

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 1000 Congress Street, Portland, ME 04101		Owner: [Redacted]		Phone: [Redacted]		Permit No: 971076	
Owner Address: [Redacted]		Lessee/Buyer's Name: [Redacted]		Phone: [Redacted]		Business Name: [Redacted]	
Contractor Name: [Redacted]		Address: 27 [Redacted] Portland, ME 04101		Phone: [Redacted]		Permit Issued: OCT - 8 1997	
Past Use: [Redacted]		Proposed Use: [Redacted] under		COST OF WORK: \$ [Redacted]		PERMIT FEE: \$ 415.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group A3 Type: 5B	
				Signature: [Redacted]		Signature: [Redacted]	
Proposed Project Description: [Redacted]				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: CBL	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/>		Zoning Approval: <input type="checkbox"/> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: [Redacted]		Date Applied For: [Redacted]					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH APPROVAL

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT [Redacted]		ADDRESS: [Redacted]		DATE: [Redacted]		PHONE: [Redacted]	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE [Redacted]				PHONE: [Redacted]			
<p>White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector</p>							<p>CEO DISTRICT</p> <div style="border: 1px solid black; width: 50px; height: 50px; margin: 0 auto;"></div>

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Lot 10 Willow Lane - 48 Willow Lane		Owner: Wayne Tran		Phone:		Permit No 971076
Owner Address:		Lessee/Buyer's Name:		Business Name:		
Contractor Name: Ric Weinschenk		Address: 91 Summer Pl, Portland 04103		Phone: 88 828-3900		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> OCT - 8 1997 </div> CITY OF PORTLAND </div>
Past Use: Vacant Lot		Proposed Use: single fam dwelling w/garage		COST OF WORK: \$ 79,000.00 PERMIT FEE: \$ 415.00		
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: 5B Signature: <i>Hoffen</i>		
Proposed Project Description: Construct a single fam dwelling w/underground garage				PEDESTRIAN ACTIVITIES DISTRICT (PAD.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		
Permit Taken By: Vicki Dover		Date Applied For: 9/22/97				Zone: R-5 PRU D CBL: 191-B-040 Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>N/A 10/7/97</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>C-panel 13</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Call for P/U - 828-3900

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

~~Not~~ in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 9/30/97

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Rick Wortley
 SIGNATURE OF APPLICANT Rick Wortley ADDRESS: 91 97 Summer Pl, Portland 04103 DATE: 30 September 1997 PHONE: 828-3900 9/22/97

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

CEO DISTRICT 4
A. Powers

COMMENTS

...
poured per setbacks established by Contractor.
ation - Perimeter drain, gravel, Mem and waterproofing done.
pection OK to enclose, Have mentioned glazing at base of stairs.
test - OK; held pressure

Inspection - site mulched, # on house (in window) - Smoke detector
OK - plumbing - OK, exterior completed - Memo from

Inspection Record		Date
Type		
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 48 Willow Lane CBL 191-8040

Issued to Wayne Erax

Date of Issue December 1, 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 971076, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Retire
With Detached 12 x 12 Shed

APPROVED OCCUPANCY

Single Family
In PRUD Subdivision
BOCA 96'
TYPE 5B Group R3

Limiting Conditions:

This certificate supersedes
certificate issued April 1, 1998

Approved:

12-1-99 [Signature]
.....
(Date) Inspector

[Signature]
.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

10/18/99



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

Issued to

Date of Issue

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. _____, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: March 30, 1998

SUBJECT: Request for Certificate of Occupancy
48 Willow Lane (lot 10)

On March 27, 1998 I reviewed the site for compliance with the conditions of approval dated 9-27-97. My comments are:

1. Grading of the site is complete and it is stabilized with mulch. A late spring time review of the site will be necessary to observe the permanent stabilization of the lawn. This work shall be completed by May 31, 1998.

It is my opinion that a **temporary Certificate of Occupancy** could be issued assuming Code Enforcement has no outstanding issues.

From: ALEX JAEGERMAN
To: MBA
Date: 3/31/98 6:00pm
Subject: J. Wendalls Time -Reply

I got a note from Joe on this. He said Columbia Court, but now I see where you are talking about. Sure, Jim can take a look at it. If it turns into alot of time, we'll have to talk about it since there is no revenue. Let me know, or you or Amy can call him directly at 775-1121.

>>> MARK ADELSON 03/31/98 02:03pm >>>

We have received a complaint about a drainage problem on Colonial Court. It's not new construction, but the CEO can't figure out where the water is coming from. Jim W. would be a big help to us in this situation. Would it be possible to have some of his time to visit the site with CEO Amy Powers? If it's ok, they can make arrangements to meet at the site. Let me know. Thanks, Mark A.

CC: JEG, SPH, Jim Wendell Internet

Applicant: Rick Wortley Date: 10/7/97
Address: 48 Willow Lane (lot #10) C-B-L: 191-B-40

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5 PRUD Development

Interior or corner lot -

Proposed Use/Work - New single family Dwelling with attached garage

Sewage Disposal - City - private pump to it

Lot Street Frontage -

Front Yard - ① Min. setback from external subdivision property lines → 25' req - 45' plus shown

Rear Yard - ② Note: There is no min distance from other dwelling units req.

