

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM

DRC Copy

2005-0018

Application I. D. Number

2/7/2005

Application Date

Willow Lane Lot 9

Project Name/Description

Cottage Park Inc

Applicant

33 Island Ave, Peaks Island, ME 04108

Applicant's Mailing Address

Jim Messer

Consultant/Agent

Agent Ph: (207)632-1124

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Jay Reynolds

52 - 52 Willow Ln, Portland, Maine

Address of Proposed Site

191 B039001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1900 Sq ft

8760

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 2/9/2005

DRC Approval Status:

- Approved Approved w/Conditions See Attached Denied

Reviewer Jay Reynolds

Approval Date 6-30-05

Approval Expiration _____

Extension to _____

Additional Sheets Attached

Condition Compliance

Jay Reynolds
signature

6-30-05
date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

*Maye needs setbacks
 full size plan
 sill elevation*

Talked to Jim Messer on heart of 3-1

✓ JH



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot 9 Willows Lane

Total Square Footage of Proposed Structure: 1900 sq ft Square Footage of Lot: 8760

Tax Assessor's Chart, Block & Lot Chart#: 191 - B Lot#: 39 Owner: ERIN + ASS. Telephone: 632 1124

Lessee/Buyer's Name (If Applicable): _____ Applicant name, address & telephone: GRANITE CONST
PO BOX 8790
PORTLAND, ME 04104 Cost Of Work: \$ 160,000
Fee: \$ 1461.00

Current Specific use: VACANT LOT

Proposed Specific use: RES. HOME

Project description: SINGLE FAMILY

Contractor's name, address & telephone: GRANITE CONSTRUCTION INC. PO BOX 8790 PORT ME 04104

Who should we contact when the permit is ready: JIM MESSER

Mailing address: PO BOX 8790
PORTLAND ME 04104

Phone: 632 1124

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

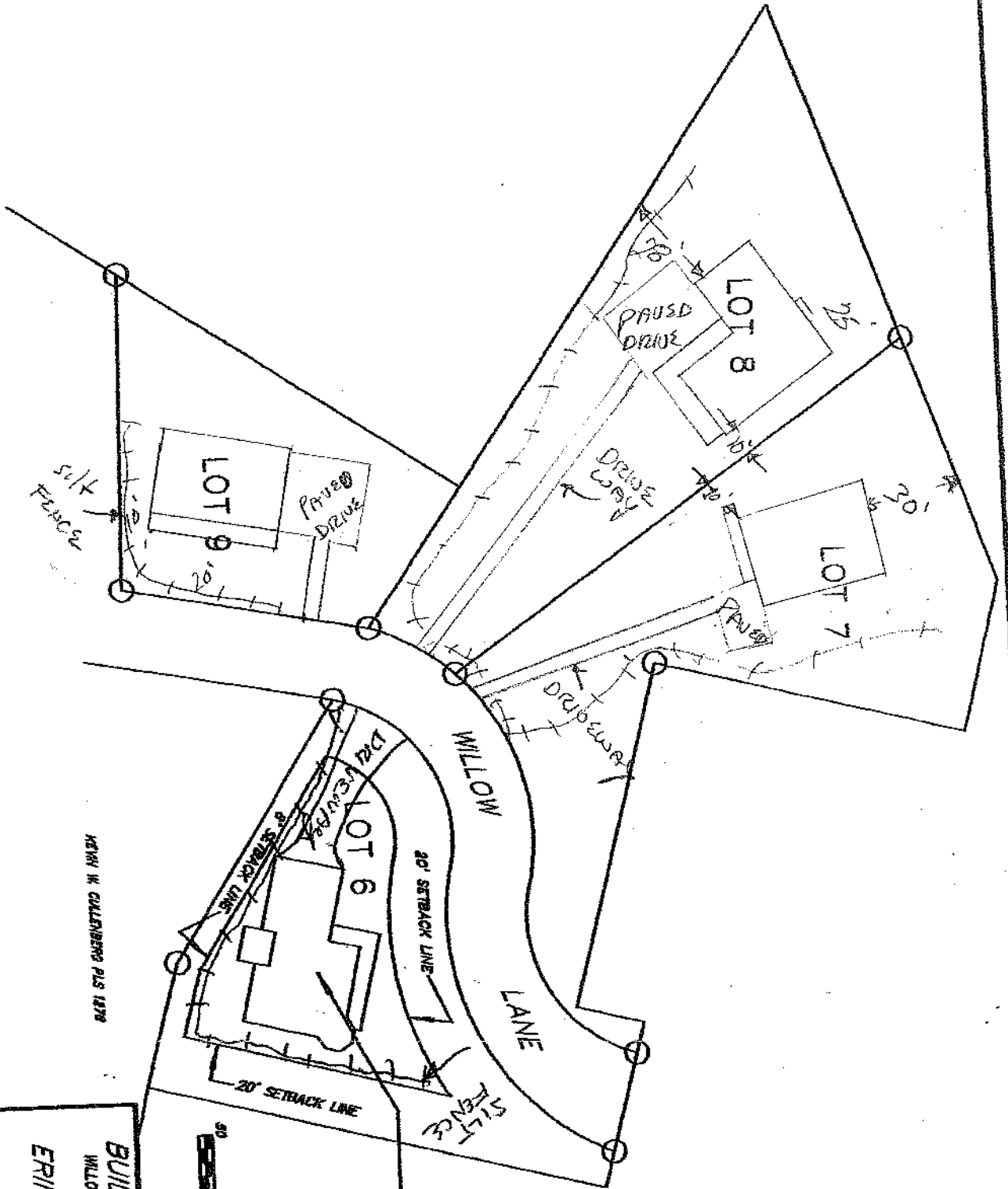
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 1/18/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$0.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



