Mitton Street

Dear Mr. Jaegerman:

I am submitting the attached plan for the construction of two duplex buildings on Mitton street. The plan includes the subdivision of a 13,709 square foot lot into two lots, 6,827 s.f. and 6,882 s.f. respectively.

The two building will be identical in design and have a foundation size of 24 x 38 with second story dimensions of 25 x 38. Each building will have two townhouse style units with two bedrooms each. The buildings will be wood frame construction with vinyl siding and trim. It will be served by public water, sewer and natural gas. Each building will have paved parking for 4 cars.

To assist me with the project, I am working with John Swan of Owen Haskell, Inc. and Steve Harvey of Silver Ridge Homes. If you have any questions or need additional information, please feel free to contact me at the above phone number. I look forward to working with the City of Portland on this project.

Sincerely,

Ward I. Graffam, Jr.

AF 102241111 1 0-10

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

19970046  
I. D. Number

Ward I. Graffam, Jr  
Applicant  
29 Orchard St, Portland, ME 04102  
Applicant's Mailing Address  
SAA  
Consultant/Agent  
828-4663 772-1510  
Applicant or Agent Daytime Telephone, Fax

8/5/97  
Application Date  
Milton St Duplexes  
Project Name/Description

51- 67 Mitton St  
Address of Proposed Site  
191-B-003  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  
 New Building     Building Addition     Change Of Use     Residential  
 Office     Retail     Manufacturing     Warehouse/Distribution     Parking Lot     Other (specify) 2 Duplexes on 2 lots  
24 x 38 each    17,775 Sq Ft subdivi    R-5  
Proposed Building square Feet or # of Units    Acreage of Site    Zoning

**Check Review Required:**

Site Plan (major/minor)     Subdivision # of lots 2     PAD Review     14-403 Streets Review  
 Flood Hazard     Shoreland     Historic Preservation     DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)     Zoning Variance     Other \_\_\_\_\_

Fees Paid:    Site Plan \$300.00    Subdivision \$100.00    Engineer Review \$384.00    Date: 11/4/97

**Inspections Approval Status:**

Reviewer Marge Schmuckal

Approved     Approved w/Conditions see attached     Denied  
Approval Date 11/14/97    Approval Expiration \_\_\_\_\_    Extension to \_\_\_\_\_     Additional Sheets Attached  
 Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**

Required\*     Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>11/4/97</u> date	<u>\$17,418.00</u> amount	<u>11/6/97</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>11/4/97</u> date	<u>\$300.00</u> amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released			



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19970046

I. D. Number

Ward I. Graffam, Jr

Applicant

29 Orchard St, Portland, ME 04102

Applicant's Mailing Address

SAA

Consultant/Agent

828-4663                      772-1510

Applicant or Agent Daytime Telephone, Fax

8/5/97

Application Date

Mitton St Duplexes

Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

Assessor's Reference: Chart-Block-Lot

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**Inspections Conditions for Approval**

1. separate permits are required for future shrds, decks, pools, and/or garages.
2. THE front over hang on 57-59 Mitton st. shall not project more than 2 feet into the required front yard.
3. The front porch roof on 57-59 Mitton St. shall not project more than 5 eet into the required front yard.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

19970046

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Applicant  
29 Orchard St, Portland, ME 04102  
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Consultant/Agent  
828-4663 772-1510  
Applicant or Agent Daytime Telephone, Fax

8/5/97  
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Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **2 Duplexes**  
24 x 38 each 17,775 Sq Ft R-5  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots 2  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$300.00 Subdivision \$100.00 Engineer Review \$384.00 Date: 11/4/97

**DRC Approval Status:**

Reviewer Jim Wendel

- Approved  Approved w/Conditions see attache  Denied  
Approval Date 10/14/97 Approval Expiration 10/14/97 Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance Jim Wendel 11/5/97  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |  |                         |  |                                   |
|--|-------------------------|--|-----------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>11/4/97</u><br>date  | <u>\$17,418.00</u><br>amount                       | <u>11/6/97</u><br>expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid            | <u>11/4/97</u><br>date  | <u>\$300.00</u><br>amount                          |                                   |
| <input type="checkbox"/> Building Permit                           | _____<br>date           |  |                                   |
| <input type="checkbox"/> Performance Guarantee Reduced             | _____<br>date           | _____<br>remaining balance                         | _____<br>signature                |
| <input type="checkbox"/> Temporary Certificate Of Occupancy        | _____<br>date           | <input type="checkbox"/> Conditions (See Attached) |                                   |
| <input type="checkbox"/> Final Inspection                          | _____<br>date           | _____<br>signature                                 |                                   |
| <input type="checkbox"/> Certificate Of Occupancy                  | _____<br>date           |  |                                   |
| <input type="checkbox"/> Performance Guarantee Released            | _____<br>date           | _____<br>signature                                 |                                   |
| <input type="checkbox"/> Defect Guarantee Submitted                | _____<br>submitted date | _____<br>amount                                    | _____<br>expiration date          |
| <input type="checkbox"/> Defect Guarantee Released                 |                         |  |                                   |