Side Yard - ③ Recreational Areas shall be located at least 25' from dwelling units - none shown that close

Projections -

Width of Lot -

Height - ~ 30' to top of ridge is shown - 2 story

Lot Area - 13330 #

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - 2

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 of 17 - Zone C

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL**

APPLICANT: RIC WEISSCHENK BUILDERS
 ADDRESS: 91 SUMMER PLACE, PORTLAND ME 04103
 SITE ADDRESS/LOCATION: 49 WILLOW LANE, (LOT 10)
 DATE: 9/27/97

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
3. Your new street address is now 49 WILLOW LANE, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
7. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970073

I. D. Number

Ric Weinschenk Builders

Applicant

91 Summer Pl, Portland, ME 04103

Applicant's Mailing Address

Rick or Ric

Consultant/Agent

828-3900

Applicant or Agent Daytime Telephone, Fax

9/22/97

Application Date

48 Willow Ln (L #10)

Project Name/Description

Willow Ln

Address of Proposed Site

191-B-040

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify)

Proposed Building square Feet or # of Units 13,330 Sq Ft Acreage of Site Zoning R-5 PRUD Zone

Check Review Required:

Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$50.00 Subdivision Engineer Review \$100.00 Date: 9/22/97

Inspections Approval Status:

Reviewer Marge Schmuckal

Approved Approved w/Conditions see attached Denied

Approval Date 10/7/97 Approval Expiration Extension to Additional Sheets Attached

Condition Compliance signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	<u> </u> date	<u> </u> amount	<u> </u> expiration date
<input type="checkbox"/> Inspection Fee Paid	<u> </u> date	<u> </u> amount	
<input type="checkbox"/> Building Permit Issued	<u> </u> date		
<input type="checkbox"/> Performance Guarantee Reduced	<u> </u> date	<u> </u> remaining balance	<u> </u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	<u> </u> date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	<u> </u> date	<u> </u> signature	
<input type="checkbox"/> Certificate Of Occupancy	<u> </u> date		
<input type="checkbox"/> Performance Guarantee Released	<u> </u> date	<u> </u> signature	
<input type="checkbox"/> Defect Guarantee Submitted	<u> </u> submitted date	<u> </u> amount	<u> </u> expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Ric Weinschenk Builders

Applicant _____

91 Summer Pl, Portland, ME 04103

Applicant's Mailing Address _____

Rick or Ric

Consultant/Agent _____

828-3900

Applicant or Agent Daytime Telephone, Fax _____

9/22/97

Application Date _____

Willow Ln (L #10)

Project Name/Description _____

Willow Ln

Address of Proposed Site _____

191-B-040

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

13,330 Sq Ft

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$60.00** Subdivision _____ Engineer Review **\$100.00** Date: **9/22/97**

DRC Approval Status:

Reviewer **Jim Wendel**

Approved Approved w/Conditions see attached Denied

Approval Date **9/27/97** Approval Expiration **9/27/97** Extension to _____ Additional Sheets Attached

Condition Compliance **Jim Wendel** **9/27/97**
signature date

Performance Guarantee Required* Not Required

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<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

10/16/97 repair sidewalk @ end of driveway cracked by heavy equipment.

BUILDING PERMIT REPORT

DATE: 8 OCT. 97 ADDRESS: 48 Willow Lane
REASON FOR PERMIT: To Construct a single family dwelling
BUILDING OWNER: Wayne Traj
CONTRACTOR: R.C Weinschank
PERMIT APPLICANT: Rick Worthy APPROVAL: *1*2*5*6*8*9*10*11*12*16
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

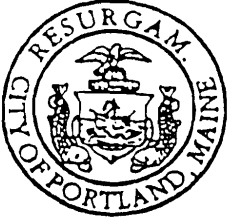
- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
*5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly...
*6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
*8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces...
*9. Headroom in habitable space is a minimum of 7'6".
*10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
*11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
*12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
*16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall be maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.
22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- *26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- *27. All requirements must be met before a final Certificate of Occupancy is issued.
- *28. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- *29. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- *30. Please read and implement attached site plan review requirements
- *31. Please review 515 I, 4 of The States Internal PLB9. Code - "drainage below curb and also below main sewer level"
- *32. The proposed gas boiler shall be installed and vented as per the manufacturer's installation instructions.
- *33. The proposed gas fire place shall be installed and vented as per the manufacturer's installation instructions.
34. All framing shall meet the requirements of the City's Building Code (The BOCA National Building Code/1996).


P. Samuel Hoffick, Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal
Jim Wondel



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (ie. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

CITY OF PORTLAND, MAINE
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19970073

I. D. Number

Ric Weinschenk Builders

Applicant

91 Summer Pl, Portland, ME 04103

Applicant's Mailing Address

Rick or Ric

Consultant/Agent

828-3900

Applicant or Agent Daytime Telephone, Fax

9/22/97

Application Date

Willow Ln (L #10)

Project Name/Description

Willow Ln

Address of Proposed Site

191-B-040

Assessor's Reference: Chart-Block-Lot

DRC Conditions for Approval

Approved subject to Site Plan Review (addendum) Conditions of Approval #1, 3 (48 Willow Lane), 4, 5, 9, 10

11, 12, 13 (Eroded soil shall be kept on-site. Willow Lane shall be kept clean of tracked soil from vehicles) and

14 (Additional steps shall be placed on the walk to the front door to reduce the 28% grade from the driveway.)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19970073

I. D. Number

Ric Weinschenk Builders

Applicant

91 Summer Pl, Portland, ME 04103

Applicant's Mailing Address

Rick or Ric

Consultant/Agent

828-3900

Applicant or Agent Daytime Telephone, Fax

9/22/97

Application Date

48 Willow Ln (L #10)

Project Name/Description

Willow Ln

Address of Proposed Site

191-B-040

Assessor's Reference: Chart-Block-Lot

Inspections Conditions for Approval

1. Separate permits shall be required for future decks and/or pool.

From: Joe Gray
To: Portland.CityHall(MBA, MJN, SH), AQJ
Date: 3/24/98 8:58am
Subject: Redlon Park Engineering Fee -Reply

No permits for him.