REVIEW IN CULLENBERG PLS 1278

GROUND ELEVATION
42.895 (GRID 03 NAVD83)



Handwritten signature

BUILDING STAKEOUT
 WILLOW LANE PORTLAND, MAINE
 MADE FOR
ERIN & ASSOCIATES
 BY
 OCTOBER 5, 2004
 CULLENBERG LAND SURVEYING
 892 OLD DANVILLE ROAD
 AUBURN, MAINE 04210
 (207) 777-1150

kevin cullenberg

From: opus@ngs.noaa.gov
Sent: Monday, September 27, 2004 7:19 AM
To: cls@megalink.net
Subject: OPUS solution : portland_meser 000213909

FILE: portland_meser 000213909

NGS OPUS SOLUTION REPORT

USER: cls@megalink.net
RINEX FILE: port268r.04o

DATE: September 27, 2004
TIME: 11:19:16 UTC

SOFTWARE: page5 0407.16 master16.pl
EPHEMERIS: igr12895.eph [rapid]
NAV FILE: brdc2680.04n
ANT NAME: TRM41249.00
ARP HEIGHT: 1.457

START: 2004/09/24 17:30:00
STOP: 2004/09/24 19:35:00
OBS USED: 4124 / 4219 : 98%
FIXED AMB: 25 / 25 : 100%
OVERALL RMS: 0.016 (m)

REF FRAME: NAD83(CORS96) (EPOCH:2002.0000) ITRF00 (EPOCH:2004.7316)

X:	1558376.533 (m)	0.030 (m)	1558375.846 (m)	0.030 (m)
Y:	-4351227.859 (m)	0.039 (m)	-4351226.433 (m)	0.039 (m)
Z:	4380571.637 (m)	0.020 (m)	4380571.574 (m)	0.019 (m)
LAT:	43 39 24.43305	0.021 (m)	43 39 24.46678	0.021 (m)
E LON:	289 42 17.28548	0.021 (m)	289 42 17.27807	0.021 (m)
W LON:	70 17 42.71452	0.021 (m)	70 17 42.72193	0.021 (m)
EL HGT:	-13.734 (m)	0.045 (m)	-14.916 (m)	0.044 (m)
ORTHO HGT:	12.462 (m)	0.051 (m) [Geoid03 NAVD88]		

PLANE COORDINATES North(Y) East(X) Convergence (deg) Point Scale

UTM(Zone 19):	4834569.047 (m)	395561.459 (m)	-0.89420393	0.99973416
SPC(1802 ME W):	91488.629 (m)	889632.057 (m)	-0.08873034	0.99996799