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DEVELOPMENT REVIEW APPLICATION  
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Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

Assessor's Reference: Chart-Block-Lot

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**DRC Conditions for Approval**

- that the applicant submit an erosion control management plan for staff review and approval prior to issuance of a building permit.
- that the sidewalk and curb cuts be installed in accordance with City of Portland Technical Standards and that a detail be added to the subdivision plan.
- that the plan be revised in accordance with the memo from the Development Review Coordinator, dated October 9, 1997, and be reviewed and approved by Corporation Counsel and the Development Review Coordinator prior to issuance of a building permit.

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Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **2 Duplexes**  
**24 x 38 each** **17,775 Sq Ft** **R-5**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots 2  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$300.00 Subdivision \$100.00 Engineer Review \$384.00 Date 11/4/97

**Planning Approval Status:**

Reviewer Kandice Talbot

Approved  Approved w/Conditions See Attached  Denied

Approval Date 10/14/97 Approval Expiration 10/14/97 Extension to \_\_\_\_\_  
 OK to Issue Building Permit Kandice Talbot 11/5/97  Additional Sheets Attached  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>11/4/97</u> date	<u>\$17,418.00</u> amount	<u>11/6/97</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>11/4/97</u> date	<u>\$300.00</u> amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19970046

I. D. Number

Ward I. Graffam, Jr

Applicant

29 Orchard St, Portland, ME 04102

Applicant's Mailing Address

SAA

Consultant/Agent

828-4663 772-1510

Applicant or Agent Daytime Telephone, Fax

8/5/97

Application Date

Mitton St Duplexes

Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

Assessor's Reference: Chart-Block-Lot

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**Planning Conditions for Approval**

- that the applicant submit a revised sewer plan in accordance with the recommendations in the memo from Tony Lombardo, dated October 2, 1997 and that the revised plan will be reviewed and approved by Public Works staff.
- that the applicant work with Staff to develop a landscape plan for open space for the occupants of Lot 1.



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number \_\_\_\_\_

**Ward I. Graffam, Jr**

Applicant \_\_\_\_\_

**29 Orchard St, Portland, ME 04102**

Applicant's Mailing Address \_\_\_\_\_

**SAA**

Consultant/Agent \_\_\_\_\_

**828-4663 772-1510**

Applicant or Agent Daytime Telephone, Fax \_\_\_\_\_

**8/5/97**

Application Date \_\_\_\_\_

**Mitton St Duplexes**

Project Name/Description \_\_\_\_\_

**51- 67 Mitton St**

Address of Proposed Site \_\_\_\_\_

**191-B-003**

Assessor's Reference: Chart-Block-Lot \_\_\_\_\_

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **2 Duplexes**

**24 x 38 each** **17,775 Sq Ft**

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$300.00** Subdivision **\$100.00** Engineer Review \_\_\_\_\_ Date: **8/5/97**

**Fire Approval Status:**

Reviewer **Lt. Mc Dougall** *[Signature]*

- Approved  Approved w/Conditions see attached  Denied

Approval Date **8/6/97** Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Lt. Mc Dougall** **8/6/97**  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

19970046

I. D. Number

Ward I. Graffam, Jr

Applicant

29 Orchard St, Portland, ME 04102

Applicant's Mailing Address

SAA

Consultant/Agent

828-4663

772-1510

Applicant or Agent Daytime Telephone, Fax

8/5/97

Application Date

Mitton St Duplexes

Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

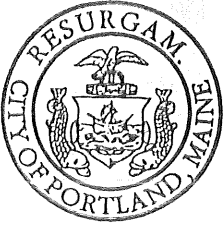
Assessor's Reference: Chart-Block-Lot

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**Fire Conditions for Approval**