>>> ALEX JAEGERMAN 03/23/98 06:49pm >>>

We have a situation with Redlon Park over the engineering and inspection fee. We are withholding permits until he pays up, but the invoice I sent him contained an error so I have to write him and re-bill it. I'm thinking we might want to let the permits go for a time while we straighten this out, with the understanding that if he doesn't pay within a specified time period, all bets are off and we shut down all permits.

On the other hand, I don't want to get snookered. He owes us about \$4,000 by my reckoning, but I need to provide him with documentation. Joe, what do you think? I'd like to assume we can work with the guy before resorting to freezing permits. I'll get a letter out to him Tuesday.

STATE OF MAINE
KENNEBEC, ss.

SUPERIOR COURT
CIVIL ACTION
DOCKET NO. CV-00-244

STATE OF MAINE,)
)
 Plaintiff,)
)
 v.)
)
 FREDERIC D. WEINSCHENK,)
)
 RIC WEINSCHENK BUILDERS,)
)
 INC. and COTTAGE PARK, INC.,)
)
 Defendants.)

DEFENDANTS' WITNESS
AND EXHIBIT LISTS

WITNESSES

1. Frederic D. Weinschenk
46 Torrington Avenue
Peaks Island, Maine 04108
2. Richard Wortley
Ric Weinschenk/Builders, Inc.
33 Island Avenue
Peaks Island, Maine 04108
3. Alexander Hutcheon, P.E.
519 Congress Street
Portland, Maine 04101
4. Samuel Hoffses
305 Commercial Street
Portland, Maine 04101
5. Gail Hanscom, SRA
Pietroski & Company
18 Vannah Avenue
Portland, Maine 04103
6. Kevin Carroll
City Hall
389 Congress Street
Portland, Maine 04101-3509

7. Deputy Fire Chief McDougall
Portland Fire Department
380 Congress Street
Portland, Maine 04101
8. Tim Shelley
Shelley Engineering
90 Bridge Street
Westbrook, Maine 04092
9. Jay Moran
Pinkham & Greer
Consulting Engineers
170 U.S. Route 1
Falmouth, Maine 04105
10. Gerry Guitard
Glass & Mirror Services
47 Bridgton Road
Westbrook, Maine 04092
11. Dave Fontaine
• Applicator Sales and Services Ltd., Inc.
Warren Avenue
Portland, Maine 04103
12. William Vachon
Rufus Deering Lumber
383 Commercial Street
Portland, Maine 04101
13. Bernard and/or Joan Smith
45 Whaleback Road
Peaks Island, Maine 04108
14. Sandy Sturrock
420 Seashore
Peaks Island, Maine 04108
15. Dominic Scipio
Melbourne Street
Montreal, Quebec, Canada
16. John and/or Sarah MacLeod
193 Bristol Road
Wellsley, Massachusetts 02481

17. Ken and/or Margie Mehler
71 Knollwood Drive
Glastonbury, Connecticut 06033
18. Todd and/or Dawn Tritch
203 Main Street
Freeport, Maine 04032
19. Gerry Solberg
15 Willow Lane
Portland, Maine 04102
20. Karen Maxwell
33 Willow Lane
Portland, Maine 04102
21. Dean and/or Jessica Shaw
57 Willow Lane
Portland, Maine 04102
22. Wayne Tran
Texas
23. Nancy Roy
44 Willow Lane
Portland, Maine 04102
24. Bill and/or Colleen Weinschenk
36 Willow Lane
Portland, Maine 04102
25. Lorinda Meade and/or Sally Davis
32 Willow Lane
Portland, Maine 04102
26. Kat Newcomb
20 Willow Lane
Portland, Maine 04102
27. Jim Milliken
16 Willow Lane
Portland, Maine 04102

28. Walter and/or Holly Pelkey
12 Willow Lane
Portland, Maine 04102
29. Jeff Libby
10 Willow Lane
Portland, Maine 04102
30. Claude Cestaro
17 Summer Place
Portland, Maine 04103
31. John and/or Lenore Gutwin
21 Summer Place
Portland, Maine 04103
32. John and/or LeeAnn Methot
23 Summer Place
Portland, Maine 04103
33. Pat and/or Mike Donahue
25 Summer Place
Portland, Maine 04103
34. Joe and/or Roberta Rosolino
27 Summer Place
Portland, Maine 04103
35. Stuart and/or Karen Gerson
37 Summer Place
Portland, Maine 04103
36. Mike and/or Sue Yandell
51 Summer Place
Portland, Maine 04103
37. Hank and/or Cheryl Lawson
65 Summer Place
Portland, Maine 04103
38. Elizabeth Foley
c/o Eric Giguere
71 Sawyer Road
Westbrook, Maine 04092

39. Steve Schmidt and/or Mary O'Neil
77 Summer Place
Portland, Maine 04103
40. Dick Marino
34 Redlon Park Road
Portland, Maine 04102
41. Robert and/or Maureen Cott
43 Redlon Park Road
Portland, Maine 04102
42. Ken and/or Mimi Clegg
18 Redlon Park Road
Portland, Maine 04102
43. Brian and/or Stacy Roberge
28 Redlon Park Road
Portland, Maine 04102
44. Tim and/or Laura Haney
58 Redlon Park Road
Portland, Maine 04102
45. Walter Gill
55 Redlon Park Road
Portland, Maine 04102
46. John Harper
2247 New Castle Drive
Winston-Salem, North Carolina 27103
47. Lloyd Gulden
17 Marion Jordan Road
Scarborough, Maine 04074
48. Joel and/or Jeanne Doyon
91 Brookside Road
Portland, Maine 04103
49. Paul and/or Stephanie Castle
110 Rosaire PL NW
Atlanta, Georgia 30327