US NATIONAL GRID DESIGNATOR: 19TCJ9556134569(NAD 83)

BASE STATIONS USED

PID	DESIGNATION	LATITUDE	LONGITUDE	DISTANCE (m)
AJ1830	BARN BARTLETT CORS ARP	N440556.684	W0710934.400	85093.3
AI1408	POR4 PORTSMOUTH 4 CORS ARP	N430415.634	W0704234.290	73233.7
AF9487	BRU1 BRUNSWICK 1 CORS ARP	N435323.306	W0695647.665	38185.3

NEAREST NGS PUBLISHED CONTROL POINT

OC1149	POR 23	N433925.	W0701755.	275.4
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This position was computed without any knowledge by the National Geodetic Survey regarding the equipment or field operating procedures used.

12.462 X 3.2808 = 40.8853 ft



Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

February 24, 2005

Jim Messer
Granite Construction
PO Box 8790
Portland, ME 04104

RE: 52 Willow Lane (lot #9) – 191-B-0-39 – R-5 PRUD Development – application #05-0146

Dear Mr. Messer,

I am in receipt of your permit application to construct a single family house at the above location. This permit is denied due to the lack of all required documentation. It is also denied because; the submitted documentation is not consistent.

Your current site/plot plan is not stamped by a registered land surveyor. The scale is not accurate. The building footprint is not consistent with the submitted building plans. All building projections are not shown on your site plan. There is no first floor sill elevation given. The 20' drainage easement on the originally approved site plan is not documented on this lot. No utilities are shown. Existing and proposed grade contours are not shown. You are not showing the location of the two required trees. You have not submitted a copy of the deed and/or purchase and sales agreement. This is not a complete list of what you need to submit.

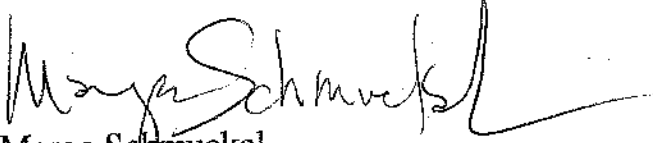
I am attaching a sheet from our permit application that outlines required documentation for a single family home application. ALL outlined information shall be submitted.

Please note that this development was approved as an R-5 Planned Residential Unit Development (PRUD) which is significantly different than a single R-5 lot. Please familiarize yourself with the R-5 PRUD requirements and use those to design your site. Currently you are showing that you can not meet the required 25 foot minimum setback from the external subdivision property lines.

This zoning review is only for zoning criteria. Your permit has not and will not be reviewed for building code issues until the application can pass all zoning requirement thresholds.

If you have any questions, please do not hesitate to contact this office.

Very truly yours,



Marge Schmuckal
Zoning Administrator

Cc: Jay Reynolds/Sarah Hopkins, Planning
Mike Nugent, Code Enforcement
File

NEW SINGLE FAMILY HOMES

Your submissions must include the following to be accepted as a complete application:

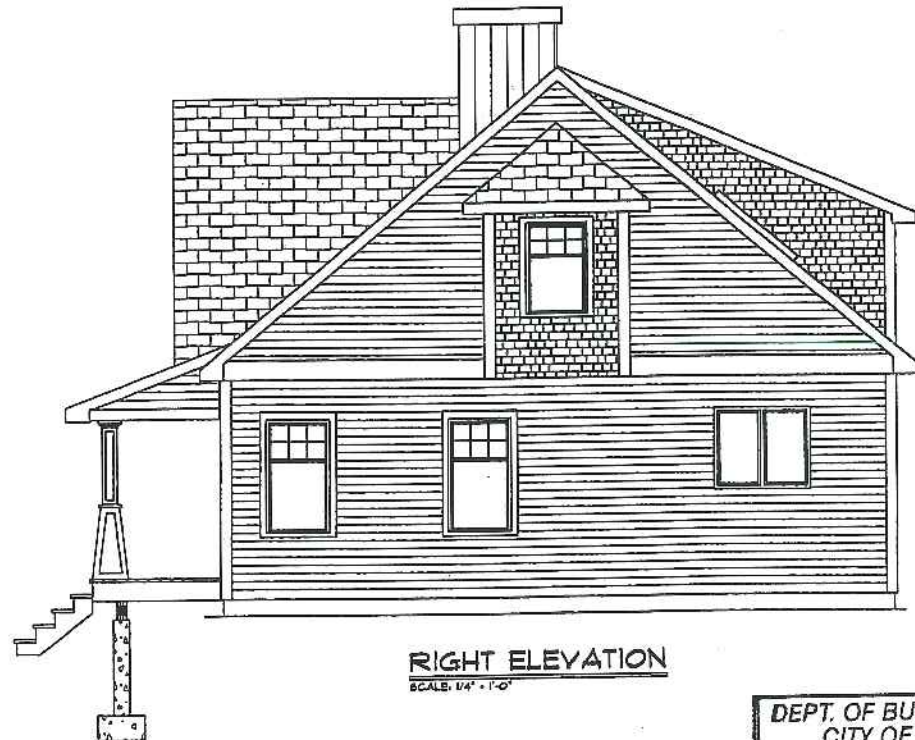
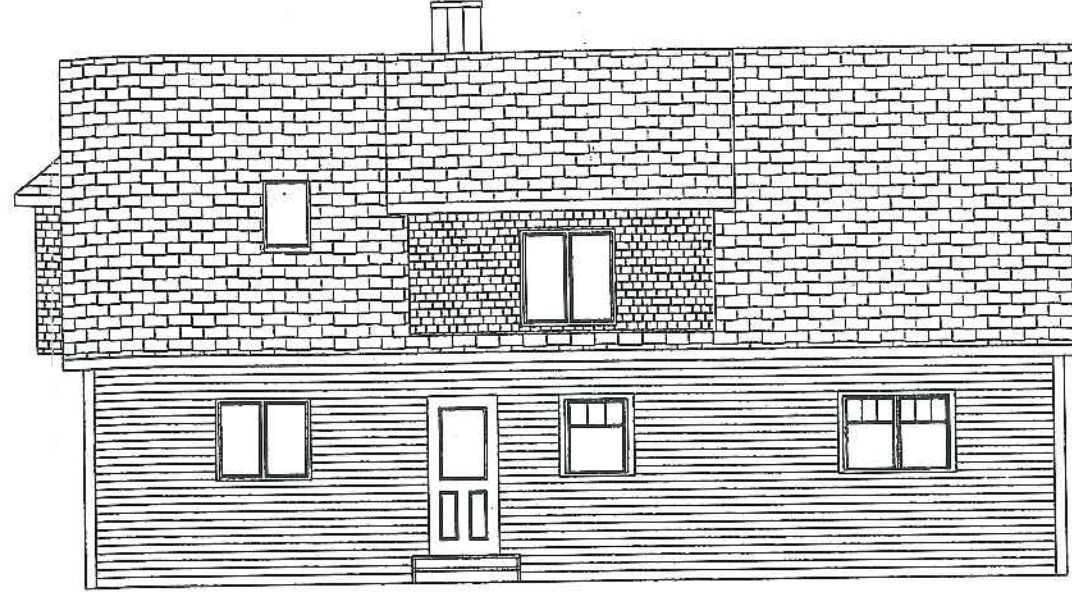
- 1 Copy of the deed and purchase and sales agreement
- 4 Copies of the site/plot plan to scale, this must be prepared and sealed by a registered land surveyor
- 1 Copy of the building/construction plan
- 1 Copy of the site/plot plan and construction/building plan on 11" x 17" paper, we cannot accept the application without the reduced submissions. Electronic plans in .PDF format may be submitted in place of the 11" x 17" copies

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown and to scale. **A photocopy of the plat with hand drawn footprints of buildings if it is not to scale, it will not be accepted** *must be prepared & sealed by a registered land surveyor*
- Boundary survey to scale showing north arrow; zoning district & setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours
- Silt fence locations
- Location of two proposed trees by Ordinance
- **THE SURVEYORS MONUMENTS MUST BE IN PLACE AND THE LOT STAKED FOR A SETBACK INSPECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.**