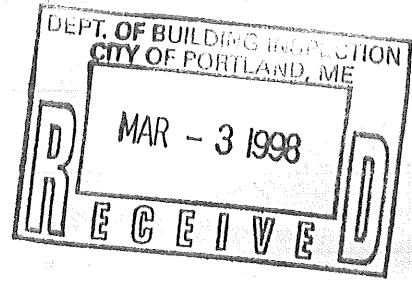
Developer must show a hydrant within 800 ft. path of travel

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CITY OF PORTLAND  
Planning and Urban Development Department

MEMORANDUM



TO: Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: February 26, 1998

SUBJECT: Request for Certificate of Occupancy  
2 Residential Duplex Buildings

*Milton St*

On February 25, 1998 I reviewed the site for compliance with the conditions of approval dated 10-14-98; my comments are:

1. Due to winter time construction, final grading and landscaping cannot be completed; all site work shall be completed by May 31, 1998.
- 3/4/98 ✓ 2. Permanent street address numbers must be placed on the buildings.
3. Two copies of the revised site plan noting the revised locations of the utilities on the property and in the street must be submitted to the DRC and Planning Department; the utilities include sewer, water, gas, and overhead power and telephone.
4. The applicant shall provide technical data, "shop drawing submission" on the sanitary pump station to Code Enforcement and the DRC. This information shall include the following:
  - a. Manufacturer, size, model number, performance curve of the pump
  - b. Electrical wiring diagrams
  - c. Specifications of the floats
  - d. Manufacturer, size and design specifications of the concrete structure
  - e. Pipe size and material of the internal piping of the station with inverts based on the site plan datum.

It is my opinion that when items 2 and 4 are completed a temporary Certificate of Occupancy could be issued assuming Code Enforcement has no outstanding issues.

# CITY OF PORTLAND, MAINE

## PLANNING BOARD

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Cyrus Y. Hagge, Chair  
John H. Carroll, Vice Chair  
Kenneth M. Cole III  
Jaimey Caron  
Kevin McQuinn  
Deborah Krichels  
Erin Rodriguez

October 23, 1997

Ward Graffam, Jr.  
29 Orchard Street  
Portland, ME 04102

RE: 51 Mitton Street

Dear Mr. Graffam:

On October 14, 1997 the Portland Planning Board voted unanimously to grant a waiver of granite curb at 51 Mitton Street.

The Planning Board also voted unanimously on the following motions regarding the Mitton Street Duplexes subdivision and site plan:

- I. That the proposed development is in conformance with the Subdivision Ordinance of the Land Use Code with the following conditions:
  - i. that the applicant submit an erosion control management plan for staff review and approval prior to issuance of a building permit.
  - ii. that the sidewalk and curb cuts be installed in accordance with City of Portland Technical Standards and that a detail be added to the subdivision plan.
  - iii. that the applicant submit a revised sewer plan in accordance with the recommendations in the memo from Tony Lombardo, dated October 2, 1997 and that the revised plan will be reviewed and approved by Public Works staff.
  - iv. that the plan be revised in accordance with the memo from the Development Review Coordinator, dated October 9, 1997, and be reviewed and approved by Corporation Counsel and the Development Review Coordinator prior to issuance of a building permit.

2. That the proposed development is in conformance with the Site Plan Ordinance of the Land Use Code with the following condition:
  - i. that the applicant work with Staff to develop a landscape plan for open space for the occupants of Lot 1.

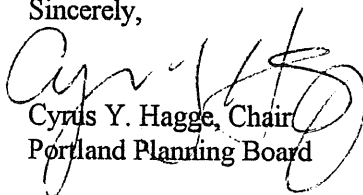
The approval is based on the submitted subdivision and site plan and the findings related to subdivision and site plan review standards as contained in Planning Report #40-97 which is attached.

Please note the following provisions and requirements for all subdivision approvals:

1. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount must be submitted to and approved by the Planning Division and Public works prior to the recording of the subdivision plat. The subdivision approval is valid for three (3) years.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
7. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions regarding the Board's actions, please contact the planning staff.

Sincerely,



Cyrus Y. Hagge, Chair  
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner  
Kandice Talbot, Planner  
✓ P. Samuel Hoffses, Building Inspector  
Marge Schmuckal, Zoning Administrator  
Kathi Staples PE, City Engineer  
Acting Development Review Coordinator  
William Bray, Deputy Director of Public Works  
Jeff Tarling, City Arborist  
Natalie Burns, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Mary Gresik, Building Permit Secretary  
Kathleen Brown, Assistant Director of Economic Development  
Susan Doughty, Assessor's Office  
Approval Letter File