50. Doug Timm
26 Piper Road
Scarborough, Maine 04074
51. Ron and/or Margaret Quayle
3934 Ft. Worth Avenue
Alexandria, Virginia 22304
52. Richard Hauser
Connecticut
53. Eric and/or Jennifer Giguere
71 Sawyer Road
Westbrook, Maine 04092
54. Bahman and/or Kathy Nekoie
40 Cottage Park Road
Portland, Maine
55. Tad and/or Sue Macy
60 Cottage Park Road
Portland, Maine
56. Elsie Whitten
Portland, Maine
57. Marshall Cole
24 Shingle Way
Portland, Maine
58. Robert Vilas
Brunswick, Maine
59. Dorothy Mathes
17 Shingle Way
Portland, Maine
60. Mike Baillargeon
Falmouth, Maine
61. Al and/or Nancy Irish
33 Cottage Park Road
Portland, Maine

62. Jim and/or Phyllis Wilkins
26 Porch Street
Portland, Maine
63. Richard and/or Julie Joyce
19 Porch Street
Portland, Maine
64. Steve White
11 Porch Street
Portland, Maine
65. Alan Kew
127 Pleasant Hill Road
Scarborough, Maine 04074
66. James Taylor
Brattleboro, Vermont
67. David Reardon
Fox Hill Road
Freeport, Maine 04032
68. George Salevsky
3 Maple Avenue
Scarborough, Maine 04074

Defendants reserve the right to add additional witnesses prior to trial, upon reasonable notice to opposing counsel. The disclosure of witnesses does not constitute any representation that any particular witness will be produced or called at trial.

Defendants reserve the right to call any and all witnesses set forth in Plaintiff's witness list. Defendant do not list those witnesses they may call for the purposes of impeachment and/or rebuttal.


EXHIBITS

1. Specifications and plans for the subject homes.
2. Appraisals of the subject homes.

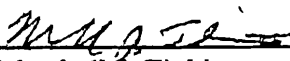
3. Photographs of the subject homes and other documents generated or relied upon by Alexander Hutcheon.
4. Inspection reports for subject homes of secondary purchasers.
5. Documents reflecting sale of the subject homes.
6. Documents reflecting re-sale of the subject homes.

Defendants reserve the right to list additional exhibits prior to trial, upon reasonable notice to opposing counsel and further reserve the right to reorder or renumber listed exhibits prior to trial. They further reserve the right to introduce at trial any exhibits listed by Plaintiff. Defendants have not listed those exhibits which may be used for the purposes of impeachment and/or rebuttal. The disclosure of exhibits does not constitute any representation that any particular document will be offered or introduced at trial.

Dated at Portland, Maine this 25th day of January, 2002.



David M. Hirshon
Bar No. 1036



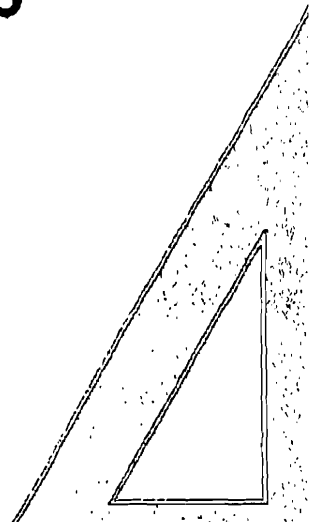
Marshall J. Tinkle
Bar No. 2833
Counsel for Defendants
Frederic D. Weinschenk,
Ric Weinschenk Builders, Inc. and
Cottage Park, Inc.

TOMPKINS, CLOUGH, HIRSHON &
LANGER, P.A.
Three Canal Plaza
P.O. Box 15060
Portland, ME 04112-5060
(207) 874-6700

CONSTRUCTION QUALITY EVALUATION

Willow Lane and Summer Place
Portland, Maine

CRITERIUM[®]
ENGINEERS



HALEY
RESIDENCE
48 WILLOW LANE

Description of Item	Units	Material Unit Price	Quantity	Mat'l Total	Labor (hrs per unit)	Rate (\$25/hr)	Labor Cost (Total)	TOTAL LABOR & MATERIALS	Comment
FOUNDATION AND STRUCTURE									
Quality of Framing Lumber (say 10 percent of lumber cost)	lump sum			\$ 1,500				\$ 1,500	See Footnote #8
Rebuild driveway retaining walls	l.s.	\$ 2,000	1	\$ 2,000	340	\$ 30	\$ 7,200	\$ 9,200	
Structural repairs to porch and balcony railings.	lf	\$ 25	70	\$ 1,750	1.5	\$ 30	\$ 3,150	\$ 4,900	
Repair interior garage slab pitch	l.s.	\$ 1,200	1	\$ 1,200	32	\$ 30	\$ 960	\$ 2,160	
INTERIOR									
Repair water damage in dining room	ea	\$ 500	1	\$ 500	64	\$ 30	\$ 1,920	\$ 2,420	
Repair water damage in kitchen	ea	\$ 150	1	\$ 150	40	\$ 30	\$ 1,200	\$ 1,350	
Rebuild interior stail to code compliance	ea	\$ 3,000	1	\$ 3,000	200	\$ 30	\$ 6,000	\$ 9,000	
WINDOWS, SIDING, AND ROOFING									
Replace upper floor archtop window	ea	\$ 1,200	1	\$ 1,200	80	\$ 30	\$ 1,800	\$ 3,000	See Footnote #1
Replace upper-level stationary windows (2' wide x 8' high)	ea	\$ 1,000	2	\$ 2,000	40	\$ 30	\$ 2,400	\$ 4,400	See Footnote #1
Replace main-level stationary window (4' wide x 5' high)	ea	\$ 800	1	\$ 800	16	\$ 30	\$ 480	\$ 1,280	See Footnote #1
Replace shingle roof within 5 years	ea	\$ 4,000	1	\$ 4,000	200	\$ 30	\$ 6,000	\$ 10,000	
MISCELLANEOUS									
Reconstruct road system									See Footnote #9
Replace site lighting									
SUBTOTAL 1		\$ -		\$ 16,100			\$ 31,140	\$ 49,210	
ADD 15 PERCENT CONTINGENCY		\$ -		\$ 2,715			\$ 4,667	\$ 7,382	
SUBTOTAL 2		\$ -		\$ 20,815			\$ 35,777	\$ 56,992	
ADD 15 PERCENT CONTRACTOR OVERHEAD AND PROFIT		\$ -		\$ 3,122			\$ 5,366	\$ 8,489	
TOTALS		\$ -		\$ 23,937			\$ 41,143	\$ 65,090	