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING

- COMPLETE STRUCTURAL DETAILS OF ALL ELEMENTS OF CONSTRUCTION.
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN 13 2005

RECEIVED

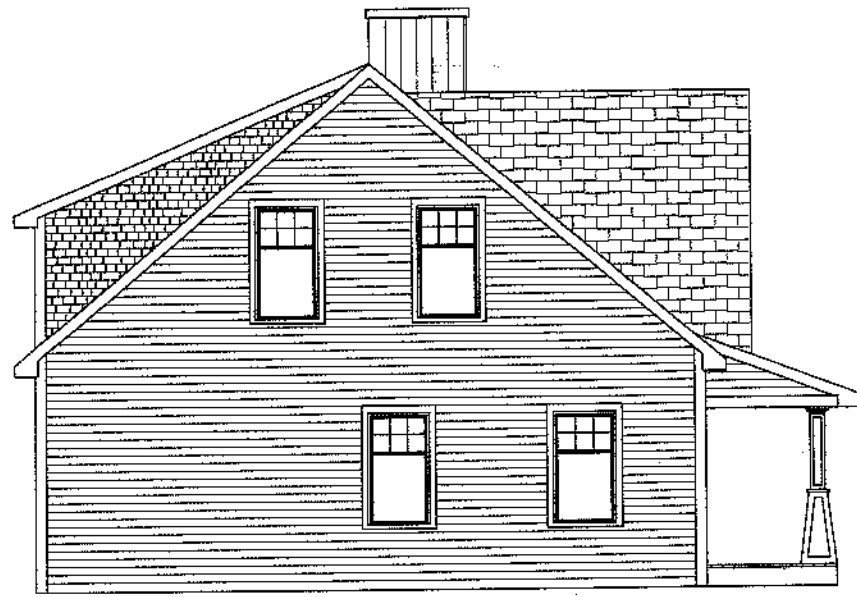
These plans are to be considered as guidelines only for the construction of a building. Every effort has been made to ensure accurate measurements, but these should be checked and adjusted where necessary for good construction and conform to all applicable local and state building codes.

All structural members are subject to change. The owner is solely responsible for confirming the structural integrity of any materials used in the construction of the building. Use of this plan shall be at the owner's sole risk, and without liability to New Horizons, L.P. or Brian Stern.

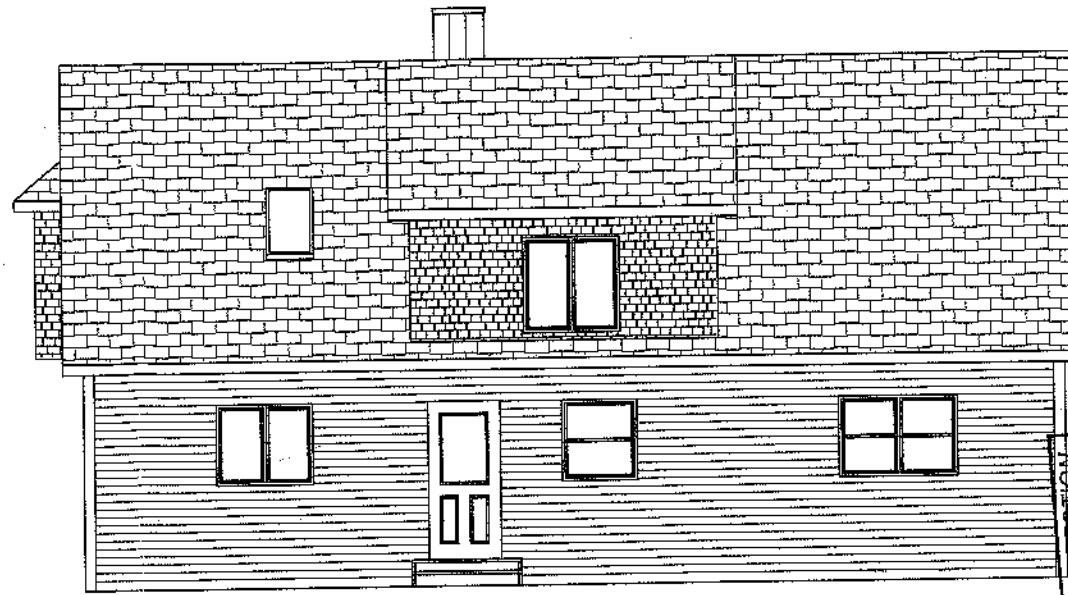
SCALE	1/4" = 1'
DATE	June 01, 2005
DRAWN BY	B SAXE
REVISION	June 01, 2005
SHEET	1 of 5
APPROVED	

ELEVATIONS

T NAME
GRANITE
CONSTRUCTION
WILLOW LANE
LOT 9



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 FEB 7 2005
 RECEIVED

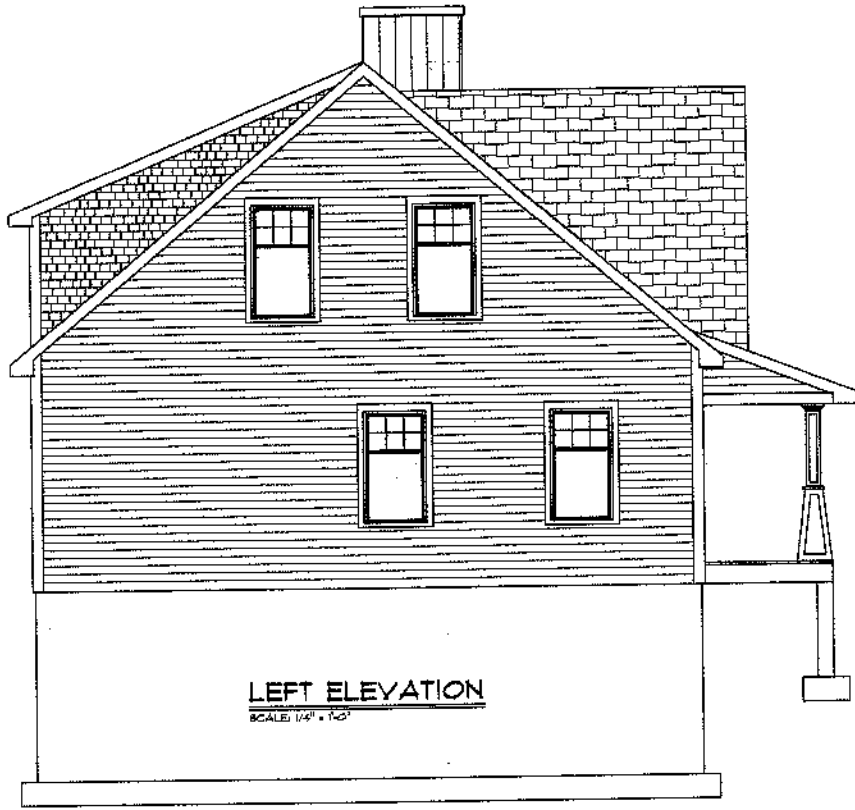
191 B 39

These plans are to be considered as advisory only for the construction of this project. Every effort has been made to ensure accurate measurements, but these should be checked and adjusted. Contractors should use best building practices and conform to all applicable local and state building codes.
 All structural conditions are advisory only. The owner is solely responsible for confirming the structural integrity which may require additional engineering.
 Use of this plan shall be at the owner's sole risk and without liability to New Horizons Ltd. or Barry Saxe.