FOOTNOTES:

- Window replacement includes:
scaffolding and existing window removal
same-size Andersen quality or better window for custom windows,
drywall replacement repairs and painting
trim replacement
Except for egress windows, assume same rough opening size to be used, so that limited rough carpentry is required.
- Stair repair and replacement includes:
demo of existing stair, including dust partitions and cleanup
installation of new stringers, risers, and walls
installation of new treads, handrails, and trim (and carpeting on interior stairs)
drywall repairs and painting
concrete and footings for exterior stairs
- Firestopping repairs include:
Demo of existing wall as necessary, including dust blankets and cleanup
Framing repairs and drywall installation
Drywall repairs and painting
- Bathroom drywall repair includes:
Tile and wallboard removal/replacement
Resurfacing of finish
- Exterior chimney enclosure repair includes:
Removal of existing siding and flashing
Strengthening of studs
Reflashing, residing, and EPDM roof
- Lumber premium described in conversations with local lumber suppliers.
- All labor prices include the following enhancements and cost adjustments:
8% - for cutting and patching
8% - for dust partitions
5% - for equipment usage curtailment
5% - for material handling
7% - for protection of existing work
1% - for insurance
34% - total enhancements and cost adjustments

HALEY
RESIDENCE
48 WILLOW LANE

8. The following costs have not been included in this estimate:
 - a. Field Superintendent @ \$1,500.00 per week
 - b. Owner allowance of \$250.00 per calendar day out of home during repairs
9. Roadway construction costs to be determined, subject to establishing specific repair scope.
10. Flashing and siding repairs include costs to lift and replace shingles, trim siding, secure flashing and install appropriate waterproofing.

3.0 HALEY RESIDENCE - 48 WILLOW LANE

The Haley Residence is a three-story, contemporary cottage-style house. The building has a four-gabled roof covered with asphalt/fiberglass shingles. It includes a two-car garage that is located on the bottom level of the house. The house is located at 48 Willow Lane. Photos #HAL-1 and #HAL-2 show the house.

The City of Portland had adopted the 1996 BOCA/National Building Code when this home was built. Therefore, comparisons for code violations will be made against this Code.

John Haley is not the original owner of this house. He purchased the house in February 2000 from Mr. Wayne Tran.

Mr. Haley provided us with the specifications for the project. The specifications were dated July 29, 1997, and signed by the original owner, Mr. Wayne Tran. Mr. Haley also provided us with plans for the house, indicating revisions on September 22, 1997. Appendix B of this report includes the plans and specifications for this house.

The specification package provided by Ric Weinschenk clearly states that:

"All work will be performed in accordance with local building codes."

The following paragraphs describe features in the house that are not in conformance with the 1996 BOCA Code.

The stair treads and risers are not of uniform height, particularly near the top and bottom of the main stair to the first floor (Photo #HAL-3). The two lowest risers varied in height by 1/2-inch. Section 1014.6.2 of the BOCA Code states that:

"There shall not be variation exceeding 3/16 inch in the depth of adjacent treads or in the height of adjacent risers. The tolerance between the largest and smallest riser or between the largest and smallest tread shall not exceed 3/8 inch in any flight of stairs"

The stair risers are not in conformance with the 1996 BOCA Code.

The stair to the main level has triangular winders (Photo #HAL-4). Section 1014.6.3 of the BOCA Code states that:

"Winders shall not be permitted in required means of egress stairways except in occupancies in Use Group R-3 and stairways serving a single dwelling unit. Such winders shall have a tread depth of not less than 9 inches at a point not more than 12 inches from where the tread is narrower and the minimum tread depth shall not be less than 6 inches."

The stair winders are not in conformance with the 1996 BOCA Code.

The roof and roof system of this house leaks in several locations. The most prominent leaks are located in the kitchen and dining room ceilings. Photo #HAL-5 shows staining from a leak near a kitchen light, and Photos #HAL-6 and #HAL-7 show the extent of the leak over the dining room. Section 1504.1 of the BOCA Code states that:

"All roofs shall be covered with approved roof coverings properly secured to the building or structure to resist wind and rain. Roof coverings shall be designed, installed, and maintained in accordance with approved manufacturer's installation instructions such that the roof covering shall serve to protect the building or structure."

The leaking roof is not in conformance with the 1996 BOCA Code.

The porches and balconies on the front and rear of this residence measure approximately 38 inches high. BOCA Section 1021.2 requires 42-inch high guards. The railings and posts deflect substantially when shaken by hand. The casual and light nature of this framing poses a direct safety threat to someone who happens to lean against these railings. Photo #HAL-8 clearly shows how the railing is attached to the house by poorly-fastened wood screws. Section 1606.4 of the BOCA Code states that:

"All required handrails, guards, grab bars, and vehicle barriers shall be designed and constructed to the structural loading conditions in Section 4.4 of ASCE 7 listed in Chapter 35."