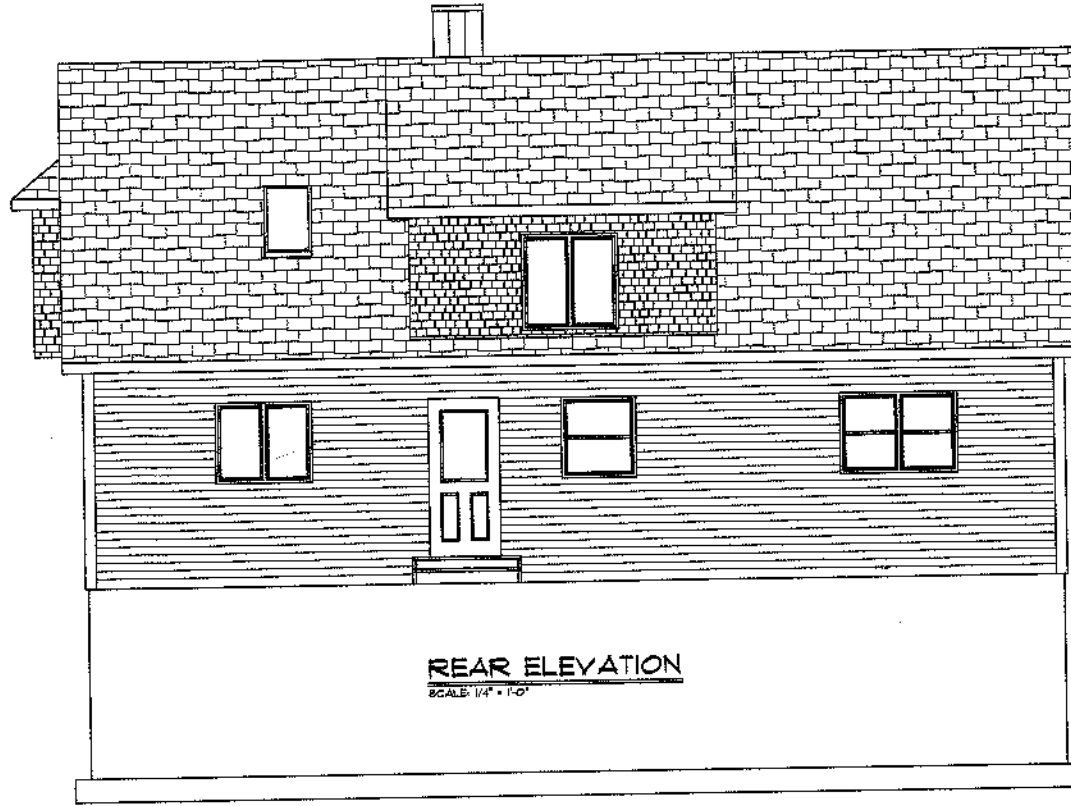
SCALE	1/4" = 1'	DATE	November 01, 2004
DRAWN BY	B SAXE	REVISION	
APPROVED		SHEET	1 of 5

ELEVATIONS

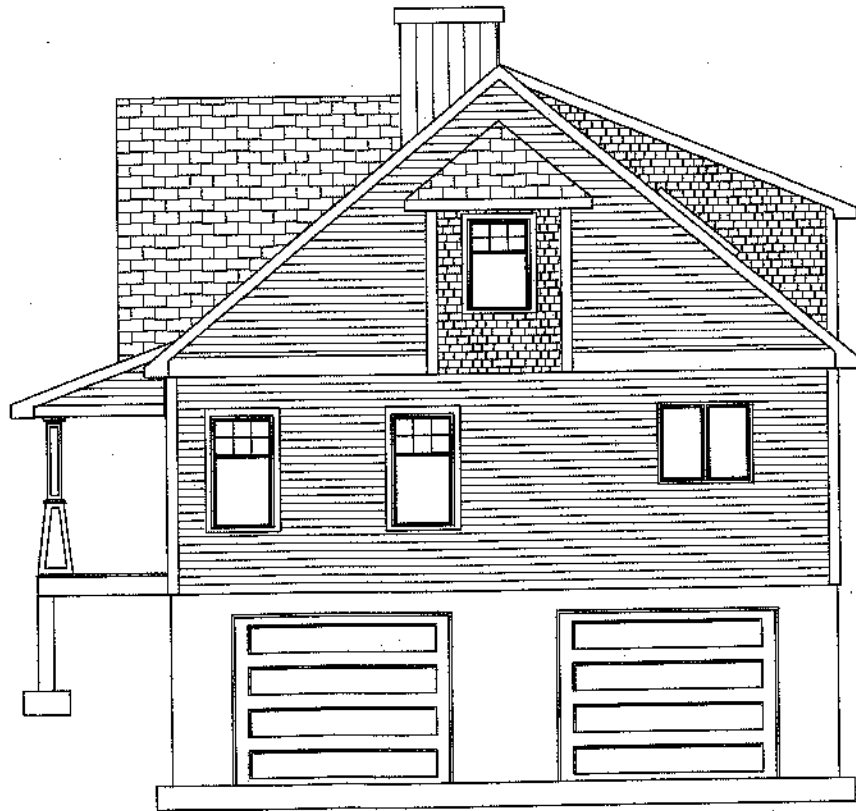
PROJECT NAME
GRANITE CONSTRUCTION
 WILLOW LANE
 LOT #9



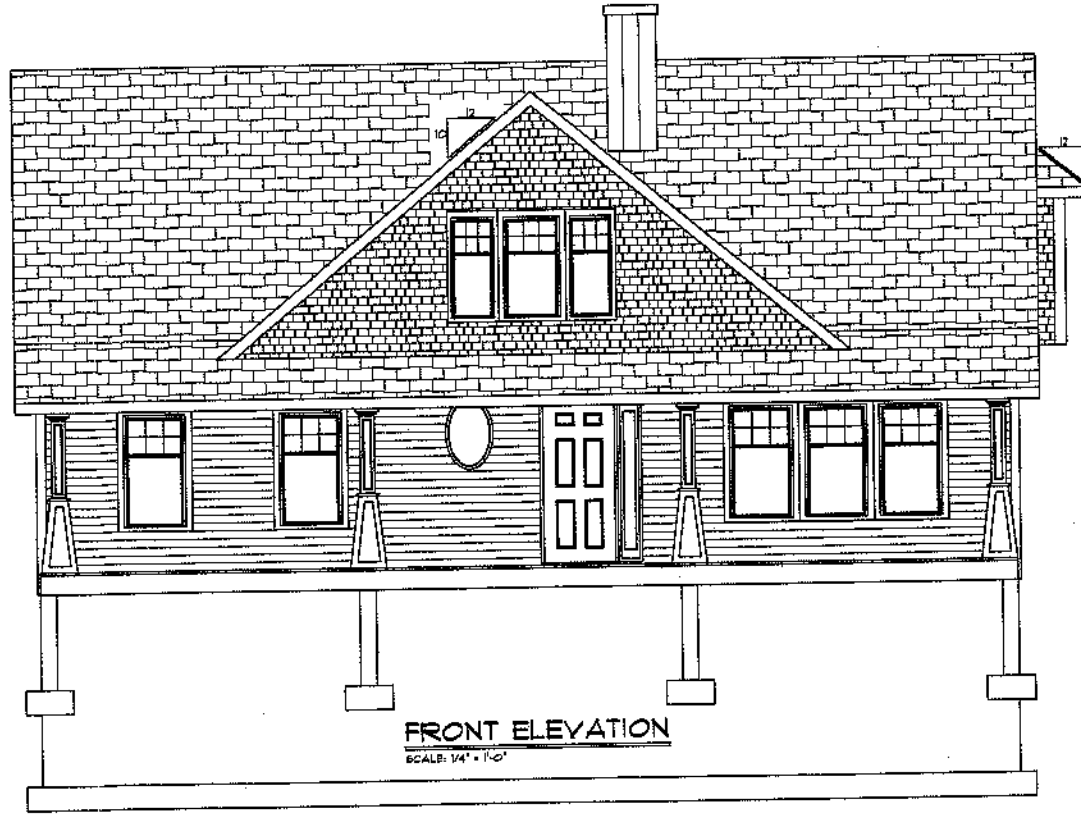
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

These plans are to be reviewed as guidelines only for the construction of a building. They are not intended to ensure precise measurements, but they should be checked and adjusted when necessary for good construction practices. Contractors are responsible for obtaining all necessary permits and for obtaining all applicable codes and laws.
All structural conditions are subject to change. The owner is solely responsible for confirming the structural integrity which may require additional engineering.
Use of this plan shall be at the owner's sole risk and without liability to New Horizons, LLC or Barry Saxe.

SCALE	1/4" = 1'	DATE	November 01, 2004
DRAWN BY	B. SAXE	REVISION	
APPROVED		SHEET	1 of 5

ELEVATIONS

PROJECT NAME
GRANITE CONSTRUCTION
WILLOW LANE
LOT #9