ASCE 7-95, Section 4.4, states that:

"Handrail assemblies and guardrail systems shall be designed to resist a load of 50 lb/ft applied in any direction at the top and to transfer this load through the supports to the structure. For one and two-family dwellings, the minimum load shall be 20 lb/ft.

Further, all handrail assemblies and guardrail systems shall be able to resist a single concentrated load of 200 lb, applied in any direction at any point along the top, and to have attachment devices and supporting structure to transfer this loading to appropriate structural elements of this building. This load need not be assumed to act concurrently with the loads specified in the preceding paragraph."

The structural strength of the porch railing is not in conformance with ASCE 7-95, and, by reference, with the 1996 BOCA Code. These railings are a hazard for anyone using the porches. Clearly, the screws that attach the railing to the house do not have adequate capacity to support the code-required 200-pound force.

A 24-inch by 24-inch hatch provides access to part of the attic in this house (Photo #HAL-9). It is partially obstructed by a set of closet shelves that extend nearly to the ceiling. According to Section 1211.2 of the 1996 BOCA Code:

"An opening not less than 22 inches by 30 inches with ready access thereto shall be provided to any attic area having a clear height of over 30 inches"

The access to the attic is not in conformance with the 1996 BOCA Code.

Other deficiencies exist in this house that are not code violations, but are indicative of poor construction techniques.

The garage floor has a backward pitch (Photo #HAL-10) that does not allow water to drain toward the front of the garage. It appears as if an attempt was made to repair this problem, but the repair was not effective. Specification Section 2-D for the house states that:

"Concrete slabs shall be poured on compacted materials and shall be smooth and level (within the standards of the industry) unless otherwise noted on the plans."

The concrete slab is not in conformance with the original construction specifications.

Wooden retaining walls support earth between the house and the right side of the driveway (Photo #HAL-11). These retaining walls are sloping inward. The walls had an outward slope of as much as 4 inches over a 4-foot height. The timber retaining walls are not stable. The walls will continue to rotate if not properly braced or rebuilt.

We measured the walls on April 9, 2001. Photo #HAL-12 shows the retaining wall near the left side of the house, which is approximately 4 inches out of plumb.

There are several fixed windows in this house, including two large windows at the right rear corner. Photo #HAL-13 and #HAL-14 show the large rectangular fixed window at the right rear corner of the house. The caulking is in poor condition, and poorly installed. Specification Section D-1 states:

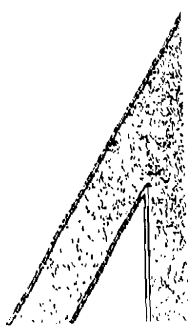
"Windows to be by Malta, Caradco, D.F. or equal with screens and I.G. Fixed units may be custom made to closely match."

The window quality does not closely match that of the pre-manufactured windows. There are locations where the windows are leaking, and the interior surfaces are stained. These are poor-quality fixed windows constructed by Ric Weinschenk. They will need to be replaced soon to assure long-term weathertightness for this house.

The wood finishes in the downstairs bath are in poor condition. The finish is wearing off of the wood cabinets and doors, which should not be expected in a house this new. In other locations, the finish is unevenly applied, with large droplets of lacquer runoff near the bottom of the door panels. This is indicative of a poor-quality finish placed on these surfaces. Specification Section K-1 states:

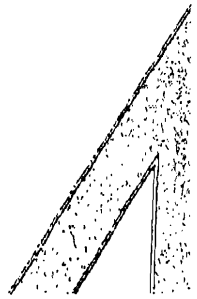
"All natural wood interior trim to be finished smooth and receive two coats of lacquer by Merrimack or equal, over one coat of sanding/sealer except in areas adjacent to water (backsplashes, etc.) where two coats of urethane shall be applied over the sealer."

In summary, the Haley Residence at 48 Willow Lane includes a number of significant code violations and deviations from good construction practice.





SECTION 3.1
PHOTOGRAPHS
48 WILLOW LANE



Location:

Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:

Alfred Hodson, P.E.

Date:

January, 2001

Description:

Front and Right
Elevations

Number HAL-1



Location:

Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:

Alfred Hodson, P.E.

Date:

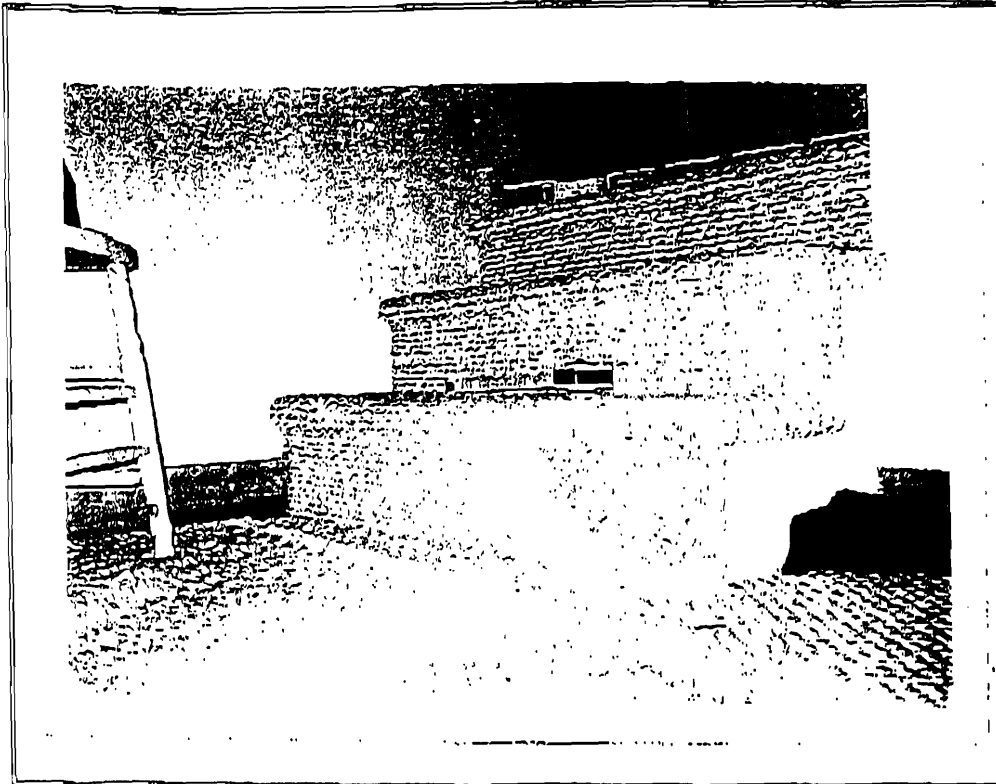
January, 2001

Description:

Rear and Left
Elevations

Number HAL-2





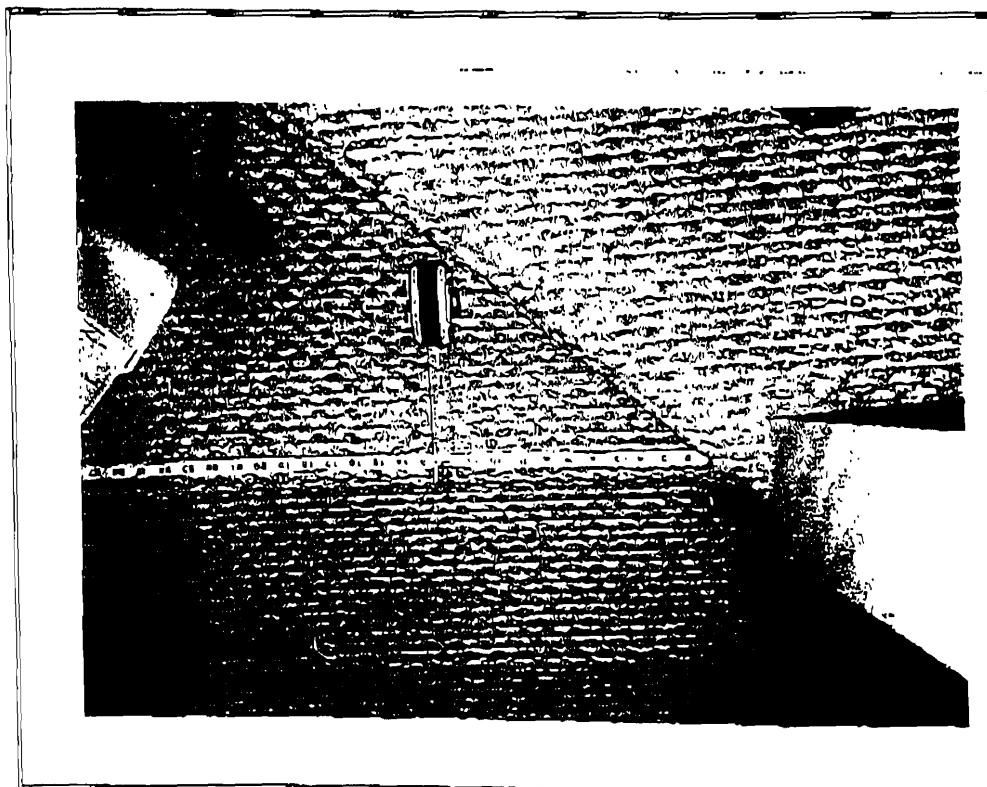
Location:
 Haley Residence
 48 Willow Lane
 Portland, Maine

Photo Taken By:
 Alfred Hodson, P.E.

Date:
 January, 2001

Description:
 Uneven Stair Risers
 and Missing Railing

Number HAL-3



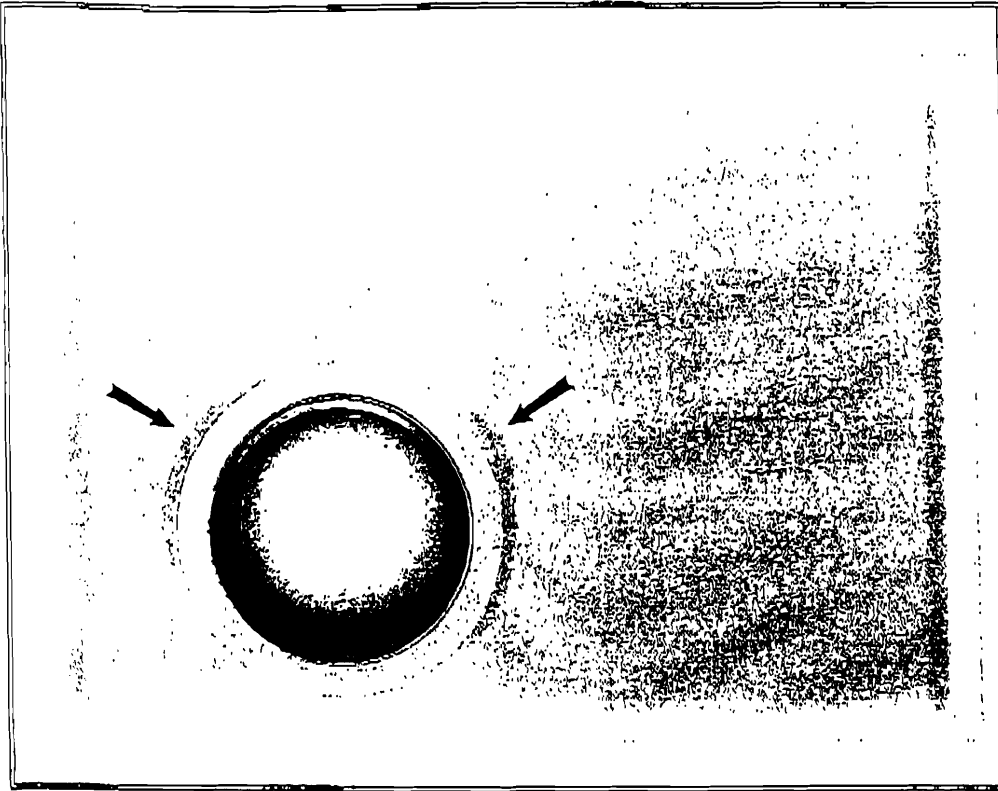
Location:
 Haley Residence
 48 Willow Lane
 Portland, Maine

Photo Taken By:
 Alfred Hodson, P.E.

Date:
 January, 2001

Description:
 Triangular Stair
 Winders

Number HAL-4



Location:
 Haley Residence
 48 Willow Lane
 Portland, Maine

Photo Taken By:
 Alfred Hodson, P.E.

Date:
 January, 2001

Description:
 Water Infiltration
 Around Kitchen Light

Number HAL-5



Location:
 Haley Residence
 48 Willow Lane
 Portland, Maine

Photo Taken By:
 Alfred Hodson, P.E.

Date:
 January, 2001

Description:
 Water Infiltration in
 Dining Room

Number HAL-6



Location:

Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:

Alfred Hodson, P.E.

Date:

January, 2001

Description:

Water Infiltration in
Dining Room

Number HAL-7

	<p><u>Location:</u> Haley Residence 48 Willow Lane Portland, Maine</p> <p><u>Photo Taken By:</u> Alfred Hodson, P.E.</p> <p><u>Date:</u> January, 2001</p> <p><u>Description:</u> Railing Attachment</p>
--	--

Number HAL-8



Location:
 Haley Residence
 48 Willow Lane
 Portland, Maine

Photo Taken By:
 Alfred Hodson, P.E.

Date:
 January, 2001

Description:
 Attic Access Hatch

Number HAL-9



Location:
 Haley Residence
 48 Willow Lane
 Portland, Maine

Photo Taken By:
 Alfred Hodson, P.E.

Date:
 January, 2001

Description:
 Garage Slab with
 Backward Pitch

Number HAL-10



Location:

Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:

Alfred Hodson, P.E.

Date:

January, 2001

Description:

Timber Retaining Wall

Number HAL-11



Location:

Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:

Alfred Hodson, P.E.

Date:

January, 2001

Description:

Sloping Timber
Retaining Wall

Number HAL-12



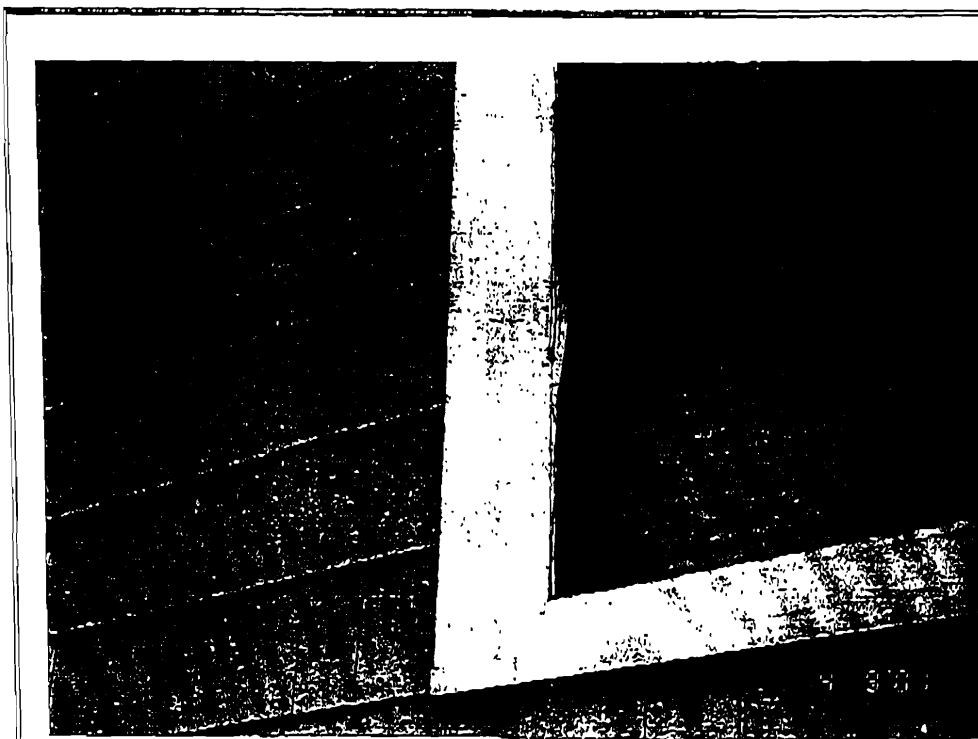
Location:
Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:
Alfred Hodson, P.E.

Date:
January, 2001

Description:
Fixed Window

Number HAL-13



Location:
Haley Residence
48 Willow Lane
Portland, Maine

Photo Taken By:
Alfred Hodson, P.E.

Date:
January, 2001

Description:
Poor Caulking in Fixed
Window

Number HAL-14